



June 10, 2021

SUBJECT: ADDENDUM #2 – Bid #21-08 Rosewood Arts Center Renovation

This addendum is intended to supplement, clarify, or correct a part of the original specifications for the above referenced bid. It shall become a binding part of the contract documents and shall be taken into account in preparing bid proposals.

Attachments:

1. Revised Proposal Pages i-ii
2. Specification Section 22 01 00 Plumbing Specialties
3. Drawings – bound separately

ITEM 2: Revised Proposal Pages - replace existing pages i-ii with the attached revised proposal pages.

ITEM 3: CLARIFICATIONS:

1. Only those companies that purchase a bid set from the city's planroom (hosted at Domicone Printing) may submit a bid. Bid sets are available at: <https://www.domiconeplanroom.com>
2. The Owner will consider an equal roof edge termination in lieu of the specified products in the Project Manual. The project Base Bid shall include a product or system compliant/equal with the Specifications. Any submitted product or system shall be able to meet the design specifications listed in the Project Manual. The Contractor shall submit detailed information, including test reports, upon request of the Owner during the post bid evaluation process if the contractor chooses to use an equal product.
3. Question: Is there any way that the Bid Form could be revised to include a space for a combination bid for both projects? Typically, when there are more than one sub-project being bid, we can submit a combo quote which usually will be lower than the two separate projects added together due to overhead being lower. Please advise.

Answer: The proposal page has been revised to include a combined bid amount.

4. Question: Are coordination drawings required? If so, can you point out what spec section has what is required?

Answer: Coordination drawings are required. Building Information Modeling coordination is not required as part of the project.

5. Question: Is the site contractor going to be bringing the 3" underground storm line all the way to the vestibule for the plumbing contractor to connect aboveground?

Answer: Site contractor brings the storm line to within 5' of the building. The Plumber will continue from there and into the building.

6. Question: How are the 2" downspouts for the vestibule to be connected to the gutter?

Answer: Refer to Detail 17 on Sheet 0.A502. Piping to be connected to gutter with a downspout connector/boot piece. Gutter should be flashed into connector piece.

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7. Question: Can Propress be utilized in the installation of the Domestic Water system?

Answer: Yes.

8. Question: Can underslab sanitary be Sch 40 PVC in Lieu of service weight Cast Iron?

Answer: Yes.

9. Question: I see that the owner is supplying the ceramic tile. Are they going to be installing it also or should that be included in our flooring numbers? Who is supplying adhesives & grout?

Answer: Tile is Owner Provided, Contractor Installed. The Contractor shall provide and install all necessary adhesives and grout.

10. Question: Should RB be figured at all CL areas?

Answer: No. Refer to the finishes scheduled for each room. New wall construction will utilize new rubber base. In most cases, where existing glazed CMU is present, it will remain as the finish. The exception is wall type FG which will use rubber base to cover the glazed CMU or existing terrazzo is covered up the wall.

11. Question: Should all Existing Finish To Remain rooms get new new base?

Answer: No, see #7 above.

12. Question: Who supplies the adhesives for the owner supplied RB?

Answer: The Contractor shall provide all necessary adhesive.

13. Question: What part of the North Wing Corridor 116 should be included in this phase?

Answer: North Wing Corridor 116 scope shall extend south to the existing crossing corridor. Refer to update plan notes on scope.

14. Question: Should the East West Corridor "refinish" under room 112/114/115 be included in this Phase?

Answer: The existing ramp south of Room 112 shall be refinished as part of Phase 1. Refer to the specifications for requirements of refinishing the existing terrazzo.

15. Question: The drawing 0.A102 Note 15 does not show up on the plan. On the roof tear off sections. I assume the following.

- 1/2" substrate board
- R-20 Isocyanurate insulation
- 1/2" cover board Mechanically fasten roof system
- The R-factor is not mentioned in the roof spec but on the plan note 15 not depicted in the roof areas on the roof.

Answer: Existing roof areas are intended to have new insulation, where required, to match the thickness of the existing provided in two layers with staggered joints. R-value will be limited to this parameter and is estimated to be R-11.

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16. Question: Detail 7 on OA.501 You typically do 90 degree flashing with single ply membrane & you don't need all the wood blocking at the wall.

Answer: Termination details shall be as required by the roofing system manufacturer and as required to meet the performance and warranty requirements in the Specifications. The Owner will consider alterations of the published details pending review of detailed submittals by the Contractor.

17. Sheet 1.A101, sheet note #13. Work associated with this note shall include infilling any existing openings in the wall with materials matching adjacent conditions. The design intent is to minimize any sound transmission from Restrooms 111 and 113 to adjacent areas.
18. Drawing 1.M102 states we are to purchase and install the roof curb for RTU #5 (RTU# 5 provided in Phase 3). There is no location shown for RTU #5 on sheet 1.M102. All others are shown. Please Advise

Answer: The location of RTU-5 will be shown on addendum #2. RTU-5 Ductwork does not penetrate the roof but the roof curb will be installed in phase 1.

19. Detail 3 on Sheet 1.M101 shows a separate exhaust fan for the Kiln. These fans are not scheduled with the mechanical equipment on sheet 1.M300. Please advise if these are provided and installed by the MC and who is responsible for any interlocking control wiring to the Kiln if required.

Answer: Sheet 1.M101 note M13 calls out the specific fan model and accessories to be used. The fan has a vent control option (called out in note M13) where the fan will run whenever the kiln is in use.

SPECIFICATIONS:

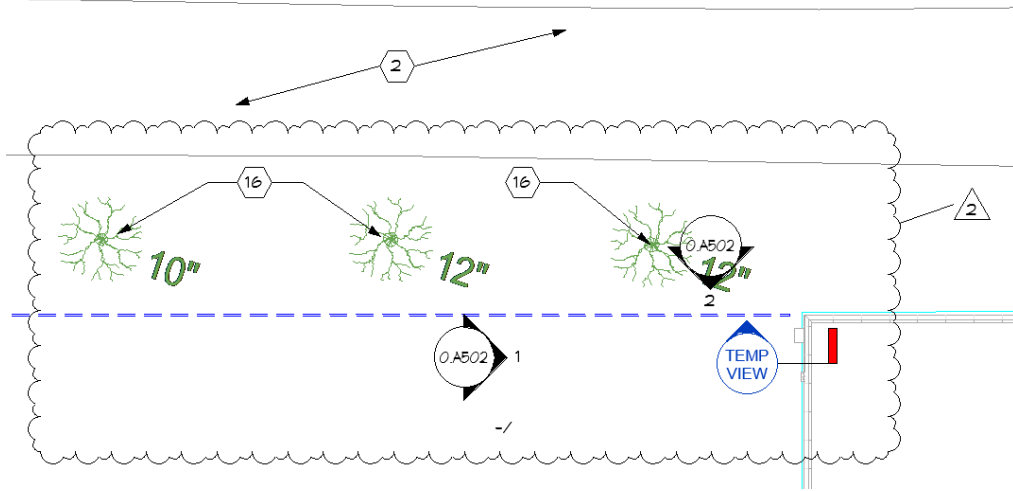
1. Phase 0 – Section 07 27 23 SPRAY POLYURETHANE FOAM INSULATION & AIR BARRIER
 - a. Part 2, Section 2.1 Paragraph B. ADD ICP Building Solutions Group to list of Approved Manufacturers.
2. Phase 1 – Section 220100
 - a. ADDED Part 6, Freezeproof Wall Hydrants

DRAWINGS:

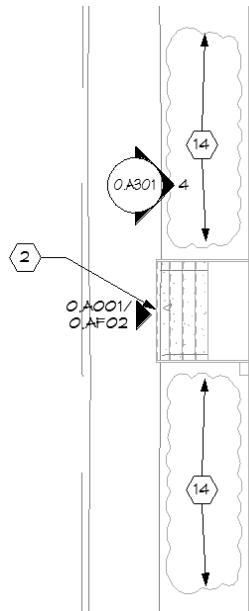
1. Phase 0 – Drawing 0.A001 DOOR SCHEDULE AND DETAILS (*Sheet Not Re-issued*)
 - a. DELETE Door 150C and MODIFY Door 150B columns in the Door Schedule as follows:
 - i. New
 - ii. Interior
 - iii. Pair
 - iv. 2'-6" Width
 - v. 7'-0" height
 - vi. 1-3/4" thickness
 - vii. Type D1
 - viii. Door Material = HM
 - ix. Glazing = NA
 - x. Frame Type = F1
 - xi. Frame Material = HM
 - xii. Jamb Detail = Match existing
 - xiii. Head Detail = Match existing
 - xiv. Hardware Set #4

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- 2. Phase 0 – Drawing 0.AS101 ARCHITECTURAL SITE DEMOLITION PLAN (*Sheet Not Re-Issued*)
 - a. ADDED sheet notes 16 to align tree demolition with scope of work noted in civil drawings.



- b. MODIFY sheet notes related to landscape edits

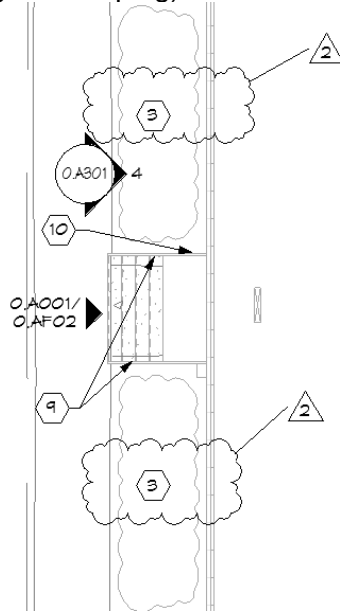


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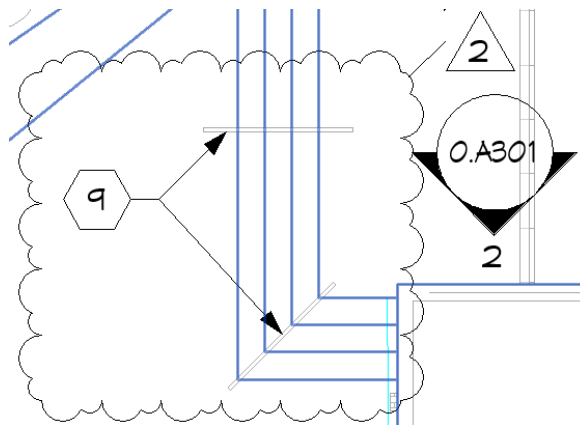
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3. Phase 0 - Drawing 0.AS102 ARCHITECTURAL SITE NEW WORK (*Sheet Not Re-Issued*)

- a. MODIFY sheet notes near western door 136 from #7 to #3 to align with scope of work on 0.AS101 (removal of existing landscaping).



- b. ADD note to clean and repaint all existing metal handrails at current entrance



4. Phase 0 – Drawing 0.A102 OVERALL ROOF PLAN *Sheet Not Re-issued*)

- a. DELETE requirements for new roof access ladder from lower roof to upper roof.
- b. MODIFY Sheet note #8 to prep ladder as required for new paint finish.

5. Phase 0 – Drawing 0.AD101 OVERALL DEMOLITION PLAN

- a. DELETE work associated with creating a new exterior entrance door to Electrical 150B.
- b. REMOVE existing interior pair of doors and frame as required to install new doors that swing out which will now serve as the entrance for Electrical 150B.
- c. DELETE Sheet Note #8.

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6. Phase 0 – Drawing 0.AD102 OVERALL ROOF DEMOLITION PLAN (*Sheet not re-issued*)
 - a. DELETE requirement to remove existing roof access ladder. Ladder to remain.
 - b. DELETE Sheet Note #8.

7. Phase 1 – Drawing 1.A001 DOOR SCHEDULE & DETAILS
 - a. UPDATE Finish Material Schedule with additional color selections
 - b. UPDATE Room Finish Schedule for updates on wall finishes

8. Phase 1 – Drawing 1.A101 NEW WORK PLAN
 - a. MODIFY sheet notes in Lobby 102 and Offices 106, 107 and 108.
 - b. ADD sheet notes 14 and 15
 - c. ADD relocated AED unit to North Wing Corridor 116

9. Phase 1 – Drawing 1.A601 ELEVATIONS, SECTIONS AND DETAILS
 - a. ADD baby changing station to Women’s RR 126 and Men’s RR 127. Refer to Specification Section 10 28 00 for more information.
 - b. CLARIFY metal tile trim at door jamb and tile start location.
 - c. ADDED wall tile to interior elevations to align with Finish Schedule

10. Phase 0 – Drawing 0.E002 – ELECTRICAL DETAILS AND SCHEDULES
 - a. ADDED fixture type “FL1” to Luminaire Fixture Schedule.
 - b. ADDED Detail G – Flood Light Detail.
 - c. ADDED Detail H – Pull Box Detail.
 - d. UPDATED fixture type “WM1” in Luminaire Fixture Schedule

11. Phase 0 – Drawing 0.EU101 – ELECTRICAL SITE UTILITY PLAN
 - a. UPDATED location of new utility transformer and pad.
 - b. UPDATED location of existing primary feeder.
 - c. UPDATED location of new secondary feeder, utility meter, and CT cabinet.

12. Phase 0 – Drawing 0.E101 – ELECTRICAL SERVICE PLAN
 - a. ADDED flag pole light fixtures “FL1”.
 - b. ADDED sheet note E5.
 - c. ADDED sheet note E6.
 - d. ADDED pull box and conduit for flag pole light fixtures.
 - e. UPDATED location of CT cabinet and utility meter, and secondary feeder.
 - f. UPDATED length of fixture type “WM1”.
 - g. UPDATED sheet note E2.
 - h. UPDATED lighting in electrical room.

13. Phase 1 – Drawing 1.P001 PLUMBING LEGEND – PHASE 1 (*Sheet Not Re-issued*)
 - a. UPDATED PLUMBING FIXTURE SCHEDULE for fixtures P-1A and P-1B.
 - b. UPDATED PLUMBING FIXTURE SCHEDULE to note lavatory faucets for P-1A and P-1B are to be provided by the Owner and Contractor installed.

14. Phase 1 – Drawing 1.PD101 PLUMBING PLAN – PHASE 1
 - a. ADDED demolition of existing freezeproof wall hydrants FPHW.
 - b. ADDED sheet notes D13 & D14

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15. Phase 1 – Drawing 1.P101 PLUMBING PLAN – PHASE 1
 - a. ADDED new freezeproof wall hydrants FPHW.
 - b. ADDED sheet notes P18 & P19

16. Phase 1 – Drawing 1.M102 MECHANICAL ROOF PLAN – PHASE 1
 - a. ADDED location of RTU-5 for roof curb installation.

17. Phase 1 – Drawing 1.M200 MECHANICAL DETAILS – PHASE 1
 - a. ADDED Roof penetration detail for kiln exhaust ductwork through roof.

18. Phase 1 – Drawing 1.E002 – ELECTRICAL DETAILS AND SCHEDULES (*Sheet Not Re-issued*)
 - a. UPDATED Detail D – Television Outlet Installation Detail to require a duplex receptacle in lieu of a quadruplex receptacle.

19. Phase 1 – Drawing 1.E101 – LIGHTING AND POWER PLANS
 - a. UPDATED switch systems for lighting in Lobby 102.
 - b. UPDATED location of switching in Lobby 102.
 - c. REMOVED circuit for relocated AED in Lobby 102.
 - d. REMOVED note E3.

Please acknowledge receipt of this addendum by your signature on page ii of the proposal form, failure to do so may disqualify the Contractor.

END OF ADDENDUM # 2

CITY OF KETTERING, OHIO
PROPOSAL

ROSEWOOD ARTS CENTER RENOVATION
BID SPECIFICATION NO. 21-08

TO THE CITY OF KETTERING, OHIO: **Due Date: June 17, 2021 at 1:30pm**

BIDDER: _____

The undersigned bidder, having full knowledge of the requirements of the City of Kettering for the below listed items and the contract documents (which includes the Invitation to Bid - Specification No. 21-08 and all attachments, Addenda, if any, this proposal, Contract,), agrees to sell and deliver to the City of Kettering the below listed item(s), complete in every respect and in strict accordance with the contract documents, at the price and in the time period specified below.

Please submit **1 copy** of this proposal and all required forms and mark the outside of the bid envelope – Bid #21-08 Rosewood Arts Center Renovation, along with the bidder's name and address.

Please note: Bidders can bid on either the Exterior or Interior Phase or Both

BASE BID – EXTERIOR PHASE

\$

Alternates:

- | | |
|---|-------------------------------------|
| Alternate 1: Buff brick veneer cleaning | Add/Deduct \$ _____
(circle one) |
| Alternate 2: Operable vent windows | Add/Deduct \$ _____
(circle one) |
| Alternate 3: 30 year TPO roof warranty | Add/Deduct \$ _____
(circle one) |

Unit Prices- Exterior Phase:

- | | | |
|---|----------|---------------|
| Unit Price 1: Existing Roof Insulation Replacement | \$ _____ | per SF |
| Unit Price 2: Replacement of existing metal roof deck | \$ _____ | per SF |
| Unit Price 3: Brick veneer removal and replacement | \$ _____ | per 12 bricks |
| Unit Price 4: Mortar repair and pointing | \$ _____ | per 20 LF |
| Unit Price 5: Sealant replacement | \$ _____ | per 20 LF |
| Unit Price 6: Installation of weeps | \$ _____ | per 20 LF |
| Unit Price 7: Operable Doors in New Storefront | \$ _____ | per EA |

BASE BID – INTERIOR PHASE 1

\$

Unit Prices- Interior Phase 1:

- | | | |
|---|----------|--------|
| Unit Price 1: Install Gallery Wall Treatment | \$ _____ | per LF |
| Unit Price 2: Remove Existing Chalkboard/Tackboard and Refinish Wall | \$ _____ | per EA |
| Unit Price 3: Install Tackable Wall Finish Panels to Existing Wall Area | \$ _____ | per LF |

COMBINED BASE BIDS-EXTERIOR AND INTERIOR

\$

PROCORE SUBMITTAL SOFTWARE

\$

OVERHEAD AND PROFIT % ON CHANGE ORDERS - per General Conditions Section 7.1.5:

General Contractor Fee on Change Orders: O/H % _____ Profit % _____

Earliest Start Date: August 9, 2021

OF CALENDAR DAYS FOR COMPLETION: _____

**CITY OF KETTERING, OHIO
 BID NO. 21-08 ROSEWOOD ART CENTER RENOVATION**

 BIDDER (Company)

 BY (Signature)

 STREET ADDRESS

 NAME (Please Print)

 CITY, STATE, ZIP CODE

 TITLE

 TELEPHONE/FAX

 DATE

The bidder acknowledges, by signature above, receipt of addendum Nos. _____ through _____.

Contact Person: Please provide the following information for the individual you would like us to contact regarding contract award:

Name	Title/Position	Phone/Fax	Email
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Please provide a list of references for projects with similar scope and content that your company has completed.

COMPANY	CONTACT	ADDRESS	TELEPHONE/FAX NUMBER
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COMPANY	CONTACT	ADDRESS	TELEPHONE/FAX NUMBER
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COMPANY	CONTACT	ADDRESS	TELEPHONE/FAX NUMBER
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COMPANY	CONTACT	ADDRESS	TELEPHONE/FAX NUMBER
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DIVISION 22 – PLUMBING

SECTION 220100 - PLUMBING SPECIALTIES

PART 1 – GENERAL:

- 1.1 The Contractor's attention is directed to the General and Special Conditions, GENERAL PROVISIONS - MECHANICAL and to all other Contract Documents as they apply to this branch of the work. Attention is also directed to all other sections of the Contract Documents which affect the work of this section and which are hereby made a part of the work specified in this section.
- 1.2 The Contractor shall provide all equipment and specialties complete with trim required and connect in a manner conforming to the State Plumbing Code.
- 1.3 The Contractor shall obtain exact centerline rough-in dimensions between partitions, walls, etc. as required for lay-out of the rough-in work. All work shall be roughed-in so that all exposed piping will be straight and true without bends or offsets.
- 1.4 All equipment and specialties shall be new. All equipment and specialties shall be installed as recommended by the manufacturer.
- 1.5 Prior to final inspection, test by operation at least twice, all equipment. Also, remove all stick-on labels, dirt, grease, other removable stampings, lettering, etc. from equipment and specialties and thoroughly clean same.
- 1.6 All equipment and specialties shall be installed in a neat and workmanlike manner. Unacceptable workmanship shall be removed and replaced at the installing Contractor's cost.
- 1.7 Provide all drainage specialties indicated, specified and/or required to provide complete and acceptable removal of all storm, sanitary, waste, laboratory waste, etc. from the building and into approved receptors. Drainage specialties shall be on non-electrolytic conduction to the material to which they are connected. Drainage specialties shall be installed in a manner so as to insure no leakage of toxic or odorous gases or liquids and shall have traps and/or backflow preventers where required. Nor shall they allow backflow into other or existing systems.

PART 2 - CLEANOUTS:

- 2.1 CLEANOUTS: In addition to cleanouts indicated on the drawings, provide cleanouts in soil and waste piping and storm drainage at the following minimum locations:
 - At base of each stack.
 - At fifty (50) foot maximum intervals in horizontal lines.
 - At each change of direction of a horizontal line.
 - As required to permit rodding of entire system.
 - As required by current State Plumbing/Building Codes.
- 2.2 Water closets, mop sinks/basins and other fixtures with fixed traps shall not be accepted as cleanouts.
- 2.3 Cleanouts and/or test tees concealed in inaccessible pipe spaces, walls and other locations shall have an eight (8) inch by eight (8) inch (minimum) access panel or cover plates shall be set flush with finished floors and walls and shall be key or screw driver operable.
- 2.4 Access panels for cleanouts shall be of the Zurn 1460 series or equivalent by Josam or Wade. Where they are not to receive paint, they shall be polished bronze unless otherwise indicated where they are to receive paint or other finishes.

- 2.5 Cleanouts and access panels shall be sized so as to permit the entry of a full sized rodding head capable of one hundred percent circumferential coverage of the line served.
- 2.6 Provide a non-hardening mixture of graphite and grease on threads of all screwed cleanouts during installation.
- 2.7 Do not install cleanouts against walls, partitions, etc. where rodding will be difficult or impossible. Extend past the obstruction.
- 2.8 In finished walls, floors, etc., insure that cleanouts are installed flush with finished surfaces and, where required, grout or otherwise finish in a neat and workmanlike manner.
- 2.9 Cleanouts shall be as manufactured by Zurn, Josam, Wade, Ancon, Jay R. Smith, similar to the following:
 - Zurn Z-1440 or Z-1445 cleanout tee at base of exposed stack and at change in direction of exposed lines.
 - Zurn Z-1440 cleanout or Z-1445-1 cleanout tee where stacks are concealed in finished walls.
 - Zurn ZN-1400-T cleanout with scoriated top in finished concrete and masonry tile floors.
 - Zurn ZN-1400-Tx cleanout with square recessed top for VCT and linoleum finished floors.
 - Zurn ZN-1400-Z cleanout with round recessed top for poured floors.
 - Mueller D-731 or D-714, Nibco, Flage or equivalent for cleanouts in copper waste with cover plates and/or access panels listed for other cleanouts.
 - Threaded hex head type cleanouts of same materials as pipe for piping 2" and smaller.
 - Zurn cleanout with round top with adjustable retainer for carpet area. Install flush with carpet.

PART 3 – INTERIOR HOSE BIBBS AND DRAIN VALVES:

- 3.1 **HOSE BIBBS AND DRAIN VALVES:** Provide code approved hose bibbs and drain valves at each location indicated in a neat and workmanlike manner. Affix hose bibbs tight to walls. Provide all water supply specialties indicated, specified and/or required for the complete installation. Install in accordance with the manufacturer's recommendations and the Building Code. Where required by the State Plumbing Code, install code approved vacuum breakers in each water supply specialty.
- 3.2 **HOSE BIBBS (HB):** Provide code approved hose bibbs with vacuum breakers and male threaded spouts at each location indicated (toilet rooms, mechanical rooms, etc.). The hose bibbs shall be Woodford Model 24 (or equal) with loose key handle polished chrome finish, brass construction. Hose bibbs shall be mounted at eighteen (18) inches above finished floor. Do not install hose bibbs in spaces which do not have floor drains. Do not install hose bibbs in ADA accessible toilet stalls.
- 3.3 **DRAIN VALVES:** Install 3/4 inch bronze body drains, similar and equivalent to Nibco, No. 72 or 73, as indicated and at the following locations:
 - At the low point and isolatable section of the plumbing system.
 - At each low point and isolatable section of the hydronic system.
 - At each isolatable pipe section.
 - At each water heater.
 - At each storage tank.
 - At each boiler.
 - At each heat pump.
 - At each water-to-water unit.
 - At each chiller.
 - At each pump suction.
 - Install a code approved vacuum breaker where installation on to domestic water system.

PART 4 – WATER HAMMER ARRESTORS (WHA):

- 4.1 **WATER HAMMER ARRESTORS (WHA):** Provide water hammer arrestors at each location indicated and/or as required to eliminate hydrostatic on the domestic water system. Install in an accessible location and in a neat and workmanlike manner. Provide all water supply specialties indicated, specified and/or required for the complete installation. Install in accordance with the manufacturer's recommendations and the Building Code. Where required by the State Plumbing Code, install code approved vacuum breakers in each water supply specialty.
- 4.2 Water hammer arrestors shall be Zurn, Z-1700, Shoktrol, Smith, Josam, Wade or equivalent. Water hammer arrestors shall be stainless steel, bellows type. Field fabricated capped cylinders shall not be acceptable. Provide insulating unions where arrestors are of dissimilar material from the piping served (unless piping is non-conducting, such as ABS or PVC).
- 4.3 Provide at least one water hammer arrestor at all quick acting valve locations including:
- Clothes Washers – Type “A”
 - Commercial Dishwashers – Type “B”
 - Sterilizers – Type “B”
 - Mop Basins, downstream of check valves – Type “A”
 - Flush valve fixtures – Type “B”, each toilet room with 1-3 flush valve fixtures shall have its own Type “B” water hammer arrestor.

4.4 **ARRESTOR SCHEDULE:**

<u>Mark</u>	<u>Zurn Model</u> Z-1700	<u>Fixture</u> Units	<u>P.D.I.</u> Size
Type “A”	#100	1-11	A
Type “B”	#200	12-32	B
Type “C”	#300	33-60	C
Type “D”	#400	61-113	D

PART 5 - OTHER SPECIALTIES:

- 5.1 **VACUUM BREAKERS AND BACK FLOW PREVENTERS:** Where required by the Building Code, whether indicated or not, provide approved vacuum breakers or backflow preventers at the following locations.
- Where domestic water system connects to a limited area fire protection system.
 - Where domestic water system connects to hydronic system.
 - At any threaded hose tap on the domestic water system.
 - At all mop basins, provide check valves to the hot and cold water supply upstream of the faucet.
- 5.2 **ROOF FLASHINGS:** All plumbing vents or other plumbing passing thru the roof shall be flashed as approved by the State Plumbing and Building Codes and as recommended by the roofing manufacturer and/or Contractor.
- 5.3 **CLAY INTERCEPTOR (CI-1):** Provide steel fabricated, floor set solid interceptor Zurn Z1181 or approved equal with acid resistant coating on interior and exterior with gasketed secured cover. Furnish with removable acid resistant coated steel bucket with removable primary and secondary screen assemblies with 3/8” and 3/32” diameter perforated holes respectably. Field verify to ensure there’s enough room for cleaning out.
- 5.4 **SEDIMENT INTERCEPTOR:** Provide epoxy coated cast iron, bottom access sediment interceptor Watts SI-762 or approved equal with gasketed cover. Furnish with perforated stainless-steel basket. Field verify to ensure there’s enough room to remove basket below fixture.

PART 6 – FREEZEPROOF WALL HYDRANTS:

- 6.1 FREEZEPROOF WALL HYDRANTS: Provide code approved wall hydrants at each location indicated in a neat and workmanlike manner. Affix tight to walls and insure that the feed piping is on the heated side of the building insulation blanket. Provide all water supply specialties indicated, specified and/or required for the complete installation. Install in accordance with the manufacturer's recommendations and the Building Code. Where required by the State Plumbing Code, install code approved vacuum breakers in each water supply specialty.
- 6.2 Wall hydrants shall be Zurn 1321-CXL or equivalent, 3/4", with half-turn ceramic cartridge, exposed, flush, non-freeze, anti-siphon, automatic draining wall hydrant with key lock and combination backflow preventer/vacuum breaker.
- 6.3 Mount all wall hydrants at least twenty (20) inches above finished exterior grade. Where this is not possible or practical, contact Engineer for direction.
- 6.4 Turn over for each hydrant, an operator key in an envelope labeled "Exterior Wall Hydrants" to Owner upon completion of the project. Where hydrants have lockable boxes, turn over an operator key for each in an envelope labeled "Exterior Wall Hydrant Locks" to Owner upon completion of project.

END OF SECTION.