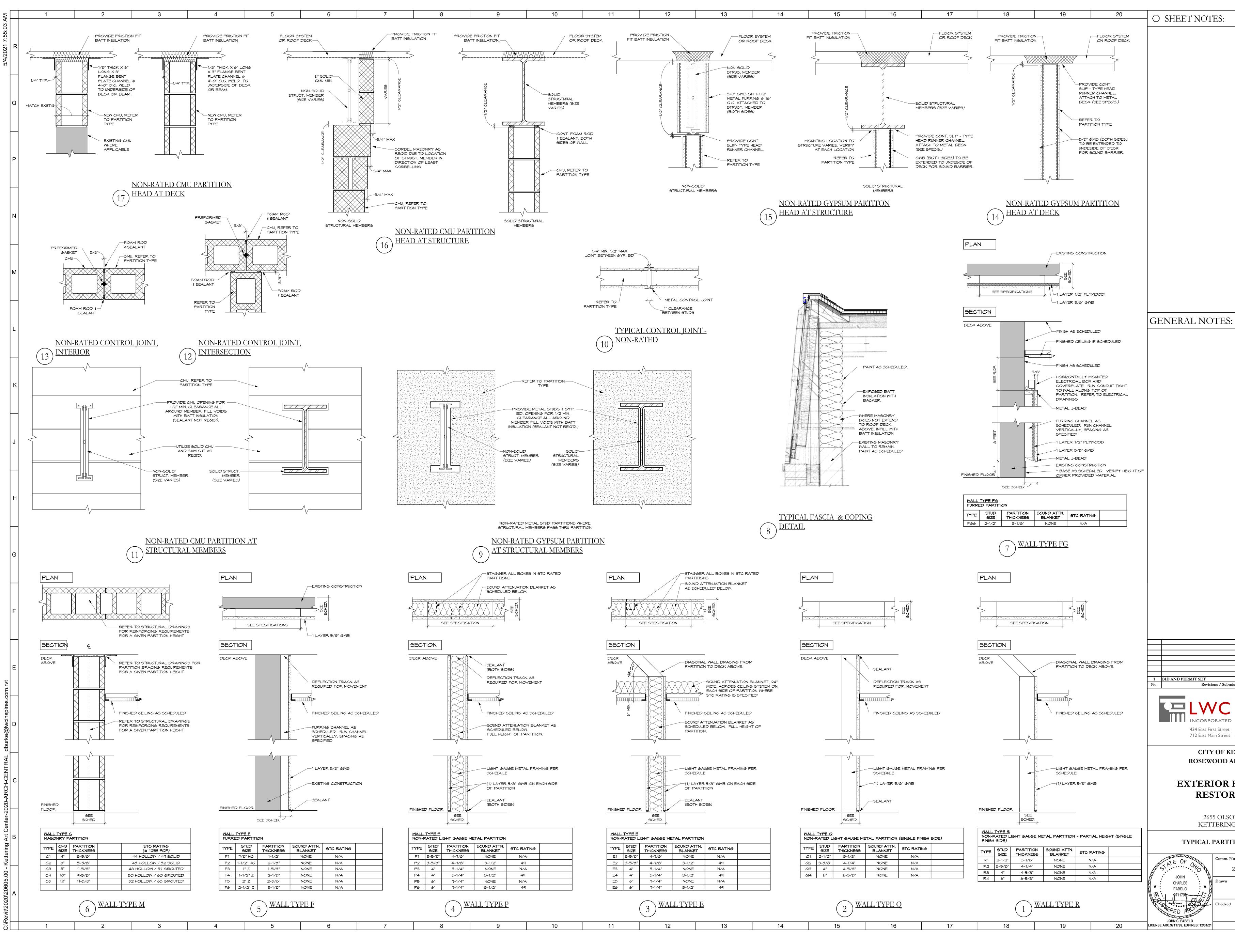
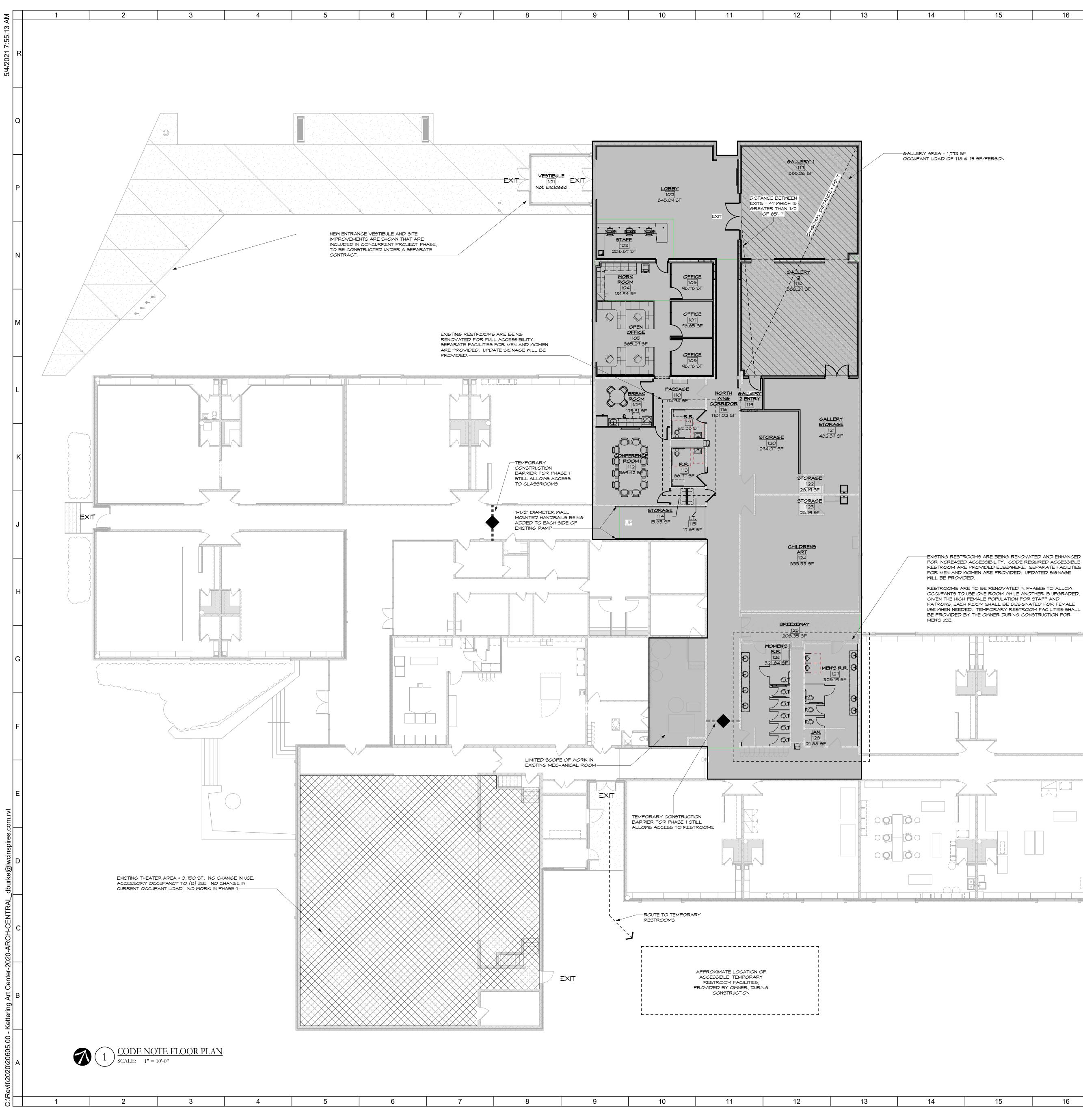


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Revisions / Submissions	Date
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NCORPORATED 134 East First Street Dayton, OH 45402 93 712 East Main Street Richmond, IN 47374 76	
CITY OF KETTERING	
ROSEWOOD ARTS CENTER	
ERIOR RENOVATIO	N
PHASE 1	
2655 OLSON DRIVE KETTERING, OH 45420	
TITLE SHEET	
Comm. No. Date	
20605.00	2020/04/30
Drawn Drawing No.	
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			Pł	HASE 1 AREA OF M	IORK	JOHN CHARLES FABELO TH OT1179 FABELO JOHN C. FABELO
15	16	17	18	19	20	JOHN C. FABELO LICENSE ARC.9711799, EXPIRES

-EXISTING RESTROOMS ARE BEING RENOVATED AND ENHANCED

WILL BE PROVIDED. GIVEN THE HIGH FEMALE POPULATION FOR STAFF AND

RESTROOMS ARE TO BE RENOVATED IN PHASES TO ALLOW OCCUPANTS TO USE ONE ROOM WHILE ANOTHER IS UPGRADED.

FOR INCREASED ACCESSIBILITY. CODE REQUIRED ACCESSIBLE RESTROOM ARE PROVIDED ELSEWHERE. SEPARATE FACILITIES FOR MEN AND WOMEN ARE PROVIDED. UPDATED SIGNAGE

—GALLERY AREA = 1,773 SF OCCUPANT LOAD OF 118 @ 15 SF/PERSON

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THIS PROJECT REPRESENTS THE FIRST OF THREE PHASES RENON EXISTING BUILDING. CODE REQUIRED UPDATES WILL TAKE PLACE PHASE AS AREAS ARE RENOVATED. THE BUILDING WILL REMAIN OCCUPIED DURING CONSTRUCTION. R	· · · · · · · · · · · · · · · · · · ·
THE BUILDING WILL REMAIN OCCUPIED DURING CONSTRUCTION. R	
EXITS WILL BE AVAILABLE AT ALL TIMES. TEMPORARY PARTITION SAFETY MEASURES WILL BE IMPLEMENTED TO ENSURE PUBLIC AN SAFETY.	NS AND
CODE NOTATIONS EXISTING BUILDING: TYPE II-B CONSTRUCTION	
AREA = 37,174 CURRENT USE GROUPS = E/A1/A3 PROPOSED USE GROUPS = B/A1/A3	
• EXISTING A1 THEATER SPACE TOTALS 3,750 SF AND IS ES 10% OF OVERALL BUILDING, ACCESSORY USE TO B-USE SUPPRESSION IS NOT REQUIRED PER OBC 508.2.4	
CHANGE OF USE RESULTS IN A LESS HAZARDOUS USE (B USE VS E REVIEWING OBC TABLE 506.2 IN A NON-SPRINKLERED BUILDING. BUILDING AREA OF 37,174 IS LESS THAN TABULAR AREA OF 37,50 (B) OCCUPANCY AND THEREFORE SEPARATIONS BETWEEN USES / REQUIRED.	TOTAL DO SF FOR A
EXISTING CORRIDORS ARE NOT BEING MODIFIED AND EXISTING DOORS/TRANSOMS AND WALLS MAY REMAIN.	
ACCESSIBLE DRINKING FOUNTAINS ARE BEING PROVIDED, SWAPF EXISTING UNITS.	PING OUT THE
HANDRAILS ARE BEING ADDED TO THE EXISTING RAMP IN PHASE	1.
THE HEAD END OF A NEW FIRE ALARM SYSTEM IS BEING INSTALL: OF PHASE 1 AND THE SYSTEM WILL INCLUDE THE PHASE 1 AREA IN OF DEVICES.	
1 BID AND PERMIT SET	2021-04-30
1 BID AND PERMIT SET No. Revisions / Submissions	2021-04-30 Date
No. Revisions / Submissions	
No. Revisions / Submissions	Date
No. Revisions / Submissions	Date 7.223.6500
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No. Revisions / Submissions Revisions / Submissions LVCC INCORPORATED 434 East First Street Dayton, OH 45402 93 712 East Main Street Richmond, IN 47374 76 CITY OF KETTERING	Date 7.223.6500
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	SPECIAL INSPECTION NOTES	actions during	a construction	on the base of work itemized below		
	 The OWNER shall employ one or more special inspectors to provide insp 2 - Only the required STRUCTURAL Special Inspections have been listed of Smoke Control Systems) 				tural Special Inspe	ctions, if applicable. (i.e. Fire Resistant Materials and Coatings
	3 - Fabricator approval (OBC 1704.2.5.1) - Special Inspections required by based upon review of the fabricator's written procedural and quality control r					
	compliance to the building official stating that the work was performed in acc 4 - The special inspector shall be a qualified person who shall demonstrate	ordance with	the approved	construction documents.		
	 5 - Upon request, Shell + Meyer can provide a list of local agencies providin 6 - Numbered and lowercase sublettered inspections indicate referenced Of 	g these inspec	ction services.			on requiring apecial inspection.
	 7 - Some numbered or lettered special inspection items may not be listed. 8 - Additional information regarding inspections and tests may be found in the 		-		he contractor and	special inspector shall review all documents to determine the
	inspections and testing necessary for this project. 9 - The Special Inspections table and other contract documents indicate the additional inspections	special inspe	ctions anticipa	ted at the time the documents were approved by the Building Officia	al. Changes in sco	pe, materials, or unanticipated existing conditions may require
	additional inspections. 10 - Special inspection and site observation personnel are not responsible for	or job site safe	ety or means a	nd methods of construction unless noted specifically in the contract	a	
	REQUIRED STRUCTURAL SPECIAL INSPECTIONS				Additional OBC	
	Soils - OBC Table 1705.6 A. Geotechnical Investigations	Continuous	Periodic	Referenced Standard	Requirements 1803	Remarks Geotechnical Investigation shall include items of Special Insp and Testing as noted in OBC Section 1803
	 Verify materials below shallow foundations are adequate to achieve the design bearing capacity. 	_	x		1000	Confirm bearing conforms to geotechnical report
	Verify excavations are extended to proper depth and have reached proper material.	_	x			Confirm standard fill materials most en sife stices and inset i
	 Perform classification and testing of compacted fill materials. Verify use of proper materials, densities and lift thicknesses during 		x		1803.5.1	Confirm structural fill materials meet specifications outlined in geotechnical report. Confirm structural fill materials meet specifications outlined in
	placement and compaction of compacted fill. 5. Prior to placement of compacted fill, observe subgrade and verify that	X	-			geotechnical report. Confirm that site requirements are met according to the geot
	site has been prepared properly.	_	X			report, prior to placing structural fill.
	Concrete Construction, Cast-In-Place - OBC Table 1705.3	Continuous	Periodic	Referenced Standard	Additional IBC Requirements	Remarks
						SPECIAL INSPECTIONS APPLY TO VERIFICATION OF DETAILED FABRICATION AND QUALITY CONTROL
	A. Fabricator Inspections 1. Inspect reinforcement, including prestressing tendons, and verify		x		1704.2.5	PROCEDURES INCLUDING REVIEW FOR COMPLETENE ADEQUACY RELATIVE TO THE CODE REQUIREMENTS Confirm size and spacing of bars. Tolerances and reinforcing
	placements. 2. Reinforce bar welding:	_	x	ACI 318 Ch. 20, 25.2, 25.3, 26.6.1-26.6.3.	1908.4	placement per ACI 7.5; spacing limits for reinforcing ACI 7.6
	 a. Verify weldability of reinforcing bars other than ASTM A706; b. Inspect single-pass fillet welds, maximum 5/16"; and c. Inspect all other welds. 		×	AWS D1.4, ACI 318: 26.6.4		
	3. Inspect another weids. 4. Inspect anchors cast in concrete.	_	X	AWS D1.4, ACI 316: 26.6.4 ACI 318: 17.8.2 ACI 318: 17.8.2.4		All bolts visually inspected.
	 A. Inspect anchors post-installed in nardened concrete members. a. Adhesive anchors installed horizontally or upwardly inclined orientations to resist sustained tension loads. 			ACI 318: 17.8.2		Post-installed anchors shall be qualified for use in cracked or and shall have passed the Simulated Seismic Tests in accord
	 b. Mechanical anchors and adhesive anchors not defined in 4.a. 				_	with ACI 355.2. Special inspections apply to anchor product type, and dimensions, hole dimensions, compliance with drill
		×				requirements, cleanliness of the hole and anchor, adhesive expiration date, anchor/adhesive installation, anchor embedr and tightening torque
	5. Verify use of required design mix	_	x	ACI 318:Ch.19, 26.4.3, 26.4.4	1904.1, 1904.2, 1908.2, 1908.3	and tightening torque Tests and submittals per specifications
	Prior to concrete placement, fabricate specimens for strength tests, perform slump and air content tests, and determine the temperature of					
	concrete. 7. Inspection of concrete and shotcrete placement for proper application techniques.	x	_	ASTM C172, ASTM C31, ACI 318: 26.4, 26.12 ACI 318: 26.5	1908.1 1908.6, 1908.7, 1908.8	Tests per specifications Confirm placement conforms to ACI 301
	 Verify maintenance of specified curing temperature and techniques. 	_	×	ACI 318: 26.5.3-26.5.5	1908.8	Confirm products conforms to ACI 301 Confirm products conform to approved shop drawings; confir curing performed per specifications
	 Inpsect prestressed concrete for: a. Application of prestressing forces b.Grouting of bonded prestressing tendons in the seismic-force-resisting 	х	_		_	
	system	X		ACI 318: 26.10		ALL CONNECTIONS VISUALLY INSPECTED REFER TO
	10. Erection of precast concrete members	_	x	ACI 318: 26.10	-	ANCHOR BOLT WELDING REQUIREMENTS AND STRUC INTEGRITY PROVISIONS
	 Verify in-situ concrete strength, prior to stressing of tendons in posttensioned concrete and prior to removal of shores and forms from beams and structural slabs. 	_	×	ACI 318: 26.11.2	_	
	 Inspect formwork for shape, location, and dimensions of the concrete member being formed 	_	x	ACI 318: 26.11.1.2(b)	_	Confirm dimensions per contract drawings
	B. Concrete placement at composite slabs	Х	_	ASCE 9, Chapter 2-3		
	Structural Steel - OBC Table NO LONGER EXISTS	Continuous	Periodic	Referenced Standard	Additional OBC Requirements	
	A. Fabrication of Structural Elements	_	X	AISC 360, Sec. A3.4, and applicable ASTM material standards	1704.2	Refer to inspection of fabricator requirements
	B. Material verification of anchor bolts and threaded rods 1. Material verification of high strength bolts, nuts, and washers: a. Identification markings to conform to ASTM standards specified in the	_	X	specified in the construction documents	-	Confirm manufacturer's certification and test reports.
	approved construction documents. b. Manufacturer's certificate of compliance required.	_		AISC 360, Sec. A3.3, and applicable ASTM material standards specified in the construction documents RCSC 2.1		Confirm bolt designations match construction documents. Confirm manufacturer's certification and test reports.
	2. Inspection of high-strength bolting:			AISC 360, Sec. M2.5, RCSC Specification for Structural Joints	1704.3.3	
	 a. Snug-tight joints b. Pretensioned and slip-critical joints using turn-of-nut WITH matchmarking, twist-off bolt or direct tension indicator method of 	_	X	Using ASTM A325 or A490 Bolts, Section 9 AISC 360, Sec. M2.5, RCSC Specification for Structural Joints	1704.3.3	All connections inspected and verified snug
	installation c. Pretensioned and slip-critical joints using turn-of-nut WITHOUT	_	x	Using ASTM A325 or A490 Bolts, Section 9	1704.3.3	All connections inspected after snugging and pretensioning
	matchmarking, twist-off bolt or direct tension indicator method of installation	х	_	AISC 360, Sec. M2.5, RCSC Specification for Structural Joints Using ASTM A325 or A490 Bolts, Section 9	1704.3.3	All connections visually inspected continuously for conforma
	 Material verification of structural steel and cold-formed steel deck: a. For structural steel, identification markings to conform to AISC 360. 		x	AISC 360, Sec. M5.5	2203.1	Confirm markings match AISC standard specified.
	 b. For other steel, identification markings to conform to AISC 360. b. For other steel, identification markings to conform to AISC 360. 	_	x	ASTM A6 and Applicable ASTM material standards specified in construction documents		Confirm markings match ASTM standards specified.
	c. Manufacturers' certified test reports. 4. Material verification of weld filler materials:	—	X		_	Confirm material certification in certified mill test reports.
	 a. Identification markings to conform to AWS specification in the approved construction documents. b. Manufacturer's certificate of compliance required. 	_	x	AISC 360, Sec A3.5 and applicable AWS A5 documents	1704.3.1	Confirm weld designations match construction documents. Confirm manufacturer's certified test reports.
	C. Verify use of proper welding procedure specifications D. Verify welder qualifications	-	X X			Obtain copy of welding procedure specifications Obtain copy of qualification card(s)
	E. Installation of composite slab decking		x	ICC Evaluation Report, ASCE 9 Chapter 3	1704.15.3	SPECIAL INSPECTIONS APPLY TO DECKING TYPE, DEF GAGE, AND FASTENING SPECIAL INSPECTIONS APPLY TO DECKING TYPE, DEF
						GAGE, POWER ACTUATED FASTENERS, SCREWS, PROPRIETARY SIDE SEAM ATTACHMENTS, BUTTON
	F. Installation of Roof Decking G. Welding studs, except as noted otherwise	X	_	ICC Evaluation Report AWS D1.1, Section 7	1704.15.3	PUNCHES AND SHEAR CONNECTORS All welds visually inspected per AWS D1.1,7.8.1
	H. Welding studs in structural diaphragm J. Welding stair and railing systems 5. Inspection of welding:	-		AWS D1.1, Section 7 AWS D1.1, Section 6	-	All welds visually inspected per AWS D1.1,7.8.1 All welds visually inspected per AWS D1.1,6.9
	a. Structural steel and cold-formed steel deck: 1) Complete and partial joint penetration groove welds.	Х	_	AWS D1.1, Section 6	1704.3.1	100% NDT inspection
	2) Multipass fillet welds 3) Single pass fillet welds > 5/16"	X	_	AWS D1.1 AWS D1.1	1704.3.1 1704.3.1	All welds visually inspected per AWS D1.1.6.9 All welds visually inspected per AWS D1.1.6.9
	 4) Plug and slot welds 5) Single pass fillet welds ≤ 5/16" 6) Floor and roof deck welds 	× —	— — — —	AWS D1.1 AWS D1.1 AWS D1.3, Section 7	1704.3.1 1704.3.1 —	All welds visually inspected per AWS D1.1.6.9 All welds visually inspected per AWS D1.1.6.9 All welds visually inspected per AWS D1.3.7.1
			_		_	a construction of the second sec
	 Inspection of steel frame joint details for compliance: a. Details including bracing and stiffeners 	_	x		1704.3.2	
	b. Member locations c. Application of joint details at each connection	_	x		1704.3.2 1704.3.2	
	MAGNETIC PARTICLE (MT) AND ULTRASONIC (UT) TESTING OF WELDS		AWINGS	MT - AWS D1.1 6.14.4 UT - AWS D1.1 6.13 & 6.14.3	1704.3.1.1	
	PRE-CONSTRUCTION TESTING OF WELDING STUDS	STUD EA	CH SHIFT	AWS D1.1 7.7.1	1704.3.1	
	PRE-INSTALLATION TESTING OF WELDING STUDS WELDED THROUGH	DECK	D SIZE AND GAGE NATION	AWS D1.1 7.6	1704.3.1	
	DECKING		BINATION OF R, LENGTH,	RCSC SPECIFICATION FOR STRUCTURAL JOINTS USING ASTM	4704.0.0	
	PRE-INSTALLATION VERIFICATION OF PRETENSIONED HIGH STRENGTH		D LOT TO BE THE WORK	A325 OR A490 BOLTS SECTION 7	1704.3.3	
			1		1705.1.1	Confirm certified mill test reports
	PRE-INSTALLATION VERIFICATION OF PRETENSIONED HIGH STRENGTH BOLTS B. Material verification of stainless steel		X		1705 1 1	Confirm manufacturer's certified test reports.
	PRE-INSTALLATION VERIFICATION OF PRETENSIONED HIGH STRENGTH BOLTS B. Material verification of stainless steel C. Material verification of stainless steel bolts D. Material verification of weld filler metals E. Verify use of proper welding procedure specifications	USED IN 1	X	AWS D1.6, Section 6 AWS D1.6, Section 6	1705.1.1 1705.1.1 1705.1.1	Confirm manufacturer's certified test reports. Confirm manufacturer's certified test reports. Obtain copy of welding procedure specifications
	PRE-INSTALLATION VERIFICATION OF PRETENSIONED HIGH STRENGTH BOLTS B. Material verification of stainless steel C. Material verification of stainless steel bolts D. Material verification of weld filler metals E. Verify use of proper welding procedure specifications F. Verify welder qualifications G. Complete and partial joint penetration groove welds.	USED IN 1 X	X X X X -	AWS D1.6, Section 6 AWS D1.6, Section 6 AWS D1.6, Section 6	1705.1.1 1705.1.1 1705.1.1 1705.1.1	Confirm manufacturer's certified test reports. Obtain copy of welding procedure specifications Obtain copy of qualification card(s) All welds visually inspected per AWS D1.6,6.28.1
	PRE-INSTALLATION VERIFICATION OF PRETENSIONED HIGH STRENGTH BOLTS B. Material verification of stainless steel C. Material verification of stainless steel bolts D. Material verification of weld filler metals E. Verify use of proper welding procedure specifications F. Verify welder qualifications G. Complete and partial joint penetration groove welds. H. Multipass fillet welds J. Single pass fillet welds	USED IN 1 X X	X X X — — X	AWS D1.6, Section 6 AWS D1.6, Section 6 AWS D1.6, Section 6 AWS D1.6, Section 6 AWS D1.6, Section 6	1705.1.1 1705.1.1 1705.1.1 1705.1.1 1705.1.1 1705.1.1	Confirm manufacturer's certified test reports. Obtain copy of welding procedure specifications Obtain copy of qualification card(s)
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	PRE-INSTALLATION VERIFICATION OF PRETENSIONED HIGH STRENGTH BOLTS B. Material verification of stainless steel C. Material verification of stainless steel bolts D. Material verification of weld filler metals E. Verify use of proper welding procedure specifications F. Verify welder qualifications G. Complete and partial joint penetration groove welds. H. Multipass fillet welds J. Single pass fillet welds	USED IN 1 X X X PER DR	X X X — — X AWINGS	AWS D1.6, Section 6 AWS D1.6, Section 6 AWS D1.6, Section 6 AWS D1.6, Section 6 AWS D1.6, Section 6	1705.1.1 1705.1.1 1705.1.1 1705.1.1 1705.1.1 1705.1.1	Confirm manufacturer's certified test reports. Obtain copy of welding procedure specifications Obtain copy of qualification card(s) All welds visually inspected per AWS D1.6,6.28.1 All welds visually inspected per AWS D1.6,6.28.1 All welds visually inspected per AWS D1.6,6.28.1
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	PRE-INSTALLATION VERIFICATION OF PRETENSIONED HIGH STRENGTH BOLTS B. Material verification of stainless steel C. Material verification of stainless steel bolts D. Material verification of weld filler metals E. Verify use of proper welding procedure specifications F. Verify welder qualifications G. Complete and partial joint penetration groove welds. H. Multipass fillet welds J. Single pass fillet welds ULTRASONIC (UT) TESTING OF WELDS Cold Formed (Light Gage) Steel Framing	USED IN 1 X X X PER DR	X X X X AWINGS	AWS D1.6, Section 6 AWS D1.6, Section 6 AWS D1.6, Section 6 AWS D1.6, Section 6 AWS D1.6, Section 6 UT-AWS D1.6 6.13	1705.1.1 1705.1.1 1705.1.1 1705.1.1 1705.1.1 1705.1.1 1704.3.1 Additional OBC Requirements	Confirm manufacturer's certified test reports. Obtain copy of welding procedure specifications Obtain copy of qualification card(s) All welds visually inspected per AWS D1.6,6.28.1 All welds visually inspected per AWS D1.6,6.28.1 All welds visually inspected per AWS D1.6,6.28.1 Remarks Refer to inspection of fabricator requirements VERIFY THAT THE TEMPORARY INSTALLATION RESTRAINT/E AND THE PERMANENT INDIVIDUAL TRUSS MEMBER
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<u>DESIGN CRITERIA NOTES</u>		
REFERENCED DESIGN CODE: OHIO BUILDING CODE (2017)	POST INSTALLED ANCHORS 1. INSTALL ALL ANCHORS PER THE MANUFACTURER'S PUBLISHED INSTALLATION	DIVISION 5 - METALS STRUCTURAL STEEL
	INSTRUCTIONS (MPII).	1. ALL STRUCTURAL STEEL SHALL BE FABRICATED AND ERECTE
ENVIRONMENTAL LOADS: ROOF SNOW LOAD:	 WHERE NOT INDICATED ON THE DRAWINGS, POST-INSTALLED ANCHORS SHALL CONSIST OF THE FOLLOWING ANCHOR TYPES AS PROVIDED BY HILTI, INC. 	THE LATEST AISC RECOMMENDATIONS AND CONFORM TO AN 303-10 INCLUDED IN THE 14TH EDITION OF THE "STEEL CONST
GROUND SNOW LOAD, Pg = 20 PSF	3. CONCRETE SUBSTRATE - U.N.O. USE 3/4" DIAM. HILTI 'HAS' THREADED RODS OR	2. STEEL FABRICATORS SHALL BE AN AISC CERTIFIED SHOP AND
FLAT ROOF SNOW LOAD, Pf = 20 PSF SNOW EXPOSURE FACTOR, Ce = 1.0	HIT-Z ANCHOR RODS WITH HIT-HY 200 SAFE SET SYSTEM, ICC ESR-3187. MINIMUM EMBEDMENT 0'-6 3/4".	GENERAL (ALL TRADES) NOTE 1. OTHERWISE SHOP SPECIAL I REQUIRED.
SNOW LOAD IMPORTANCE FACTOR, Is = 1.0	4. REINFORCING INTO CONCRETE - U.N.O. USE HILTI HIT-RE 500 V3 EPOXY, ICC	3. UNLESS NOTED OTHERWISE, ALL MATERIALS SHALL BE IN ACT
THERMAL FACTOR, Ct = 1.0 WIND LOAD:	 ESR-3814. MINIMUM EMBEDMENT INTO CONCRETE 44x BAR DIAMETER U.N.O. GROUTED CONCRETE MASONRY (INSTALLED IN WALL FACE) MIN. 8" GROUT 	FOLLOWING ASTM SPECIFICATIONS: WIDE FLANGE SECTIONS AND TEES ASTM A992 (50 KSI
BASIC WIND SPEED (3 SECOND GUST) = 115 MPH RISK CATEGORY = II	AROUND ALL ANCHORS - U.N.O. USE 3/4" DIAM. HILTI KWIK BOLT 3 ANCHORS, ICC-	STRUCTURAL HSS TUBING A500 Gr.C (50 KSI) STEEL PIPE A500 Gr. C (46 KSI)
WIND EXPOSURE = C	 ES ESR-1385. MINIMUM EMBEDMENT 0'-4 3/4". GROUTED CONCRETE MASONRY (INSTALLED VERTICALLY IN TOP COURSE OF 	OTHER ROLLED PLATE/SHAPÉS A36 (36 KSI)
MEAN ROOF HEIGHT = 12'-0" INTERNAL PRESSURE COEFFICIENT = +/- 0.18	WALL) - U.N.O. USE 3/4" DIAM. HILTI KWIK HUS EZ SCREW ANCHORS, ICC-ES ESR-3056. MINIMUM EMBEDMENT 0'-6 1/4".	 UNLESS NOTED OTHERWISE, BASE PLATE ANCHOR RODS SHA KSI) ; USE NONSHRINK GROUT C1107 (8000 PSI).
COMPONENT AND CLADDING TO BE USED FOR ALL ITEMS NOT	7. UNGROUTED CONCRETE MASONRY - USE THE HILTI HIT HY-70 ADHESIVE SYSTEM	5. STRUCTURAL STEEL CONNECTIONS SHALL CONSIST OF 3/4" D
SPECIFICALLY DESIGNED BY ENGINEER OF RECORD (0.6W, SERVICE) = ROOFS = +20 PSF / -44 PSF	ICC-ES ESR-2682. U.N.O. STEEL ANCHORS SHALL BE 1/2" DIAM. HILTI 'HAS-E' CONTINUOUSLY THREADED ROD x 0'-4" MINIMUM EMBEDMENT. USE TWO	ASTM F-1852 BOLTS AND/OR WELDS WITH E70-XX ELECTRODE CONNECTIONS SELECTED BY THE FABRICATOR FOR THE UNF
WALLS = +20 PSF / -22 PSF	APPROPRIATELY SIZED MESH SLEEVES PER ANCHOR.	FORCES INDICATED ON PLAN IN ACCORDANCE WITH THE AISO
EARTHQUAKE LOAD: SEISMIC IMPORTANCE FACTOR, le = 1.0		<u>ALLOWABLE STRESS DESIGN LOAD</u> , U.N.O. USE 5/16" THICK D CONNECTIONS, (AS DETAILED IN THE AISC "MANUAL OF STEEL
MAPPED SPECTRAL ACCELERATION, Ss = 0.149	<u>DIVISION 3 - FOUNDATIONS AND CONCRETE</u> 1. ALLOWABLE NET SOIL BEARING CAPACITY = <u>2,500 PSF</u> PER THE 1964 CONSTRUCTION	U.N.O. ON STRUCTURAL DRAWINGS.
SITE CLASS = D (DEFAULT)	DOCUMENTS 2. ALL EXCAVATIONS SHALL BE INSPECTED BY A GEOTECHNICAL ENGINEER PRIOR TO PLACING	 UNLESS NOTED OTHERWISE, PROVIDE CONTINUOUS 1/4 FILLE REQUIREMENTS.
DESIGN SPECTRAL ACCELERATION: Sds = 0.159	 ALL EXCAVATIONS SHALL BE INSPECTED BY A GEOTECHNICAL ENGINEER PRIOR TO PLACING CONCRETE. 	7. TYPICAL LINTELS FOR MASONRY OPENINGS SHALL BE AS FOL
Sd1 = 0.115 SEISMIC DESIGN CATEGORY = B	3. CONCRETE WORK SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE LATEST "AMERICAN CONCRETE INSTITUTE" INCLUDING THE REQUIREMENTS OF ACI 301, "SPECIFICATION FOR	L3 1/2 x 3 1/2 x 5/16" ANGLES, EACH 4" WALL WIDTH, 4'-(LESS (8" MINIMUM END BEARING, TYP. EACH
BASIC SEISMIC-FORCE-RESISTING SYSTEM (RESPONSE MODIFICATION FACTOR) =	STRUCTURAL CONCRETE BUILDINGS". CONCRETE MIXES SHALL BE DESIGNED PER ACI 301,	L5 x 3 1/2 x 5/16" ANGLES, L.L.V., EACH 4" WALL WIDTH,
[Reference: ASCE 7-10 Table 12.2-1] A11 ORDINARY PLAIN MASONRY SHEAR WALLS (R=1 1/2)	USING PORTLAND CEMENT CONFORMING TO ASTM C150 OR C595, AGGREGATE CONFORMING TO ASTM C33, AND ADMIXTURES CONFORMING TO ASTM C494, C1017, C618, C989 AND C260.	OPENINGS (8" MINIMUM END BEARING, TYP. W8X18 WITH 5/16" PLATE CONTINUOUS (EXTEND PLATI
SEISMIC RESPONSE COEFFICIENT, Cs = 0.106	CONCRETE SHALL BE READY-MIXED IN ACCORDANCE WITH ASTM C94.	6'-9" TO 12'-0" CMU OPENINGS. 12" MIN. BR'G
ANALYSIS PROCEDURE USED = EQUIVALENT LATERAL FORCE PROCEDURE	 HOT WEATHER CONCRETING SHALL BE IN ACCORDANCE WITH ACI 305. COLD WEATHER CONCRETING SHALL BE IN ACCORDANCE WITH ACI 306. 	 UNLESS NOTED OTHERWISE, ALL STRUCTURAL STEEL PERMA THE WEATHER, INCLUDING ALL BRICK LINTEL ANGLES AND PL
PER OBC 3404.4 EXCEPTION, THE EXISTING LATERAL LOAD CARRYING STRUCTURAL ELEMENTS WILL HAVE A DEMAND/CAPACITY RATIO INCREASE OF NO MORE THAN 10%	5. CONCRETE SHALL ATTAIN THE FOLLOWING ULTIMATE 28 DAY COMPRESSIVE STRENGTHS:	DIPPED GALVANIZED IN ACCORDANCE WITH ASTM A153.
AND SHALL BE PERMITTED TO REMAIN UNALTERED.	3,000 P.S.I. FOR FOOTINGS AND FOUNDATIONS 3,500 P.S.I. FOR FLOOR SLABS ON DECK	 COORDINATE ALL ROOF AND FLOOR OPENING SIZES AND LOC ARCHITECTURAL AND MECHANICAL DRAWINGS, FRAME OPEN
	4,000 P.S.I. FOR INT. SLABS ON GRADE, WALLS, WALL PIERS	ANGLES TYPICAL U.N.O. CONTRACTOR TO VERIFY UNIT SIZES
DESIGN UNIFORM LOADS:	4,500 P.S.I. FOR EXT. SLABS ON GRADE; SLUMP SHALL BE 4" ± 1"	LOCATIONS BEFORE ERECTION. SEE DETAIL SD11 ON THE ST SHEET.
<u>DEAD LOAD</u> : REFER TO DEAD LOAD TABULATION TABLES ROOF LIVE LOAD: 20 PSF (MINIMUM PER OBC SECTION 1607.11.2)	6. ALL CONCRETE TO BE PERMANENTLY EXPOSED TO WEATHER SHALL BE AIR ENTRAINED (4.5	 ALLOWANCE: FABRICATOR/ERECTOR SHALL ALLOW FOR 50# (METAL FOR JOB SITE USE, IN PLACE, WHICH INCLUDES PLATE
UNIFORM FLOOR LIVE LOAD [CONCENTRATED LOAD] :	TO 7.5%) WITH AN ADMIXTURE THAT CONFORMS TO ASTM C260. MAXIMUM W/C RATIO = 0.45 7. ALL REINFORCING STEEL SHALL CONFORM TO ASTM A615 OR ASTM A996, GRADE 60.	COVER CORRECTIONS MADE ON THE SHOP DWGS. AND STEE
 REFER TO OBC 1607.4 FOR CONCENTRATED LOAD APPLICATION AREA MINIMUM CONCENTRATED LOAD NOTED IN BRACKETS BELOW [] 	8. TOP OF FOOTING ELEVATIONS SHALL BE AS SHOWN ON THE FOUNDATION PLAN. THESE	STRUCTURAL ENGINEER DURING FIELD OBSERVATIONS.
3. ADD 15 PSF FOR PARTITIONS AS NOTED BELOW (+15 PSF)	ELEVATIONS ARE A MAXIMUM AND SHALL BE LOWERED AS REQUIRED TO OBTAIN THE REQUIRED DESIGN BEARING PRESSURE PER THE GEOTECHNICAL ENGINEER'S	STEEL DECK
 LIVE LOAD REDUCTION -<u>NOT USED</u> FOR COLUMNS AND FOOTINGS PER 1607.9 IMPACT LOADS - PER OBC 1607.9 AND 1607.13 	SPECIFICATION. REFER TO SCHEDULES AND DETAILS FOR MINMIMUM FOOTING THICKNESSES.	 STEEL ROOF DECK SHALL BE 1-1/2" - 20 GA. WR TYPE B GALVA A653, U.N.O. FIELD VERIFY EXISTING ROOF DECK PROFILE AN
ART CENTERS	 ALLOWANCE - CONTRACTOR SHALL PROVIDE 100# OF ADDITIONAL REINFORCING BARS (#4, #5 AND #6'S) FOR JOB SITE USE, TO FILL ANY VOIDS IN FORMS. THE DESIGN ENGINEER IS TO 	NARROW OR INTERMEDIATE RIB DECK WAS USED IN ORIGINA
SLAB-ON-GRADE 150 PSF [2000 LBS]	DIRECT PLACEMENT OF REINFORCING STEEL.	DECK MUST MATCH THE EXISTING PROFILE IN ORDER TO PRO ANCHOR.
ELEVATED SLABS PER ORIGINAL 1964 DESIGN DOCUMENTS:	DIVISION 4 - MASONRY	
STAGE FLOORS 100 PSF	1. MASONRY CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE	DIVISION 5 - METALS
STAIRS 100 PSF	"SPECIFICATIONS FOR MASONRY STRUCTURES (TMS 602-13)", PUBLISHED BY THE MASONRY SOCIETY.	COLD FORM STEEL FRAMING (CFS)
	2. HOLLOW MASONRY UNITS SHALL CONFORM TO ASTM C90. COMPRESSIVE STRENGTH	1. DESIGN, FABRICATION, AND ERECTION OF ALL COLD FORMED MEMBERS SHALL CONFORM TO THE "NORTH AMERICAN SPEC
SPECIAL LOADS:	OF THE BLOCK SHALL BE A MINIMUM 2,000 psi. 3. FILL ALL BOND BEAMS AND REINFORCED CELLS SOLIDLY WITH GROUT. GROUT	DESIGN OF COLD-FORMED STEEL STRUCTURAL MEMBERS" (A 2. ALL CFS MEMBERS AND ACCESSORIES SHALL BE FORMED FR
SEE PLAN FOR SPECIAL LOADING CONDITIONS	SHALL CONFORM TO ASTM C476 AND SHALL OBTAIN A MINIMUM 28 DAY NET	TO ASTM A1003 WITH A MINIMUM YIELD STRENGTH AS FOLLON
	COMPRESSIVE STRENGTH OF 2,500 psi. UNDER NO CIRCUMSTANCES SHALL MASONRY MORTAR BE USED IN LIEU OF GROUT.	HEAVIER MEMBERS Fy= 50 KSI (GRADE ST50H) ; 43 mils (18 Ga MEMBERS Fy= 33 KSI (GRADE ST33H)
CENEDAL STOLICTUDAL NOTES	4. ALL MORTAR SHALL MEET THE "PROPORTION SPECIFICATION" OF ASTM C-270 AND BE	3. ALL MEMBERS SHALL BE GALVANIZED WITH A COATING MEET
<u>GENERAL STRUCTURAL NOTES</u>	MADE WITH PORTLAND CEMENT/LIME (NON AIR-ENTRAINED). THE USE OF MASONRY CEMENT MORTAR IS STRICTLY PROHIBITED. USE TYPE 'S' FOR WALLS BELOW GRADE	OF ASTM A653. USE G90 OR EQUIVALENT FOR STUDS WITH A I ALL OTHER FRAMING MEMBERS AND ACCESSORIES.
GENERAL (ALL TRADES)	AND TYPE 'N' FOR ALL OTHER WALLS.	4. CFS LINTELS SHALL BE UNPUNCHED
1. IN ACCORDANCE WITH SECTION 1704 OF THE OHIO BUILDING CODE, SPECIAL	 THE MINIMUM 28 DAY NET COMPRESSIVE STRENGTH OF THE MASONRY ASSEMBLY (f' m) SHALL BE 2000 P.S.I., AS DETERMINED BY THE UNIT STRENGTH METHOD OF ACI 	 PROVIDE BRIDGING FOR STUDS AT A MAXIMUM SPACING NOT PER MFR. REQUIRMENTS FOR JOISTS AND RAFTERS. ALL BRID
INSPECTIONS WILL BE REQUIRED FOR THIS PROJECT. SPECIAL INSPECTIONS SHALL BE PERFORMED IN ACCORDANCE WITH THE "SPECIAL INSPECTION	530.1. 6. PROVIDE STEEL JOIST AND BEAM BEARING PLATES AND OTHER ACCESSORIES AS	INSTALLED PRIOR TO THE ADDITION OF ANY LOADING. CONNE
REQUIREMENTS" SCHEDULE. ALL FABRICATORS SHALL SATISFY THE "FABRICATOR	INDICATED. PROVIDE (3) COURSES OF SOLIDLY GROUTED CMU OVER A WIDTH OF	MEMBER BY WELDING, CLIP ANGLES OR OTHER APPROVED M MANUFACTURER'S REQUIREMENTS.
APPROVAL" PROVISIONS IN SECTION 1704.2.5.1 WHICH REQUIRES THE FABRICATOR TO MAINTAIN AN AGREEMENT A BOARD RECOGNIZED INDUSTRY TRADE	2'-8" BELOW ALL BEAM BEARINGS. 7. HOOK VERTICAL BARS INTO CONTINUOUS BOND BEAMS AT TOP OF WALLS (BELOW	
ASSOCIATION CERTIFICATION PROGRAM OR A BOARD RECOGNIZED FABRICATOR	JOIST/TRUSS BEARING)	
 INSPECTION AGENCY PER 4101:7-6-01 OF OHIO ADMINISTRATIVE CODE. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND REPORT ANY 		
CONDITIONS SUBSTANTIALLY DIFFERENT THAN THOSE SHOWN TO THE ENGINEER. 3. STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH THE DRAWINGS		
AND SPECIFICATIONS OF ALL OTHER DISCIPLINES. THE CONTRACTOR SHALL		
VERIFY THE REQUIREMENTS OF OTHER TRADES AS TO SLEEVES, CHASES,		

GE GENE

IN ACCORDANCE WITH SECTION 1704 OF THE OHIO BUILDING COD
INSPECTIONS WILL BE REQUIRED FOR THIS PROJECT. SPECIAL IN
SHALL BE PERFORMED IN ACCORDANCE WITH THE "SPECIAL INSF
REQUIREMENTS" SCHEDULE. ALL FABRICATORS SHALL SATISFY
APPROVAL" PROVISIONS IN SECTION 1704.2.5.1 WHICH REQUIRES
TO MAINTAIN AN AGREEMENT A BOARD RECOGNIZED INDUSTRY 1
ACCOUNTION OF STIELOATION DROODAN OF A DOADD DECCONIZ

- 2. VERIFY THE REQUIREMENTS OF OTHER TRADES AS TO SLEEVES, CHASES, HANGERS, INSERTS, ANCHORS, HOLES, AND OTHER ITEMS TO BE PLACED OR SET
- IN THE STRUCTURAL WORK. 4. THE STRUCTURAL DRAWINGS HEREIN REPRESENT THE FINISHED STRUCTURE. THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY GUYING AND BRACING REQUIRED TO ERECT AND HOLD THE STRUCTURE IN PROPER ALIGNMENT UNTIL ALL STRUCTURAL WORK AND CONNECTIONS HAVE BEEN COMPLETED. THE INVESTIGATION, DESIGN, SAFETY, ADEQUACY AND INSPECTION OF ERECTION BRACING, SHORING, TEMPORARY SUPPORTS, ETC. IS THE SOLE RESPONSIBILITY
- OF THE CONTRACTOR. SHELL + MEYER ASSOCIATES, INC. SHALL NOT BE RESPONSIBLE FOR THE 5. METHODS, TECHNIQUES, AND SEQUENCES OF PROCEDURES TO PERFORM THE WORK.

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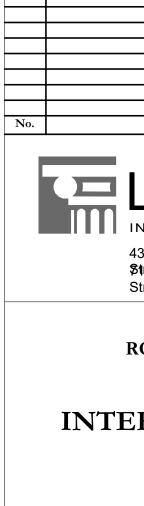
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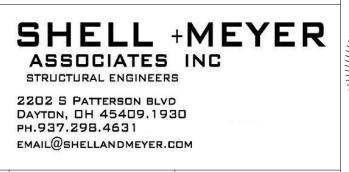
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ALL STRUCTURAL STEEL SHALL BE FABRICATED AND ERECTED IN ACCORDANCE WITH THE LATEST AISC RECOMMENDATIONS AND CONFORM TO ANSI/AISC 360-10 AND AISC 303-10 INCLUDED IN THE 14TH EDITION OF THE "STEEL CONSTRUCTION MANUAL". STEEL FABRICATORS SHALL BE AN AISC CERTIFIED SHOP AND SHALL SATISFY GENERAL (ALL TRADES) NOTE 1. OTHERWISE SHOP SPECIAL INSPECTIONS WILL BE UNLESS NOTED OTHERWISE, ALL MATERIALS SHALL BE IN ACCORDANCE WITH THE WIDE FLANGE SECTIONS AND TEES ASTM A992 (50 KSI)

UNLESS NOTED OTHERWISE, BASE PLATE ANCHOR RODS SHALL BE ASTM F1554 (36 STRUCTURAL STEEL CONNECTIONS SHALL CONSIST OF 3/4" DIAM. HIGH STRENGTH ASTM F-1852 BOLTS AND/OR WELDS WITH E70-XX ELECTRODES. USE SHEAR TYPE CONNECTIONS SELECTED BY THE FABRICATOR FOR THE UNFACTORED SHEAR FORCES INDICATED ON PLAN IN ACCORDANCE WITH THE AISC SPECIFICATIONS FOR ALLOWABLE STRESS DESIGN LOAD, U.N.O. USE 5/16" THICK DOUBLE ANGLE CONNECTIONS, (AS DETAILED IN THE AISC "MANUAL OF STEEL CONSTRUCTION"),

UNLESS NOTED OTHERWISE, PROVIDE CONTINUOUS 1/4 FILLET WELDS PER AISC TYPICAL LINTELS FOR MASONRY OPENINGS SHALL BE AS FOLLOWS, U.N.O. ON PLANS: L3 1/2 x 3 1/2 x 5/16" ANGLES, EACH 4" WALL WIDTH, 4'-0" OPENINGS OR LESS (8" MINIMUM END BEARING, TYP. EACH END) L5 x 3 1/2 x 5/16" ANGLES, L.L.V., EACH 4" WALL WIDTH, 4'-1" TO 6'-8" OPENINGS (8" MINIMUM END BEARING, TYP. EACH END)

W8X18 WITH 5/16" PLATE CONTINUOUS (EXTEND PLATE TO END OF BEAM), 6'-9" TO 12'-0" CMU OPENINGS. 12" MIN. BR'G. E.E. UNLESS NOTED OTHERWISE, ALL STRUCTURAL STEEL PERMANENTLY EXPOSED TO THE WEATHER, INCLUDING ALL BRICK LINTEL ANGLES AND PLATES, SHALL BE HOT-DIPPED GALVANIZED IN ACCORDANCE WITH ASTM A153. COORDINATE ALL ROOF AND FLOOR OPENING SIZES AND LOCATIONS WITH ARCHITECTURAL AND MECHANICAL DRAWINGS, FRAME OPENINGS WITH L3x3x1/4"

ANGLES TYPICAL U.N.O. CONTRACTOR TO VERIFY UNIT SIZES, WEIGHTS, AND LOCATIONS BEFORE ERECTION. SEE DETAIL SD11 ON THE STRUCTURAL DETAIL ALLOWANCE: FABRICATOR/ERECTOR SHALL ALLOW FOR 50# OF ADDITIONAL MISC. METAL FOR JOB SITE USE, IN PLACE, WHICH INCLUDES PLATES, ANGLES, ETC. TO COVER CORRECTIONS MADE ON THE SHOP DWGS. AND STEEL ADDED BY THE

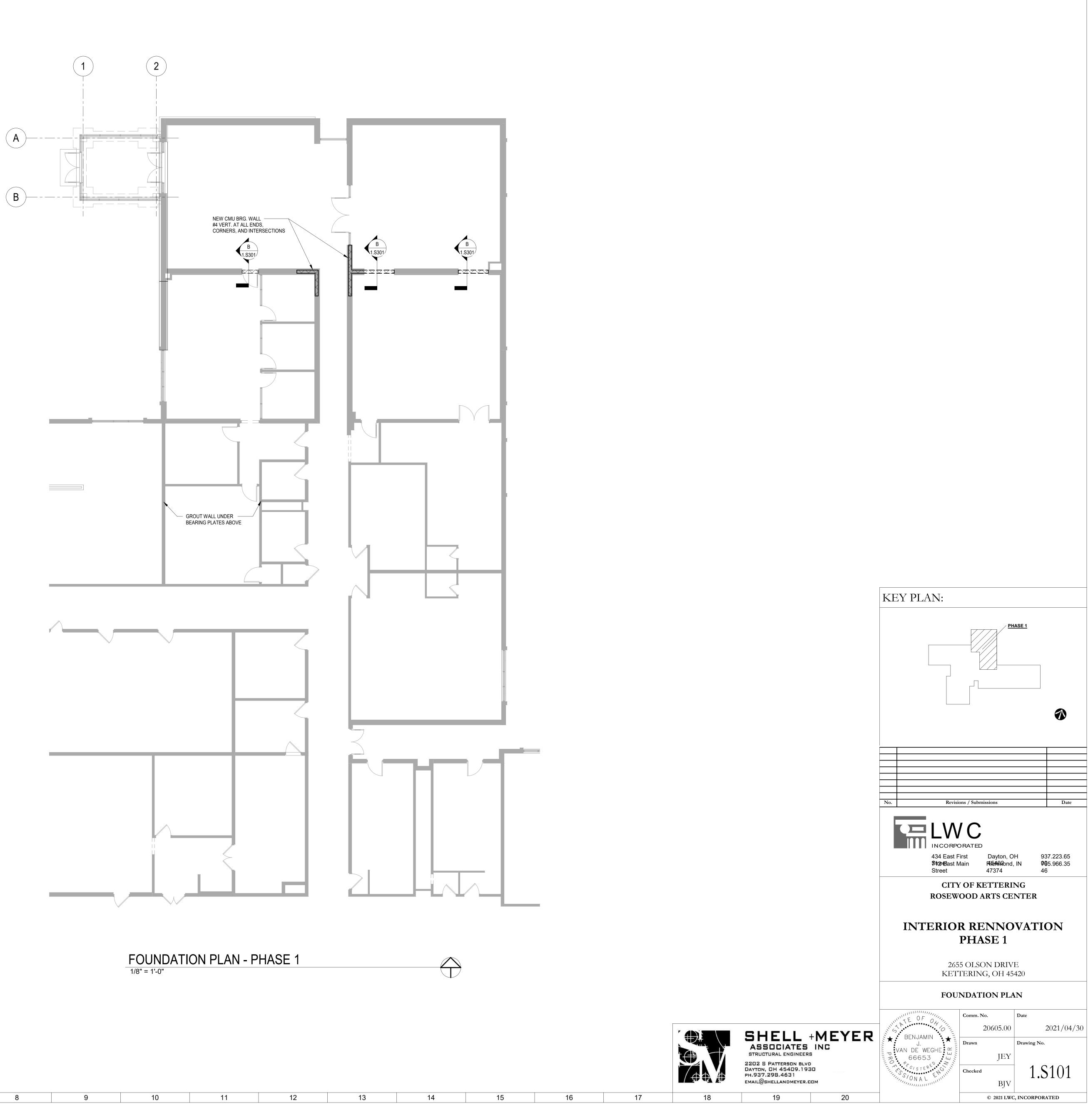
<u>STEEL DECK</u> STEEL ROOF DECK SHALL BE 1-1/2" - 20 GA. WR TYPE B GALVANIZED G90 PER ASTM A653, U.N.O. FIELD VERIFY EXISTING ROOF DECK PROFILE AND NOTIFY ARCHITECT IF NARROW OR INTERMEDIATE RIB DECK WAS USED IN ORIGINAL CONSTRUCTION. NEW DECK MUST MATCH THE EXISTING PROFILE IN ORDER TO PROPERLY LAP AND

SION 5 - METALS <u>COLD FORM STEEL FRAMING (CFS)</u> DESIGN, FABRICATION, AND ERECTION OF ALL COLD FORMED STEEL FRAMING DESIGN, FABRICATION, AND ERECTION OF ALL COLD FORMED STEEL FRAMING MEMBERS SHALL CONFORM TO THE "NORTH AMERICAN SPECIFICATION FOR THE DESIGN OF COLD-FORMED STEEL STRUCTURAL MEMBERS" (AISI S100-12). ALL CFS MEMBERS AND ACCESSORIES SHALL BE FORMED FROM STEEL CONFORMING TO ASTM A1003 WITH A MINIMUM YIELD STRENGTH AS FOLLOWS: 54 mils (16 Ga.) AND HEAVIER MEMBERS Fy= 50 KSI (GRADE ST50H) ; 43 mils (18 Ga.) AND LIGHTER ALL MEMBERS SHALL BE GALVANIZED WITH A COATING MEETING THE REQUIREMENTS OF ASTM A653. USE G90 OR EQUIVALENT FOR STUDS WITH A BRICK VENEER, G60 FOR

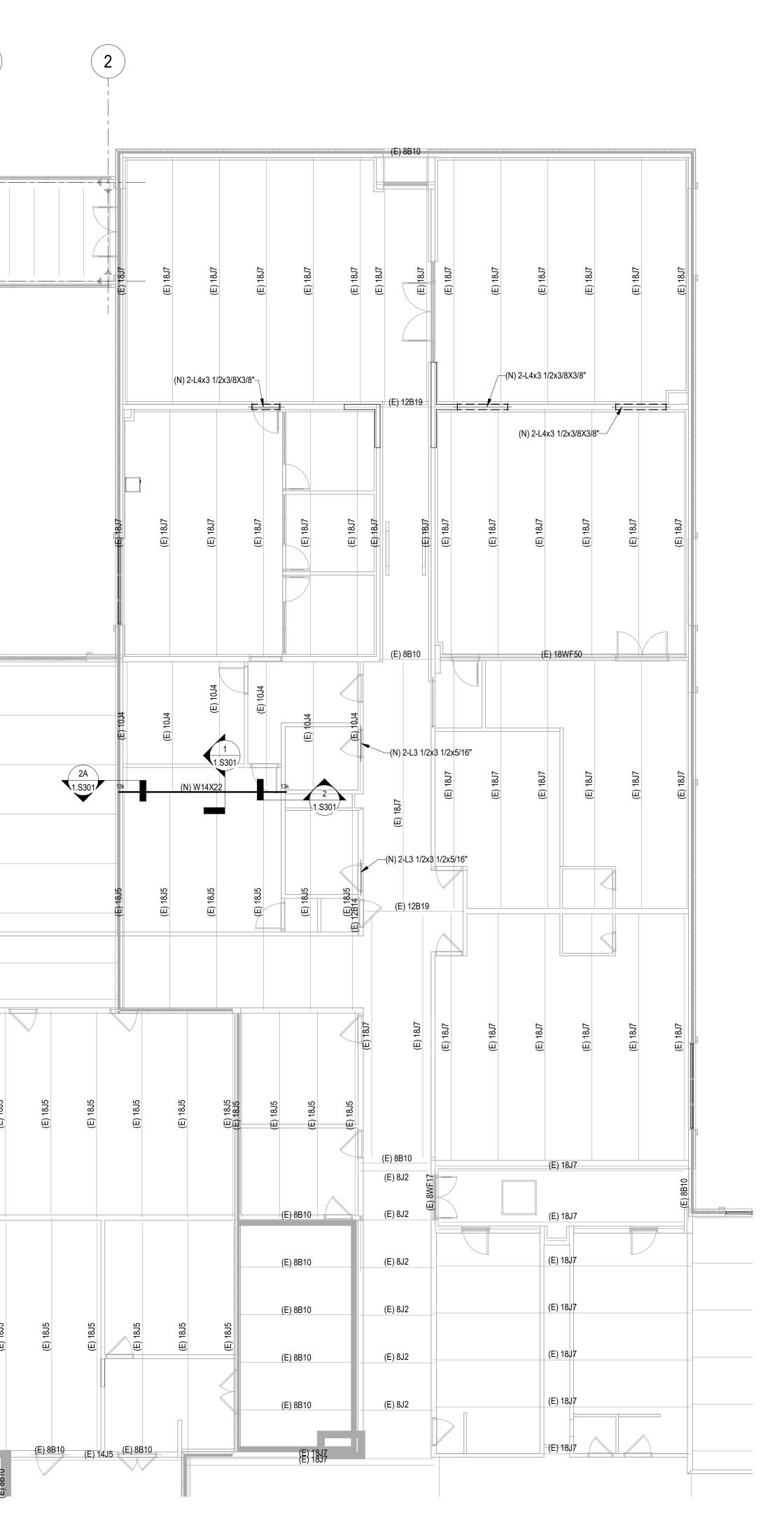
PROVIDE BRIDGING FOR STUDS AT A MAXIMUM SPACING NOT TO EXCEED 4'-0" AND PER MFR. REQUIRMENTS FOR JOISTS AND RAFTERS. ALL BRIDGING SHALL BE INSTALLED PRIOR TO THE ADDITION OF ANY LOADING. CONNECT BRIDGING TO EACH MEMBER BY WELDING, CLIP ANGLES OR OTHER APPROVED METHOD PER THE

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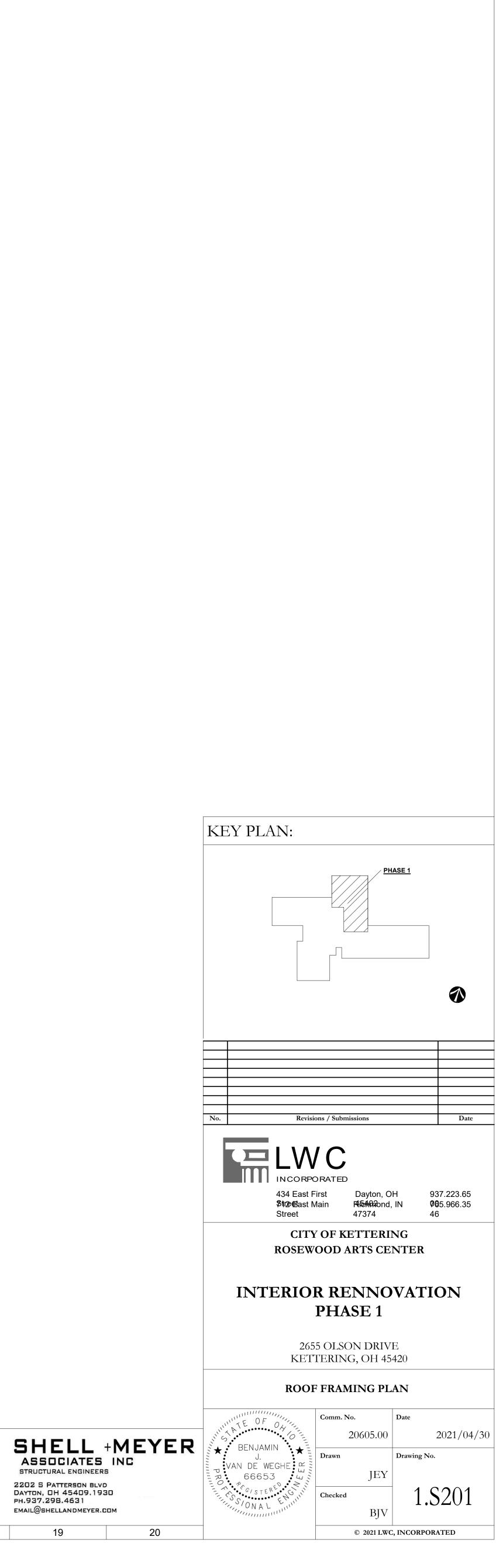


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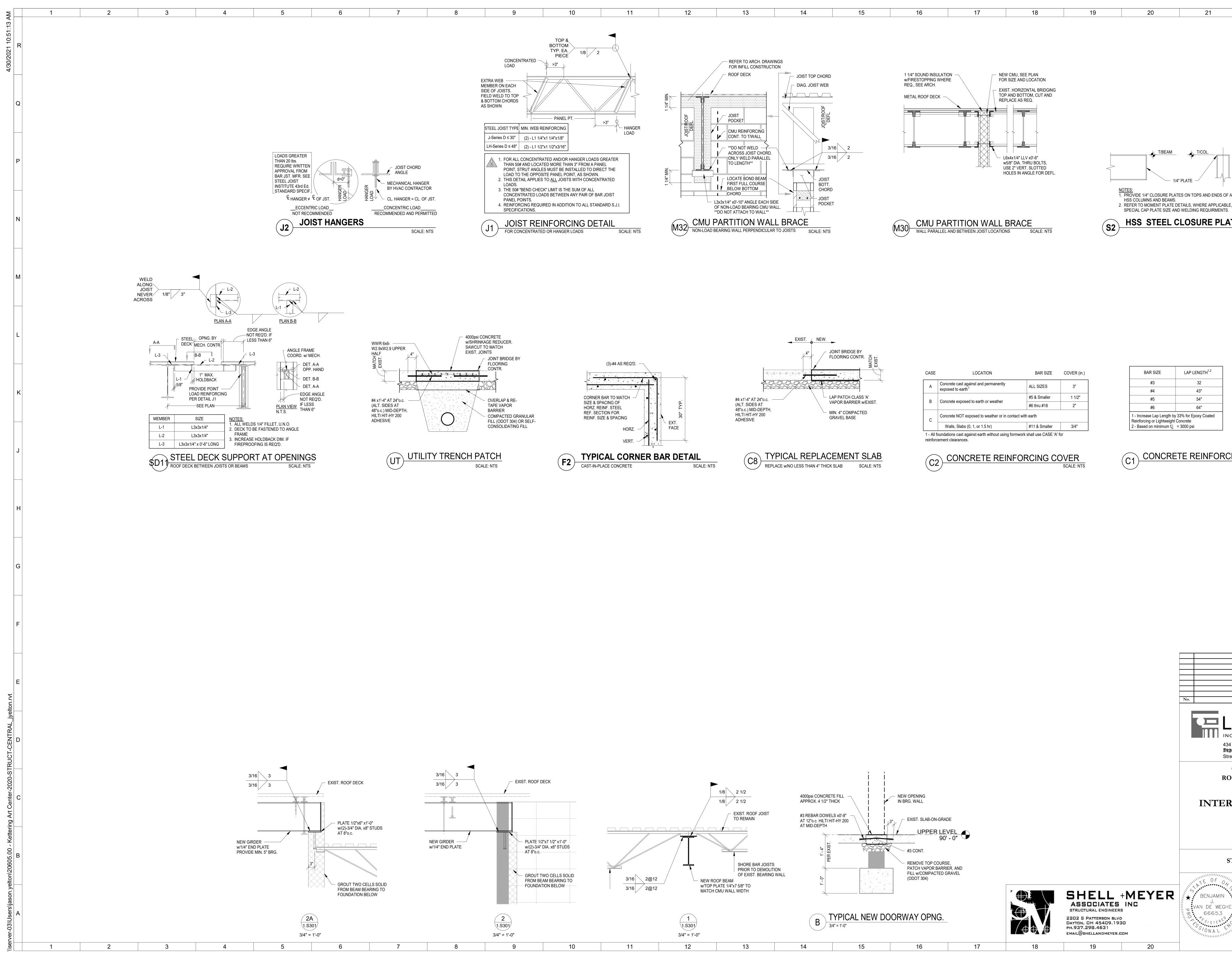
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2202 5 Patterson blvd Dayton, OH 45409.1930 ph.937.298.4631 email@shellandmeyer.com

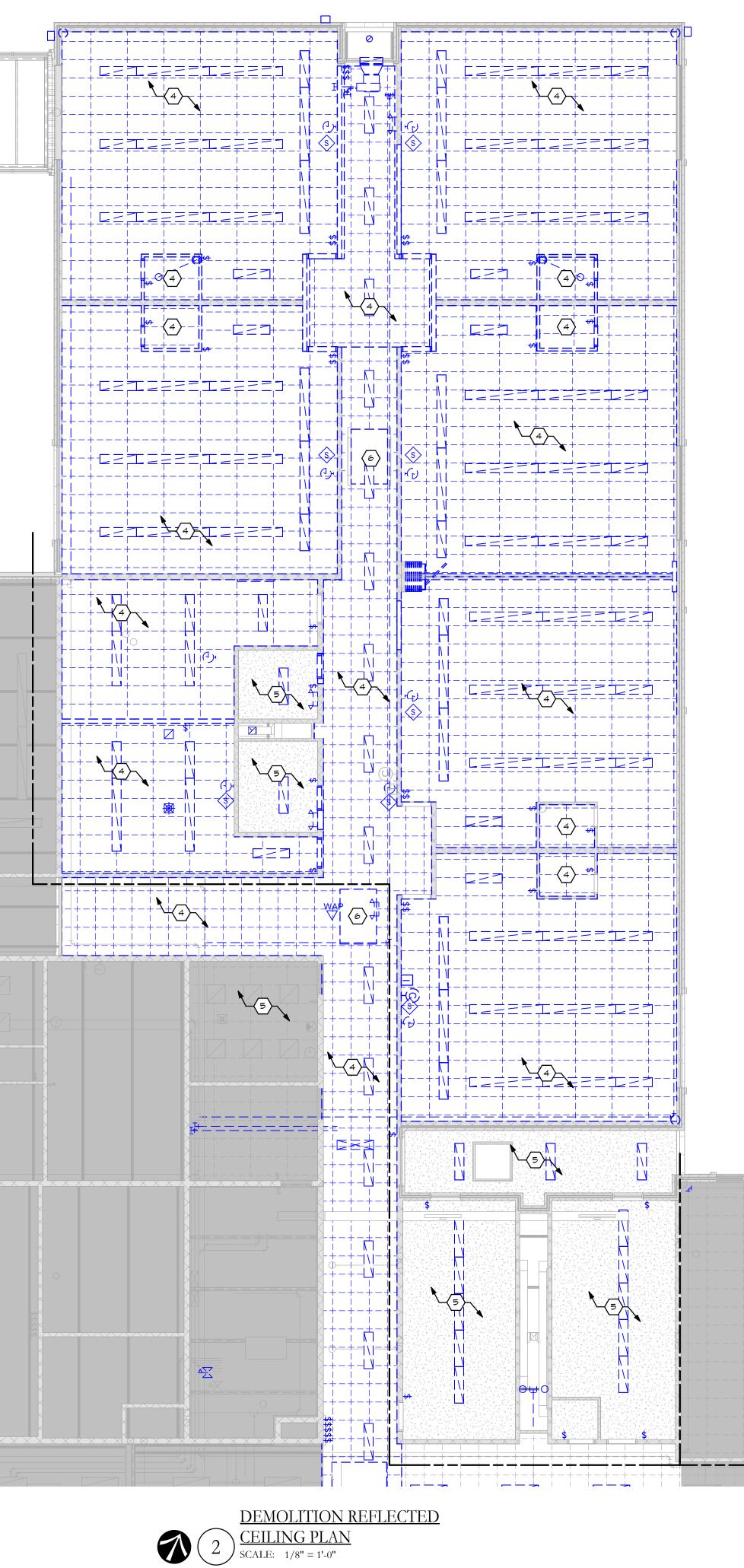


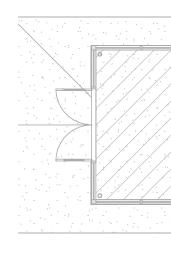
CASE	LOCATION	BAR SIZE	COVER (in.)				
A	Concrete cast against and permanently exposed to earth ¹	ALL SIZES	3"				
В	Concrete eveneed to earth or weether	#5 & Smaller	1 1/2"				
В	Concrete exposed to earth or weather	#6 thru #18	2"				
с	Concrete NOT exposed to weather or in contact with earth						
	Walls, Slabs (0, 1, or 1.5 hr)	#11 & Smaller	3/4"				

BAR SIZE	LAP LENGTH ^{1,2}				
#3	32				
#4	43"				
#5	54"				
#6	64"				
1 - Increase Lap Length by 33% for Epoxy Coated Reinforcing or Lightweight Concrete 2 - Based on minimum fc' = 3000 psi					

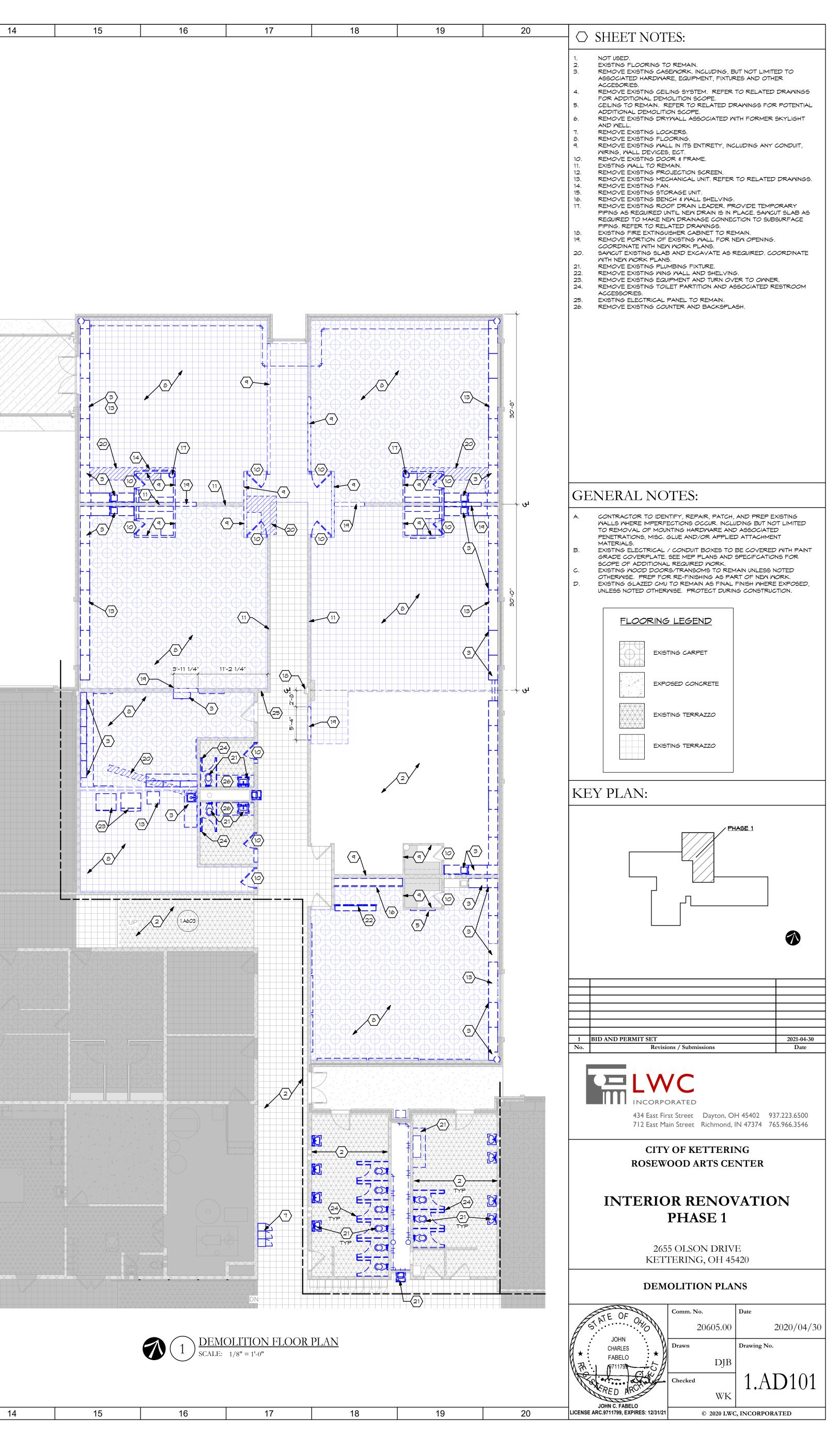
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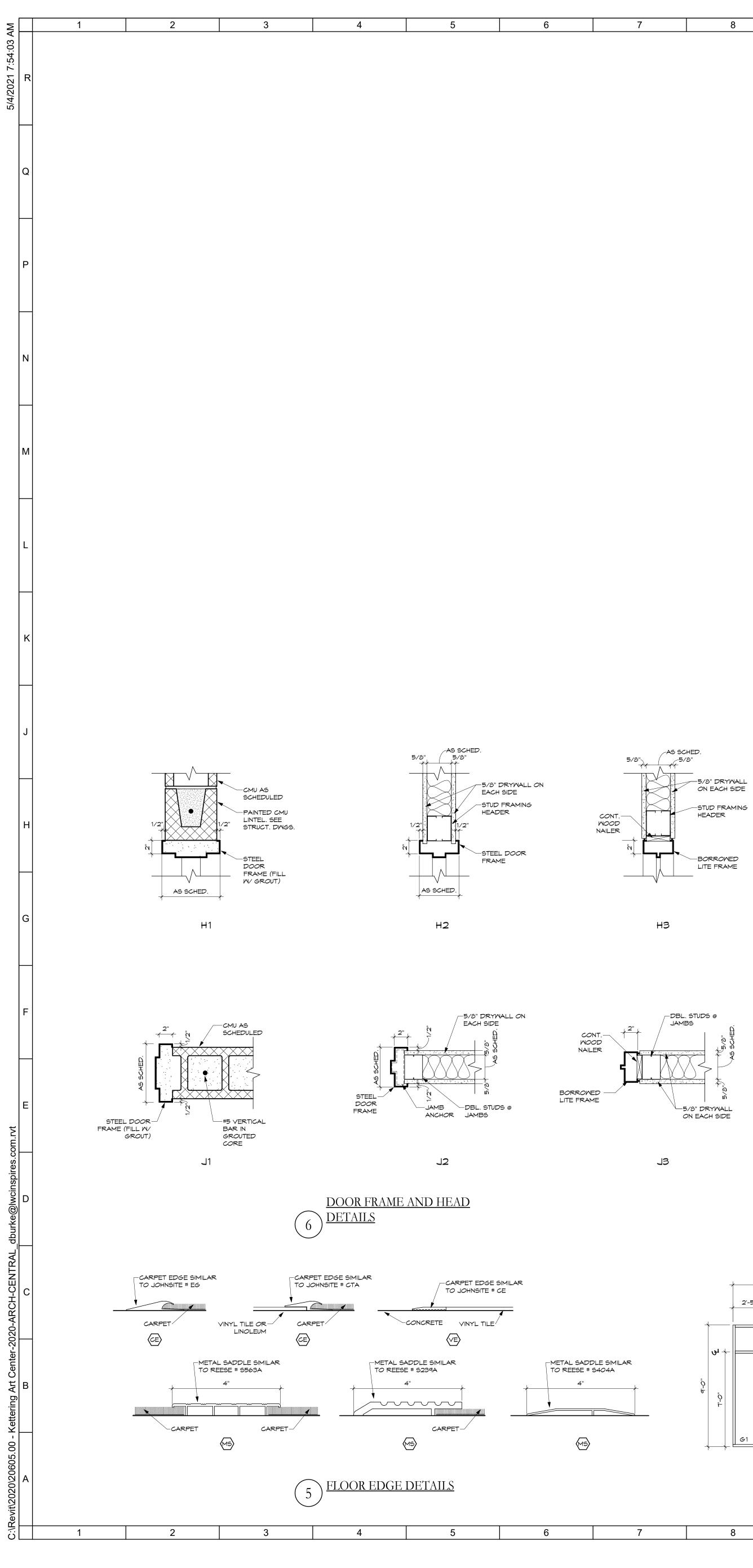
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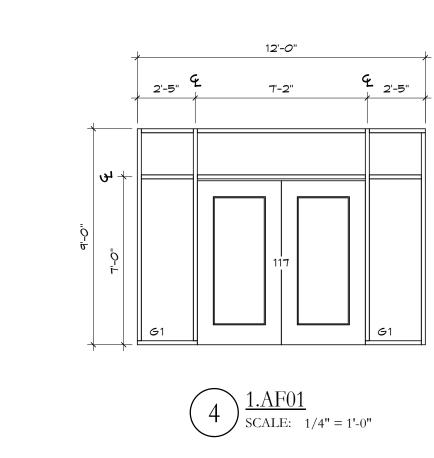


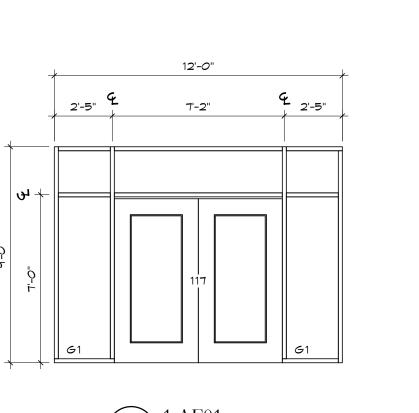




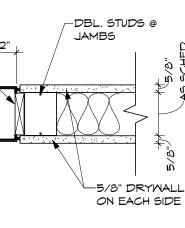


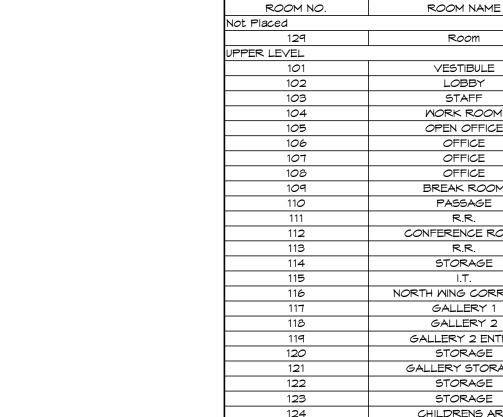






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9'-5"

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3. MATCH EXISTING DOOR SIZE.

DOOR EXISTING INTERIOR /

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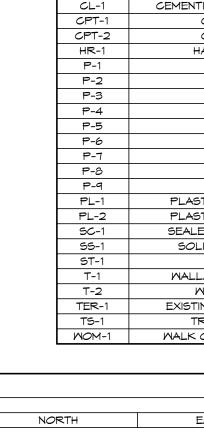
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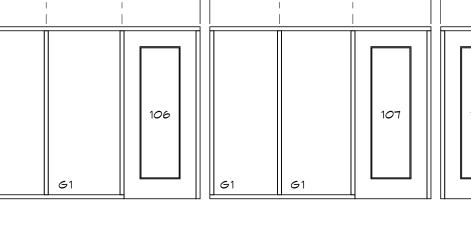
9'-2 5/8"



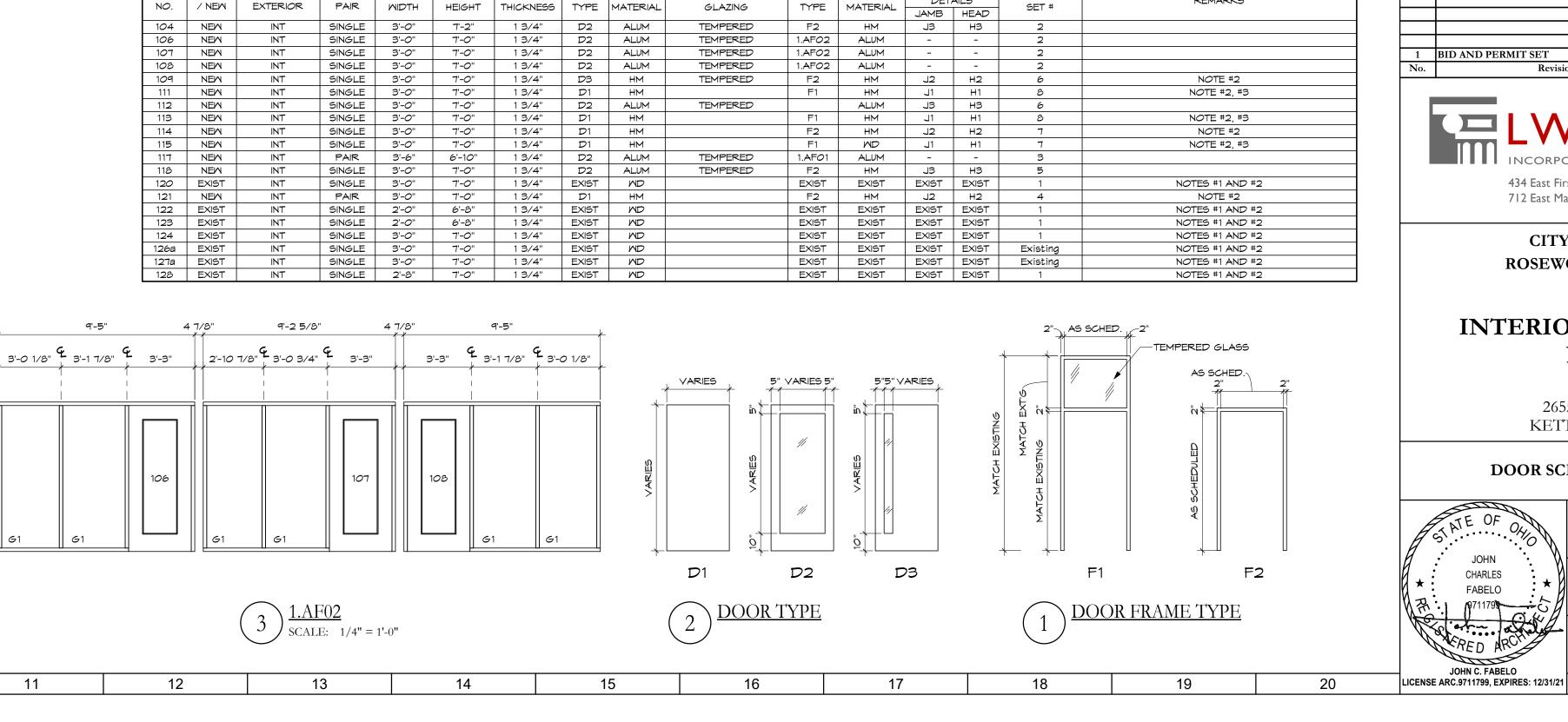
			FINISH MATERIAL SCH	HEDULE	
CODE	MATERIAL	MANUFACTURER	DESCRIPTION / PATTERN	COLOR / MATERIAL	REMARKS
ACT-1	ACOUSTICAL CEILING TILE	ARMSTRONG	2X2 TEGULAR	WHITE	AS SPECIFIED
B-1	BASE	OWNER PROVIDED	RUBBER	DARK GREY	
CL-1	CEMENTITIOUS LEVELER	SCHONOX	EXPOSED, CEMENTITIOUS	TINTED, WITH APPLIED SEALER	APPLIED OVER SLAB OR EXISTING VAT TILE
CPT-1	CARPET	INTERFACE	CARPET TILE	105892 TURTLE BAY	SECOND STORY COLLECTION
CPT-2	CARPET	INTERFACE	CARPET TILE	105881 SOHO	SECOND STORY COLLECTION
HR-1	HAND RAIL		PAINTED STEEL		P-8 PAINT
P-1	PAINT	SHERMIN WILLIAMS	EXPOSED STRUCTURE/DECK	TBD	
P-2	PAINT	SHERMIN WILLIAMS	CEILINGS/BULKHEADS	TBD	
P-3	PAINT	SHERMIN WILLIAMS	HM DOOR FRAMES	TBD	SEMI-GLOSS
P-4	PAINT	SHERMIN WILLIAMS	MALL	TBD	EGGSHELL
P-5	PAINT	SHERMIN WILLIAMS	WALL ACCENT	TBD	EGGSHELL
P-6	PAINT	SHERMIN WILLIAMS	NEUTRAL BACKGROUND	WHITE	EGGSHELL
P-7	PAINT	SHERMIN WILLIAMS	GALLERY WHITE	MATCH OWNER'S SAMPLE	FLAT SHEEN, APPLIED TO FG TYPE WALL
P-8	PAINT	SHERWIN WILLIAMS	DARK GREY	SW7062 ROCK BOTTOM	NEW HANDRAILS AT RAMP. SEMI-GLOSS
P-9	PAINT	SHERWIN WILLIAMS	DOORS AND TRANSOM PNLS	TBD	SATIN SHEEN
PL-1	PLASTIC LAMINATE		CASEWORK BASE CABINETS		MELAMINE INTERIOR SURFACES
PL-2	PLASTIC LAMINATE		CASEWORK UPPER CABINETS		MELAMINE INTERIOR SURFACES
SC-1	SEALED CONCRETE				GRIND CONCRETE TO REMOVE RESIDUE. SEAL
55-1	SOLID SURFACE		COUNTERTOPS		
ST-1	STAIN			TBD	DARK TONE FOR RECEPTION DESK WOOD TRIM
T- 1	WALL/FLOOR TILE	DAL-TILE	12 X 24 5/16	DARK	OWNER PROVIDED. SEE DRAWINGS FOR PATTERN
T-2	WALL TILE	DAL-TILE	12 X 24 5/16	LIGHT	OWNER PROVIDED. SEE DRAWINGS FOR PATTERN
TER-1	EXISTING TERRAZZO	N/A	REFINISH		GRIND/POLISH
TS-1	TRANSITION	TARKETT	RESILIENT @ CARPET	BLACK	PROVIDE AS REQUIRED
WOM-1	WALK OFF MATERIAL	MATS INC.	SUPER NOP TILE	GRIJS/CHARCOAL	

$(3) \frac{1.AF02}{\text{SCALE: } 1/4" = 1'-0"}$

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HARDWARE

SET #

6

REMARKS

NOTE #2

NOTE #2, #3

NOTE #2, #3

NOTE #2

NOTE #2, #3

1. REFINISH DOOR LEAF AND/OR ASSOCIATED TRANSOM WHERE APPLICABLE. PREP FOR PAINT FINISH
2. PAINT FINISH
3. MATCH EXISTING DOOR SIZE.

DOOR SIZE

SINGLE /

NO. / NEW EXTERIOR PAIR WIDTH HEIGHT THICKNESS TYPE MATERIAL

WALLS						
EAST	SOUTH	WEST	FLOORING	BASE	CEILING	REMARKS
	-	·	•			•
	-	•				÷
EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	
P-4, P-7	P-4, P-7	P-4, P-7	CL-1	B-1	P-1	
-	P-4, P-7	P-4, P-7	CL-1	B-1	P-1	
P-4	P-4	P-4	CL-1	B-1	ACT-1	
P-4	P-4	P-4	CPT-1	B-1	ACT-1	
P-5	P-4	-	CPT-2	B-1	ACT-1	
P-5	P-4	-	CPT-2	B-1	ACT-1	
P-5	P-4	-	CPT-2	B-1	ACT-1	
P-4	P-4	P-4	T-1	B-1	ACT-1	
P-4	P-4	P-4	CPT-1	B-1	ACT-1	
P-4/T-2	P-4/T-1	P-4/T-2	TER-1	TER-1	EXST'G/P-2	GRIND AND POLISH TERRAZZO
P-4	P-4	P-5	CPT-1	B-1	ACT-1	
P-4/T-2	P-4/T-2	P-4/T-2	TER-1	TER-1	EXST'G/P-2	GRIND AND POLISH TERRAZZO
P-4	P-4	P-4	SC-1	B-1	P-1	
P-4	P-4	P-4	SC-1	B-1	P-1	
, GLAZED CMU	P-4, P-7, GLAZED CMU	P-4, P-7, GLAZED CMU	CL-1	B-1/EXIST GLAZED CMU	ACT-1	
P-4, P-7	P-4, P-7	P-4, P-7	CL-1	B-1/EXIST GLAZED CMU	P-1	
P-4, P-7	P-4, P-7	P-4, P-7	CL-1	B-1/EXIST GLAZED CMU	P-1	
P-4	P-4	P-4	CL-1	B-1	ACT-1	
LAZED CMU	P-4/GLAZED CMU	P-4/GLAZED CMU	EXISTING	B-1/EXIST GLAZED CMU	P-1	
LAZED CMU	P-4/GLAZED CMU	P-4/GLAZED CMU	EXISTING	B-1/EXIST GLAZED CMU	P-1	
P-4	P-4	P-4	EXISTING	B-1	P-1	
P-4	P-4	P-4	CL-1	B-1	P-1	
SLAZED CMU	P-4/GLAZED CMU	P-4/GLAZED CMU	CL-1	B-1/EXIST GLAZED CMU	P-1	
-	-	-	-	-	-	
LAZED CMU	P-4/GLAZED CMU	P-4/T-1	TER-1	TER-1	EXST'G/P-2	GRIND AND POLISH TERRAZZO
P-4/T-1	P-4/GLAZED CMU	P-4/GLAZED CMU	TER-1	TER-1	EXST'G/P-2	GRIND AND POLISH TERRAZZO
P-4	P-4	P-4	TER-1	TER-1	EXST'G/P-2	GRIND AND POLISH TERRAZZO

FRAME

TYPE MATERIAL

F2

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GENERA

 \mathbf{T} EXISTING FLOOR SURFACE SHALL REMAIN IN MANY INSTANCES. FINAL PAINT FINISH. MATERIAL SCHEDULE.

No.

SHEET :

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L NOTES:	
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CONTRACTOR SHALL INCLUDE NECESSARY FLOOR PREPARATIONS AS REQUIRED FOR THE NEW FINISH AS SPECIFIED. CONTRACTOR SHALL REPAIR CMU WALL SURFACES AS REQUIRED AFTER DEMOLITION OPERATIONS TO MATCH OWNERS MOCKUPS FOR EXISTING GLAZED CMU SHALL REMAIN AS THE FINAL FINISH IN ALL INSTANCES EXCEPT WHERE BEING COVERED BY ADDITIONAL WALL CONSTRUCTION OR OTHER FINISHES APPLIED OVERTOP. STANDARD CMU SHALL BE PAINTED UNLESS NOTED OTHERWISE. EXISTING AND NEW DOOR FRAMES SHALL BE PAINTED AS PER THE REPAIR ALL EXISTING WOOD DOORS AND WOOD TRANSOM PANELS IN PREPARATION FOR A NEW PAINT FINISH AS SPECIFIED. ALL NEW GLAZING IN NEW DOORS/SIDELITES/TRANSOMS SHALL BE TEMPERED. EXISTING GLAZING IN DOORS/SIDELITES/TRANSOMS TO REMAIN SHALL BE RETAINED AND DOES NOT REQUIRE REPLACEMENT. EXISTING DOORS ARE TYPICALLY HAVING LOCKSETS REPLACED TO PROVIDE A LEVER HANDLE. HINGES AND OTHER HARDWARE TYPICALLY WILL REMAIN. REFER TO DOOR SCHEDULE AND HARDWARE SPECIFICATION.

1 BID AND PERMIT SET		2021-04-30			
No. Revisio	ons / Submissions	Date			
A34 East First Street 712 East Main Street 712 Fast Main Street					
CITY OF KETTERING ROSEWOOD ARTS CENTER INTERIOR RENOVATION PHASE 1 2655 OLSON DRIVE KETTERING, OH 45420					
DOOR SCHEDULE & DETAILS					
STATE OF OHIO	Comm. No. 20605.00	Date 2020/04/30			
JOHN CHARLES ★ FABELO ぞ71179	Drawn DJB	Drawing No.			
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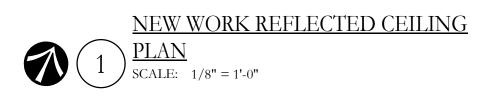
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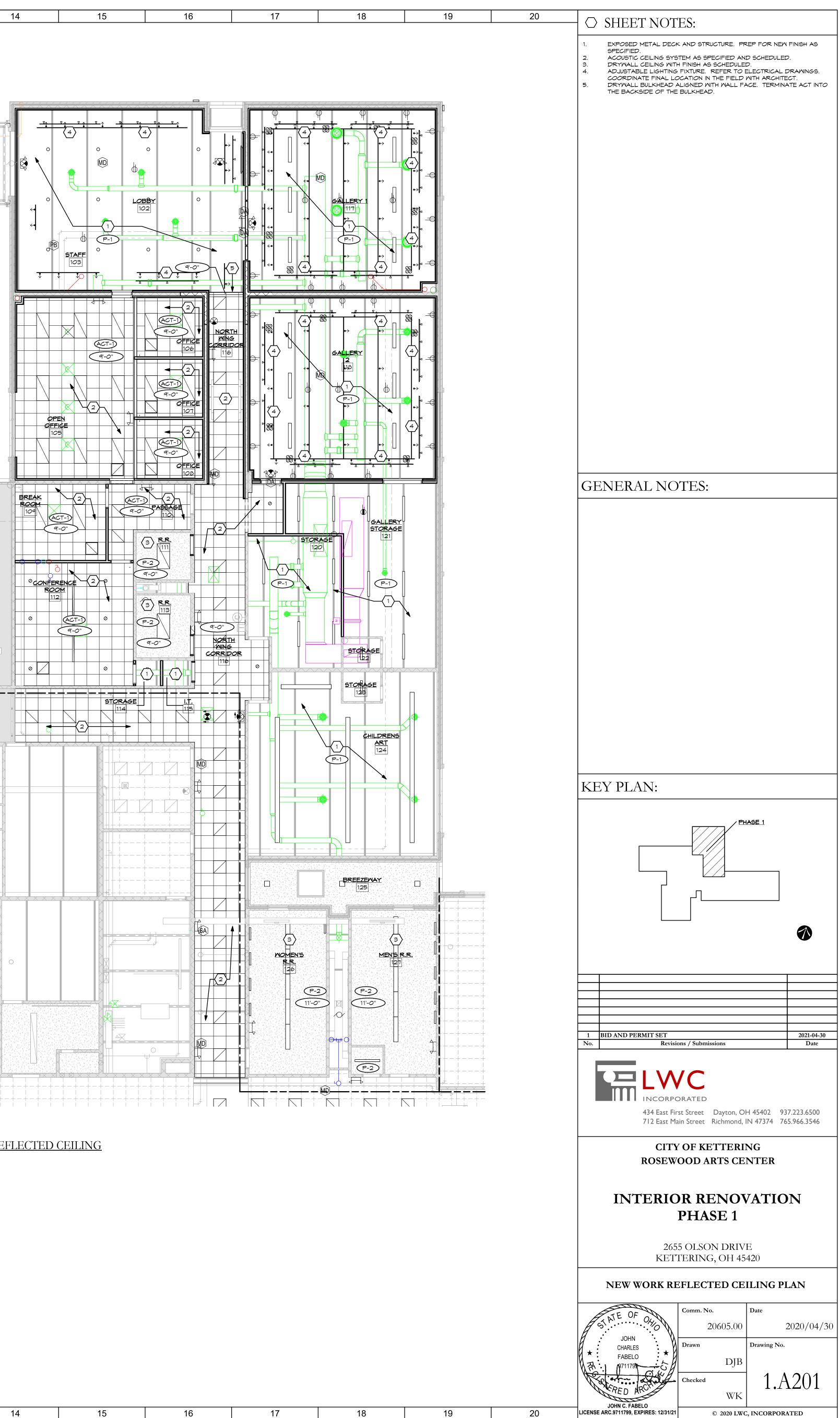
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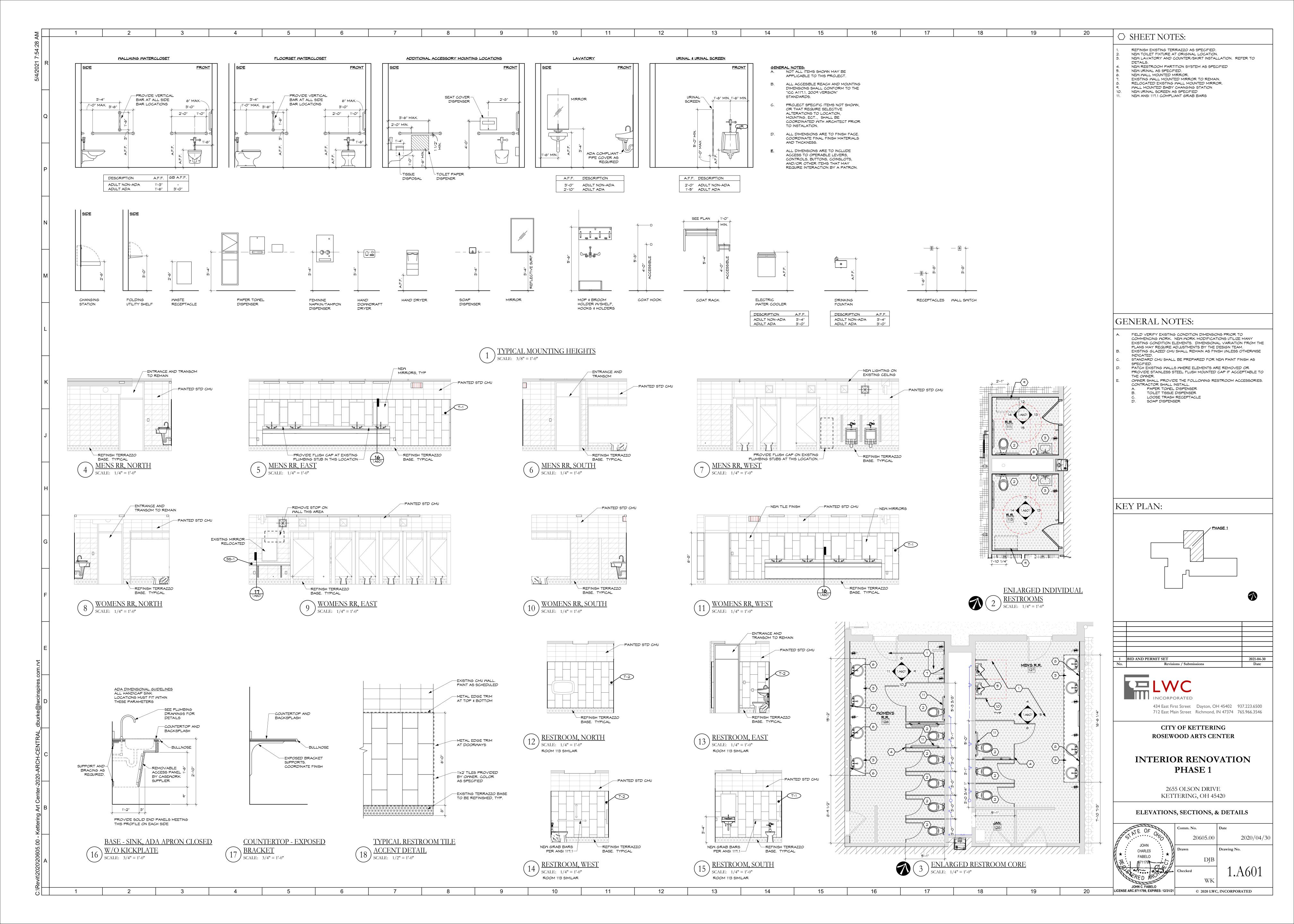


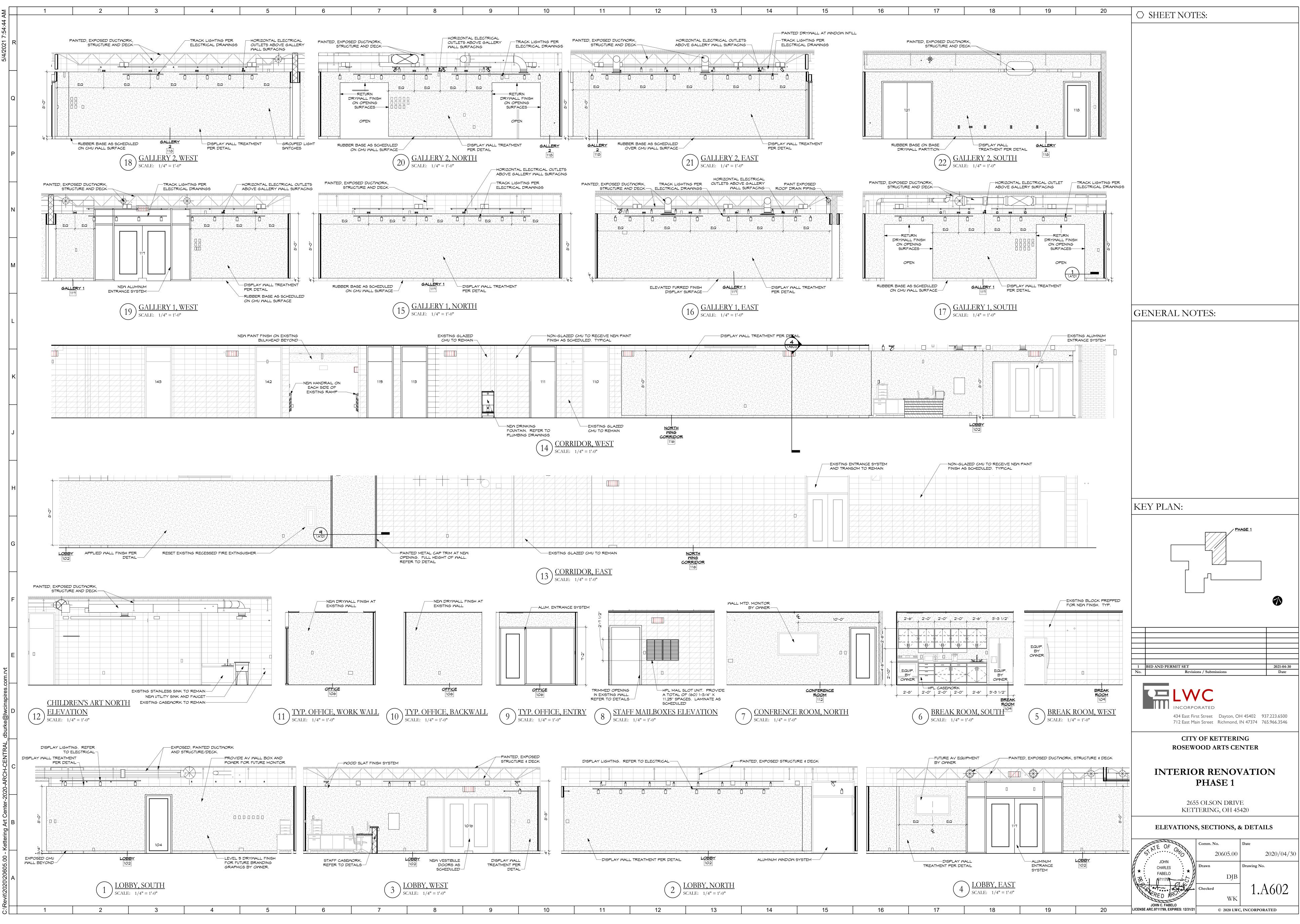
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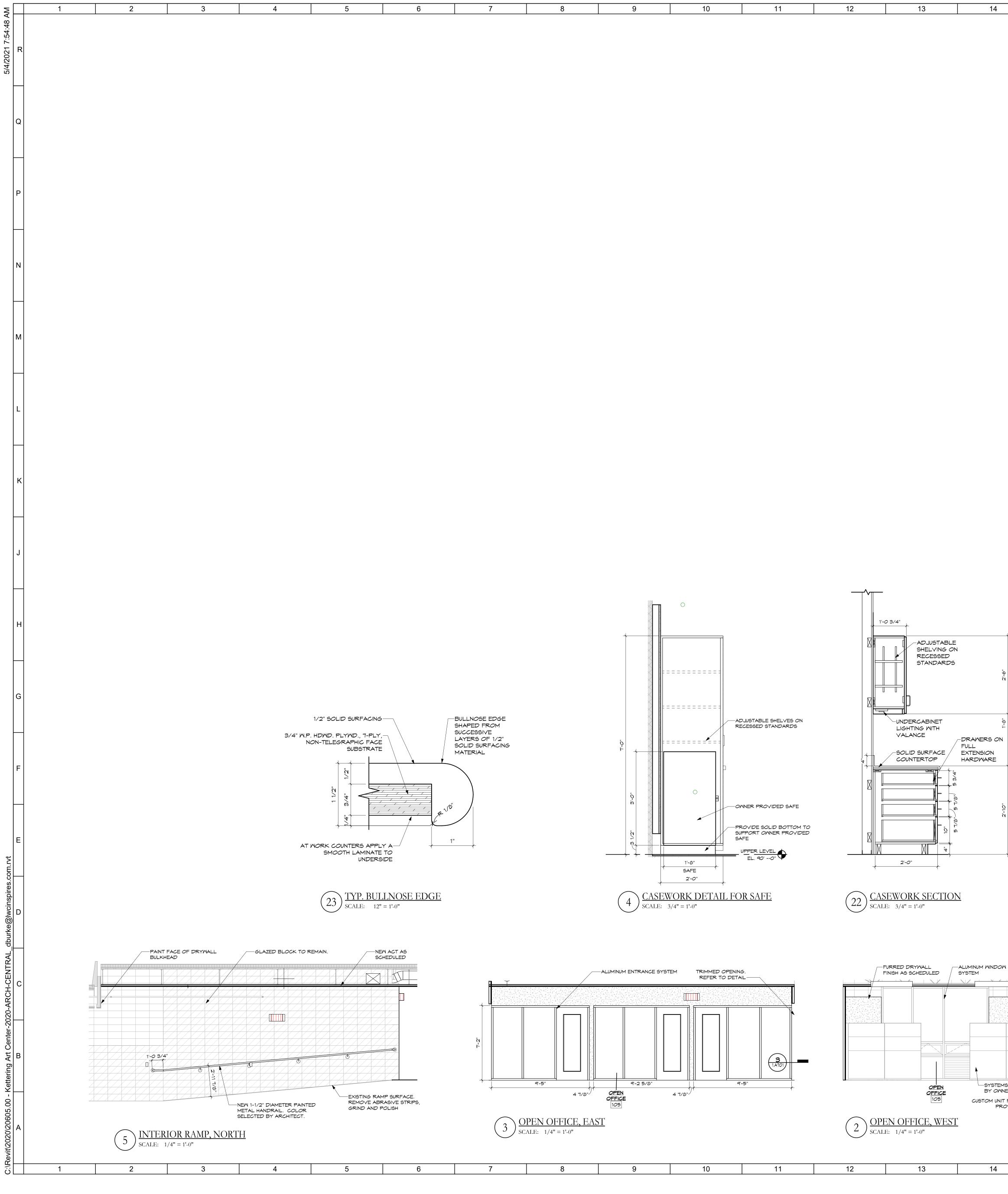
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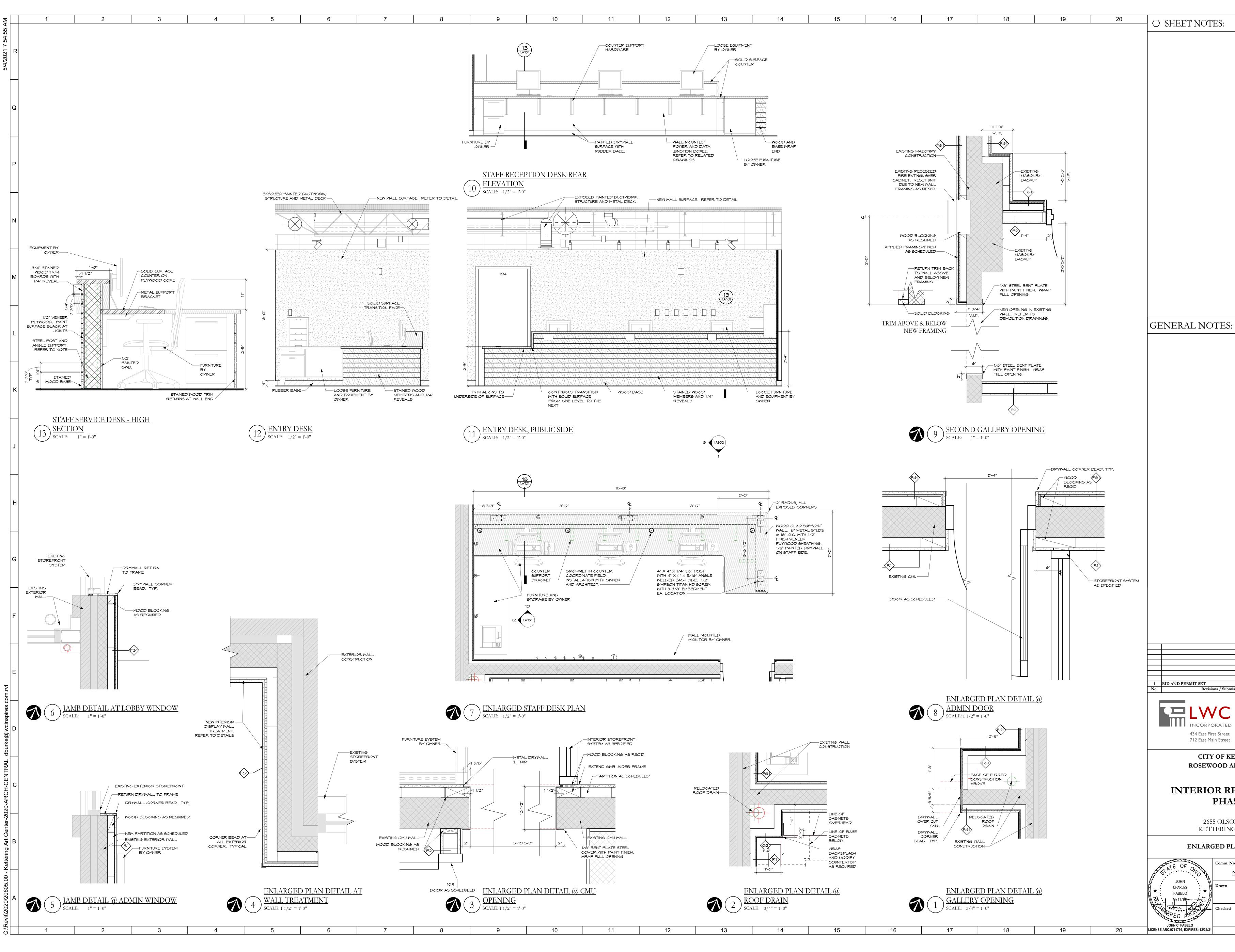




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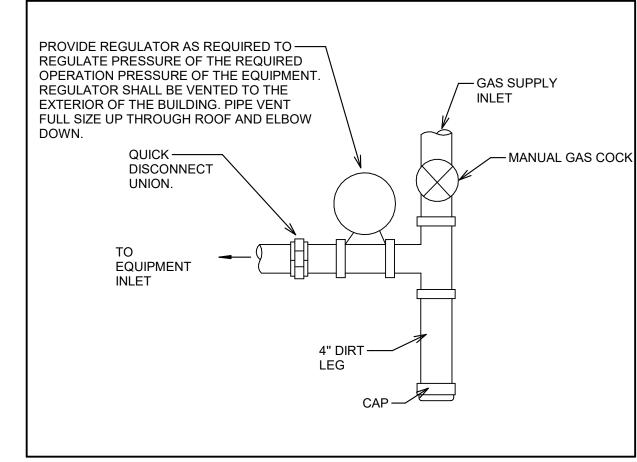
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M	1 2 3 4	5 6	7	8 9	10 11 12 13	14
3:48:51			PLUMB3 FAUCET/VALVE		DULE - PHASE 1	A. COORDINATE THE LOCATION
5/3/2021		MARKDESCRIPTIONMANUFACTUREP-1ALAVATORYAMERICAN STANDARDP-1BLAVATORYAMERICAN STANDARDP-2AADA WATER CLOSETKOHLERP-2BSTANDARD WATERKOHLER		EAF-150-BAT-CP-0.35GPM- 1/2" MLM-IR-IQ-FCT 1 1/4" ROYAL 111-1.28 1 1/4"	HW SAN VENT ACCESSORIES 1/2" 2" 1 1/2" UNDERMOUNT LAVATORY, ADA COMPLIANT, VITREOUS CHINA, FRONT OVERFLOW, 1.2 GPM 1/2" 2" 1 1/2" WALL-HUNG LAVATORY, ADA COMPLIANT, VITREOUS CHINA, FRONT OVERFLOW, FAUCET 1/2" 2" 1 1/2" WALL-HUNG LAVATORY, ADA COMPLIANT, VITREOUS CHINA, FRONT OVERFLOW, FAUCET 1/2" 2" 1 1/2" WALL-HUNG LAVATORY, ADA COMPLIANT, VITREOUS CHINA, FRONT OVERFLOW, FAUCET 1/2" 2" FLOGE WITH PEDESTAL SPOUT ON SINGLE CENTER HOLE, 0.5 GPM, MANUAL BALL FAUCET. 3" 2" FLOOR SET MANUAL FLUSH VALVE TOILET, ADA COMPLIANT, VITREOUS CHINA, 1.28 GPF 3" 2" FLOOR SET MANUAL FLUSH VALVE TOILET, VITREOUS CHINA, 1.28 GPF SIPHON JET.	WITH ALL CASEWORK EQUIP EQUIPMENT, ETC., PRIOR TO WORK NOT SO COORDINATE PROPERLY INSTALLED AT TH B. THE CONTRACTOR SHALL EX COURSE OF THEIR WORK SC NOT INTERRUPT ANY EXISTIN PURPOSES, PAY PARTICULAI RELATIVE TO NATURAL GAS THE LOCATION, SIZE, TYPE, E OVERHEAD UTILITY. ALL WO
Q		CLOSETP-3URINALKOHLERP-4ASINGLE UTILITY SINKMUSTEEP-5BREAKROOM SINKELKAYP-6DRINKING FOUNTAIN W/ BOTTLE FILLERELKAY	K-4991-ET-0SLOAN18FCHICAGO FAUCETDCFU2115MOENEZS8WSLK	ROYAL 186-0.5 3/4" 895-ABCP 1/2"	2"1 1/2"WALL-HUNG URINAL, ADA COMPLIANT, VITREOUS CHINA, 0.5 GPF WASHOUT, MANUAL FLUSHVALVE.1/2"2"1 1/2"FLOOR MOUNT SINGLE COMPARTMENT UTILITY SINK, PVC DRAIN BODY, SWING GOOSENECK SPOUT, 2.2 GPM AERATOR.1/2"2"1 1/2"UNDERMOUNT ONE COMPARTMENT SINK WITH GARBAGE DISPOSAL, TYPE 304 STAINLESS STEEL, SWING GOOSENECK SPOUT WITH PULL DOWN SPRAYER, 1.5 GPM AERATOR1 1/2"1 1/2"WALL-HUNG WATER COOLER WITH BOTTLE FILLING STATION, ADA COMPLIANT, NON-FILTERED 8.0 GPH CHILLER.	ACCORD WITH ALL FEDERAL REGULATIONS, STANDARD A UTILITIES SHALL BE INSTALL APPLICABLE MUNICIPALITY C IN ALL CASES, THE MOST ST APPLY. C. WHERE WORK IS REQUIRED OR GYPSUM BOARD CEILING RESPONSIBLE FOR REMOVA REPLACEMENT, IF DAMAGED GRID MEMBERS NECESSARY
P					NATURAL GAS SCHEDULE - PHASE 1	D. ALL NEW WORK SHALL MATCH D. ALL NEW WORK SHALL BE HU THE WORK OF OTHER TRAD E. COORDINATE ALL WORK WIT
N					EQUIPMENT TAGDESCRIPTIONCONDITIONLOADPRESSURECONNECTION SIZERTU-1ROOFTOP AIR HANDLING UNITNEW176 CFH4.5 - 14.0 IN WG3/4" NPTWHDOMESTIC WATER HEATEREXISTING75.5 CFH5.0 - 14.0 IN WG3/4" NPTBOILERHVAC BOILEREXISTING1225 CFH7.0 IN WG3" NPTKILNGAS POWERED KILNEXISTING220 CFH9.0 - 11.0 IN WG1-1/2" NPTTOTALNEW BUILDING TOTAL1696.5 CFH	 E. COORDINATE ALL WORK WIT REQUIREMENTS. F. PATCH, REPAIR AND PAINT O (TO OWNER'S STANDARDS) THAT ARE TO REMAIN IF DAM REPAIRS SHALL MATCH ADJ, SATISFACTION OF THE ARCH G. OBSERVE ALL APPLICABLE C THAT MAY APPLY TO THE WO (CITY, COUNTY, LOCAL, FEDE COMPANY, STATE, ETC.)
					PROVIDE REGULATOR AS REQUIRED TO REGULATE PRESSURE OF THE REQUIRED OPERATION PRESSURE OF THE EQUIPMENT.	 H. CONTRACTOR SHALL BE AW, DURING DEMOLITION. IF ITEM DEMOLITION THEN FIELD VEF PLAN AN ALTERNATE ROUTE CONTACT THE ENGINEERS T I. WHERE FIRE PROOFING IS SI ALL EXISTING CONDUITS, W/ WATER, FIRE PROTECTION L LOWERED TO BE BELOW FUL
					REGULATOR SHALL BE VENTED TO THE EXTERIOR OF THE BUILDING. PIPE VENT FULL SIZE UP THROUGH ROOF AND ELBOW DOWN. QUICK DISCONNECT UNION. MANUAL GAS COCK	 WITH NO INTERFERENCE. J. ALL PENETRATIONS OF FIRE SHALL BE APPROPRIATELY F U.L. LISTED STANDARD. CON ATTENTION TO INSULATED P K. ALL WORK REQUIRING DOWN BUILDING SHALL BE SCHEDU SHALL COMPLY WITH INTERION L. ALL PIPING IN ROOMS WITH ON EXCEPT AS NOTED.
L					TO EQUIPMENT INLET 4" DIRT	 M. LOCATIONS OF PIPING AND E SUBJECT TO MINOR ADJUST SCALE THE DRAWINGS. N. ALL OFFSETS IN PIPING ARE PROVIDE ADDITIONAL OFFSE O. THE CONTRACTOR IS RESPO FEES OR OTHER COSTS THA REQUIRE TO COMPLETE THE ETC.). P. WHERE MOUNTING HEIGHTS
ĸ					TYPICAL GAS CONNECTION DETAIL	CONFLICT WITH ANY OTHER ENGINEERS BEFORE INSTALL ARCHITECTURAL WALL INTER ELEVATIONS, CEILING HEIGH DOCUMENTS. Q. ANY VIBRATING, OSCILLATING PRODUCING EQUIPMENT SHA SURROUNDING SYSTEMS IN STRUCTURALLY DAMAGING I SATISFACTORILY REPLACED CONTRACTOR'S EXPENSE. T
J						SUITABILITY OF A PARTICULA SHALL BE THAT OF THE ENG R. DEVIATIONS IN SIZE, CAPACI EQUIPMENT FROM THAT USE THE RESPONSIBILITY OF THI EQUIPMENT. ANY PROVISION DEVIATION, WHETHER APPR SHALL BE THE RESPONSIBILI S. VALVES OR ANY MECHANICA ACCESS SHALL NOT BE LOC/ THIS IS NOT POSSIBLE, THEN
H						ACCESS DOOR SHALL BE PLA EASY MAINTENANCE AND AD SUCH ITEMS SHALL NOT BE DISTANCE ABOVE THE CEILIN UNLESS INDICATED OTHERW TWELVE INCHES ABOVE THE ENGINEER PRIOR TO INSTAL
G						 A. THE CONTRACTOR SHALL REPLANS FOR AREAS IN WHICH CONTRACTOR IS RESPONSIE CEILING AS REQUIRED AND F SUPPORT LIGHTS, DIFFUSER CEILING TILES WITH NEW AT FIELED VERIFY EXACT REQU B. ALL OUTAGES SHALL BE SCH REPRESENTATIVE FOR PROF
F						 FOR AN OUTAGE SHALL BE S OF TWO WEEKS IN ADVANCE C. DURING SPRINKLER SYSTEM SHALL PROVIDE FIRE WATCH D. ALL WALLS AND FLOOR SLAE EXISTING AND TO A LIKE NEV AND FLOOR SLABS SHALL BE MAINTAIN RATING. E. ALL EXISTING BUILDING FINIS DURING THE DEMOLITION PH F. HEAVY DASHED LINES INDIC/
						AND LIGHT SOLID LINES INDIG G. COORDINATE DISPOSAL OF A (INDICATED FOR DEMOLITION
E						A. THIS PROJECT INTERFACES I BUILDING SERVICES. IT SHAI RESPONSIBILITY TO COORDIN INTERRUPTIONS OF EXISTING ELIMINATE DOWNTIME. AS A WATER SERVICE, ELECTRICA GENERATION, ETC., WILL BE MOVED DURING THIS PROJEC INSTALL ALL NEW SERVICES TESTED AND FULLY AND REL INTERRUPTING, RELOCATING
20.rvt						SERVICES. IT SHALL BE THE BARE ANY AND ALL COSTS AS INCLUDING TEMPORARY SEF PREMIUM TIME WORK, ETC. (ALL SAID WORK WITH THE OV THE CONTRACT DOCUMENTS
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MBING GENERAL NOTES: RDINATE THE LOCATION OF DRAIN, GAS OUTLETS, ETC., ALL CASEWORK EQUIPMENT, MECHANICAL ROOM PMENT, ETC., PRIOR TO COMMENCING INSTALLATION. KNOT SO COORDINATED SHALL BE REMOVED AND ERLY INSTALLED AT THE EXPENSE OF THE CONTRACTOR. CONTRACTOR SHALL EXERCISE EXTREME CARE IN THE SE OF THEIR WORK SO AS TO ENSURE THAT THEY DO ITERRUPT ANY EXISTING SERVICE. FOR SAFETY OSES, PAY PARTICULAR ATTENTION TO THIS PRECAUTION TIVE TO NATURAL GAS AND ELECTRICAL LINES. VERIFY CATION, SIZE, TYPE, ETC., OF EACH UNDERGROUND OR IEAD UTILITY. ALL WORK SHALL BE PERFORMED IN RD WITH ALL FEDERAL, STATE AND/OR LOCAL RULES, LATIONS, STANDARD AND SAFETY REQUIREMENTS. IES SHALL BE INSTALLED IN ACCORD WITH THE CABLE MUNICIPALITY OR UTILITY COMPANY STANDARDS.

CASES, THE MOST STRINGENT REQUIREMENT SHALL E WORK IS REQUIRED ABOVE EXISTING LAY-IN, PLASTER PSUM BOARD CEILINGS, THE CONTRACTOR SHALL BE ONSIBLE FOR REMOVAL AND REINSTALLATION (OR CEMENT, IF DAMAGED) OF ALL CEILING OR TILE AND MEMBERS NECESSARY TO PERFORM HIS WORK. NEW ND GRID SHALL MATCH THE SURROUNDING AREAS. ALL HING WORK SHALL MATCH ADJACENT SURFACES. EW WORK SHALL BE HUNG FROM STRUCTURE, NOT FROM VORK OF OTHER TRADES, WHETHER EXISTING OR NEW.

NOINATE ALL WORK WITH PROJECT PHASING IREMENTS. H. REPAIR AND PAINT OR PROVIDE WALL COVERING FOR WNER'S STANDARDS) EXISTING WALLS, CEILINGS, ETC., ARE TO REMAIN IF DAMAGED DURING CONSTRUCTION. IRS SHALL MATCH ADJACENT SURFACES TO THE FACTION OF THE ARCHITECT AND OWNER. RVE ALL APPLICABLE CODES, RULES AND REGULATIONS MAY APPLY TO THE WORK UNDER THIS CONTRACT. COUNTY, LOCAL, FEDERAL, MUNICIPALITY, UTILITY

RACTOR SHALL BE AWARE OF UNSEEN PLUMBING WORK IG DEMOLITION. IF ITEMS ARE UNCOVERED DURING LITION THEN FIELD VERIFY THE USE OF THE ITEMS AND AN ALTERNATE ROUTE TO RUN THESE ITEMS. THEN ACT THE ENGINEERS TO REVIEW THE ROUTING. FIRE PROOFING IS SPRAYED ON EXISTING STRUCTURE XISTING CONDUITS, WATER, HYDRONIC, STEAM, CHILLED R, FIRE PROTECTION LINES, MED GAS, ETC. SHALL BE RED TO BE BELOW FULL THICKNESS OF FIRE PROOFING

NO INTERFERENCE. ENETRATIONS OF FIRE AND SMOKE RATED ASSEMBLIES BE APPROPRIATELY FIRE STOPPED PER AN APPROVED STED STANDARD. CONTRACTOR SHALL PAY PARTICULAR ITION TO INSULATED PIPING PENETRATIONS. ORK REQUIRING DOWNTIME OF ANY AREA IN THE ING SHALL BE SCHEDULED 2 WEEKS IN ADVANCE, AND COMPLY WITH INTERIM LIFE SAFETY MEASURES. PING IN ROOMS WITH CEILINGS SHALL BE ABOVE CEILING

T AS NOTED. TIONS OF PIPING AND EQUIPMENT ARE APPROXIMATE AND CT TO MINOR ADJUSTMENTS IN THE FIELD. DO NOT E THE DRAWINGS.

FFSETS IN PIPING ARE NOT NECESSARILY SHOWN. IDE ADDITIONAL OFFSETS WHERE NECESSARY. CONTRACTOR IS RESPONSIBLE FOR ALL UTILITY COMPANY OR OTHER COSTS THAT ANY UTILITY COMPANY MAY IRE TO COMPLETE THEIR WORK. (GAS, SEWER, WATER,

E MOUNTING HEIGHTS ARE NOT INDICATED OR ARE IN LICT WITH ANY OTHER BUILDING SYSTEM, CONTACT THE EERS BEFORE INSTALLATION. REFER ALSO TO ITECTURAL WALL INTERIOR AND EXTERIOR WALL ATIONS, CEILING HEIGHTS AND OTHER DETAIL OF THESE

BRATING, OSCILLATING OR OTHER NOISE OR MOTION UCING EQUIPMENT SHALL BE ISOLATED FROM UNDING SYSTEMS IN AN APPROVED MANNER. NOISY OR TURALLY DAMAGING INSTALLATIONS SHALL BE FACTORILY REPLACED OR REPAIRED AT THE INSTALLING RACTOR'S EXPENSE. THE FINAL DECISION ON THE BILITY OF A PARTICULAR INSTALLATION'S ACCEPTABILITY BE THAT OF THE ENGINEER.

TIONS IN SIZE, CAPACITIES, FIT, FINISH, ETC. FOR PMENT FROM THAT USED AS BASIS OF DESIGN SHALL BE RESPONSIBILITY OF THE PURCHASER OF THAT PMENT. ANY PROVISIONS REQUIRED TO ACCOMMODATE A TION, WHETHER APPROVED BY THE ENGINEERS OR NOT, BE THE RESPONSIBILITY OF THE PURCHASER. S OR ANY MECHANICAL/ELECTRICAL ITEM REQUIRING SS SHALL NOT BE LOCATED ABOVE A HARD CEILING. IF S NOT POSSIBLE, THEN AN APPROPRIATELY SIZED SS DOOR SHALL BE PLACED UNDER THE ITEM TO ALLOW MAINTENANCE AND ADJUSTMENT. ADDITIONALLY ALL ITEMS SHALL NOT BE LOCATED AN UNREASONABLE NCE ABOVE THE CEILINGS. IN GENERAL ALL SUCH ITEMS

SS INDICATED OTHERWISE SHALL BE MOUNTED SIX TO 'E INCHES ABOVE THE CEILING. IF IN DOUBT, CONTACT EER PRIOR TO INSTALLING.

MBING DEMOLITION NOTES:

CONTRACTOR SHALL REFER TO THE ARCHITECTURAL S FOR AREAS IN WHICH THE CEILING IS REMAINING. THE RACTOR IS RESPONSIBLE FOR REMOVING THE EXISTING G AS REQUIRED AND REINSTALLATION. TEMPORARILY ORT LIGHTS, DIFFUSERS, CEILING ETC. REPLACE BROKEN G TILES WITH NEW AT NO ADDITIONAL COST TO OWNER. D VERIFY EXACT REQUIREMENTS. JTAGES SHALL BE SCHEDULED THROUGH THE PROJECT SENTATIVE FOR PROPER COORDINATION. A REQUEST NOUTAGE SHALL BE SUBMITTED IN WRITING A MINIMUM

O WEEKS IN ADVANCE. S SPRINKLER SYSTEM OUTAGES THE CONTRACTORS PROVIDE FIRE WATCH OF AREAS WITH OUTAGES. ALLS AND FLOOR SLABS SHALL BE REPAIRED TO MATCH NG AND TO A LIKE NEW CONDITION. ALL RATED WALLS LOOR SLABS SHALL BE PATCHED AND REPAIRED TO TAIN RATING. (ISTING BUILDING FINISHES SHALL BE PROTECTED

G THE DEMOLITION PHASE. A DASHED LINES INDICATE ITEMS FOR REMOVAL (U.O.N) IGHT SOLID LINES INDICATE EXISTING ITEMS TO REMAIN. RDINATE DISPOSAL OF ALL FIXTURES, DEVICES, ETC. ATED FOR DEMOLITION) WITH THE OWNER.

SING NOTE:

ROJECT INTERFACES EXTENSIVELY WITH EXISTING ING SERVICES. IT SHALL BE THE CONTRACTOR'S DNSIBILITY TO COORDINATE AND PHASE ALL TIE-INS AND RUPTIONS OF EXISTING SERVICES TO MINIMIZE OR ATE DOWNTIME. AS AN EXAMPLE, MAIN GAS SERVICE, R SERVICE, ELECTRICAL SERVICE, HVAC SERVICES, STEAM RATION, ETC., WILL BE AFFECTED AND REPLACED OR D DURING THIS PROJECT. THE CONTRACTOR SHALL LALL NEW SERVICES AND EQUIPMENT AND HAVE THEM AND FULLY AND RELIABLY FUNCTIONAL PRIOR TO RUPTING, RELOCATING OR REMOVING ANY EXISTING ICES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ANY AND ALL COSTS ASSOCIATED WITH THIS PHASING, DING TEMPORARY SERVICES, TEMPORARY RELOCATION,

IUM TIME WORK, ETC. CONTRACTOR SHALL COORDINATE AID WORK WITH THE OWNER AND APPLICABLE UTILITIES PER ONTRACT DOCUMENTS.

SYMBOLS &	ABBREVIATIONS

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ABOVE FINISHED FLOOR	igodot
DOMESTIC COLD WATER	
DOWN	—о —э
FREEZE PROOF WALL HYDRANT	-0 .
HOSE BIBB	FP
DOMESTIC HOT WATER	G
NOT TO SCALE	RL
OVERFLOW ROOF LEADER	SAN
POUNDS PER SQUARE INCH	VT
DOMESTIC RECIRCULATING HOT WATER	— E(NAME) —
ROOF LEADER	-ABAN(NAME)-
SOFT DOMESTIC COLD WATER	
TYPICAL	
VENT THRU ROOF	
PLUMBING FIXTURE DESIGNATOR	
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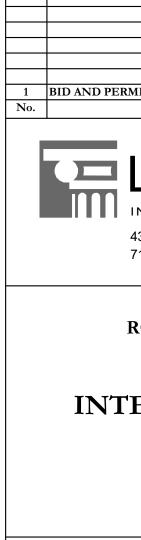
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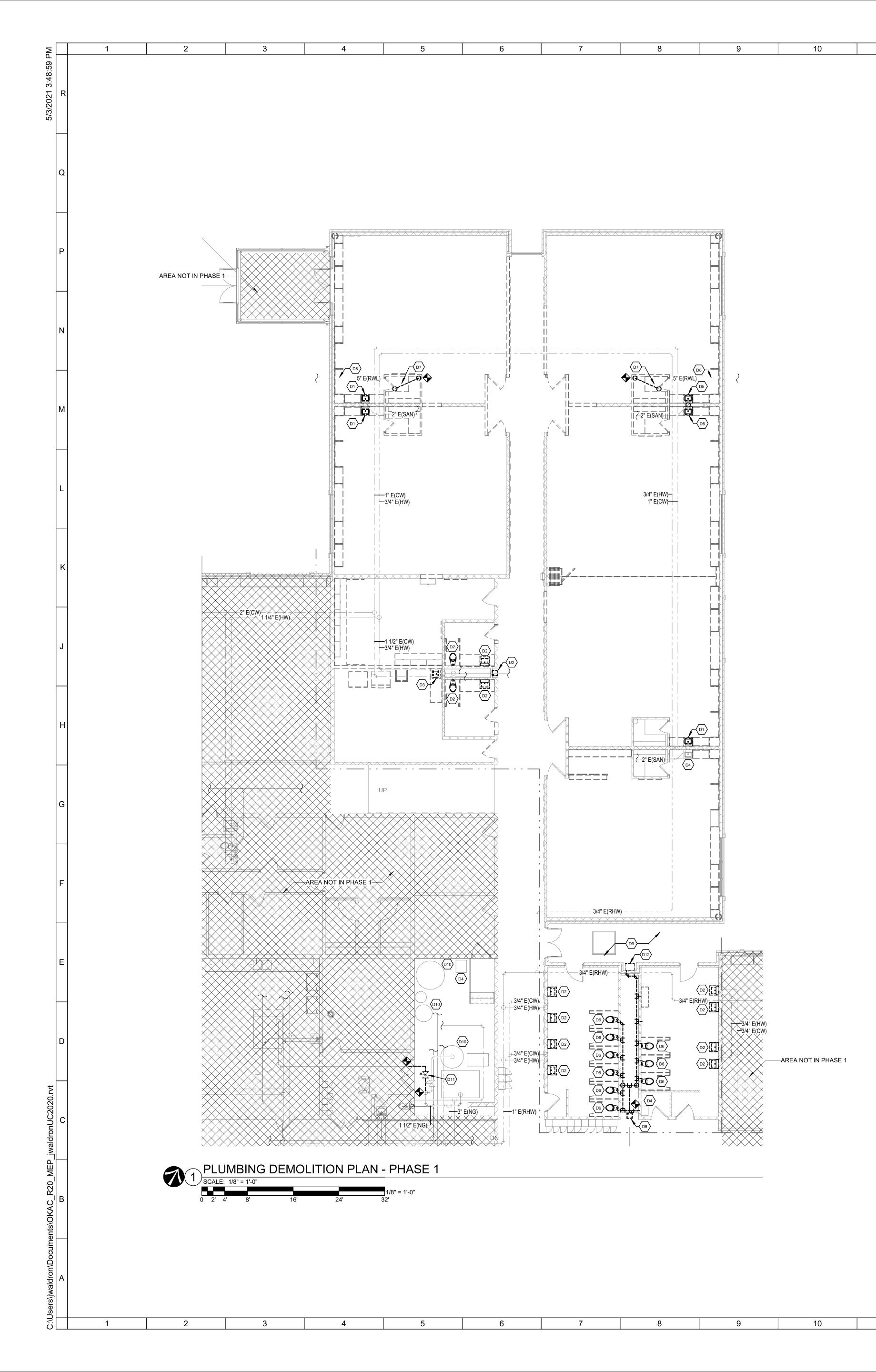
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Sheet List - Plumbing - Phase 1						
SHEET # SHEET NAME						
1.P001	PLUMBING LEGEND - PHASE 1					
1.PD101	PLUMBING DEMOLITION PLAN - PHASE 1					
1.P101		PLUMBING PLAN - PHASE 1				
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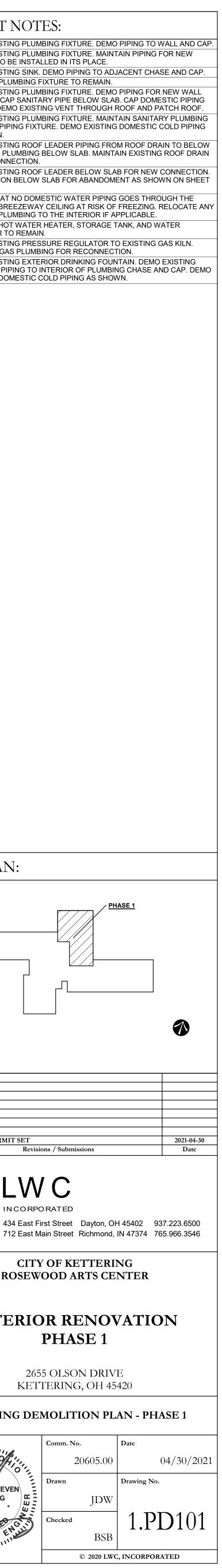
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-		1.P001	PLUMBING LEGEND - PHASE 1		
		1.PD101	PLUMBING DEMOLITION PL	AN - PHASE 1	
	1.P10		PLUMBING PLAN - PHASE 1		
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POINT OF CO	ONNECTION		
	MOLITION / TURNING UP/TURN		
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DOMESTIC H	IOT WATER SUPPLY	1	
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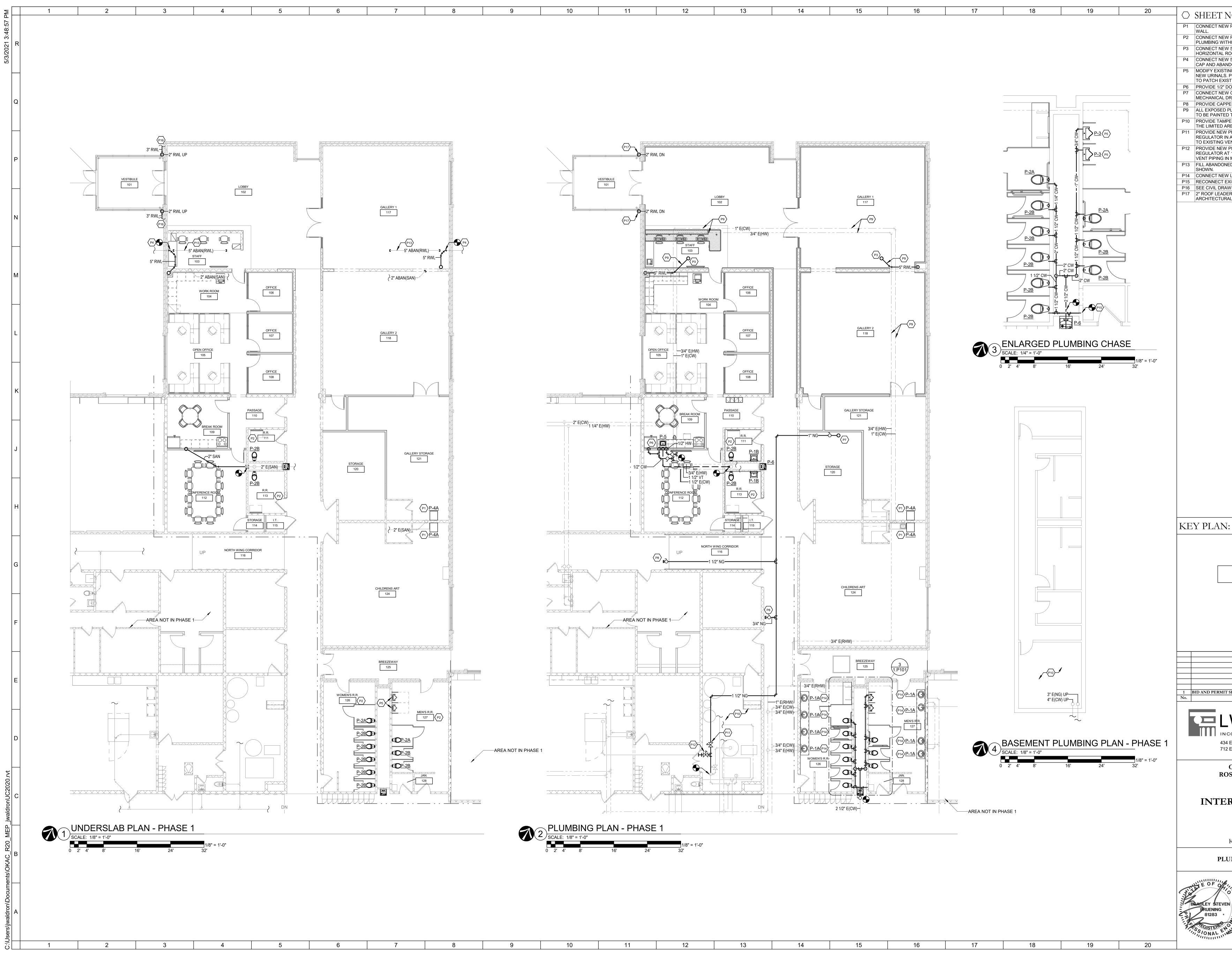


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						-	D7 D8 D9 D10	AS SHOWN. DEMO EXISTINO SLAB. CAP PLU FOR RECONNE DEMO EXISTINO CAP SECTION E 1.P101. VERIFY THAT N EXISTING BREE EXISTING PLUM EXISTING HOT SOFTENER TO
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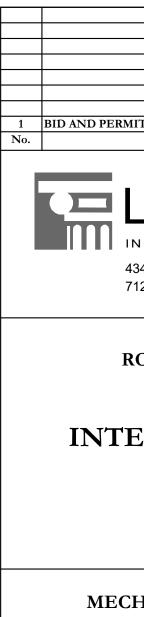


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NOTES:
EW PLUMBING FIXTURE TO EXISTING PLUMBING WITHIN
ITHIN CHASE WALL. EW 5" ROOF LEADER TO EXISTING ROOF DRAIN. RUN ROOF LEADERS WITHIN EXISTING JOIST SPACE.
EW 5" ROOF LEADER TO EXISTING 5" PIPE BELOW SLAB. ANDON PIPE NOT IN USE. STING SANITARY AND VENT IN THE CHASE TO CONNECT
STING SANITARY AND VENT IN THE CHASE TO CONNECT S. PROVIDE STAINLESS STEEL CLEANOUT COVERPLATES XISTING PIPE PENTRATIONS.
EW GAS PIPING TO ROOFTOP UNIT. REFER TO DRAWINGS FOR EXACT LOCATION.
PPED GAS PIPING TO FUTURE RTU'S. D PLUMBING IN GALLERIES 117 & 118 AND LOBBY 102 ARE ED TO MATCH THE STRUCTURE.
MPER AND FLOW SWITCH OFF THE DOMESTIC MAIN TO AREA SYSTEM WITHIN THIS ROOM. W PRESSURE REGULATOR TO NEW RTU'S. SET
IN A RANGE OF 10 - 12 IN WC. CONNECT NEW REGULATOR VENT PIPING IN MECHANICAL ROOM. W PRESSURE REGULATOR TO EXISTING GAS KILN. SET
AT 10 IN WC. CONNECT NEW REGULATOR TO EXISTING IN MECHANICAL ROOM. ONED PIPE WITH GROUT AND CAP AT BOTH ENDS AS
EW LAVATORY TO EXISTING PLUMBING WITHIN WALL.
AWINGS FOR CONTINUATION. DER TO VESTIBULE ROOF DRAIN. REFER TO JRAL DRAWINGS FOR MORE DETAILS.
IRAL DRAWINGS FOR MORE DETAILS.
N:
PHASE 1
IT SET 2021-04-30 Revisions / Submissions Date
_W C
N CO RPO RATED 34 East First Street Dayton, OH 45402 937.223.6500
12 East Main Street Richmond, IN 47374 765.966.3546
CITY OF KETTERING OSEWOOD ARTS CENTER
OSEWOOD ARTS CENTER
ERIOR RENOVATION
PHASE 1
PHASE 1
PHASE 1 2655 Olson drive
PHASE 1 2655 OLSON DRIVE KETTERING, OH 45420 LUMBING PLAN - PHASE 1 Comm. No.
PHASE 1 2655 OLSON DRIVE KETTERING, OH 45420 LUMBING PLAN - PHASE 1 Comm. No.
PHASE 12655 OLSON DRIVE KETTERING, OH 45420LUMBING PLAN - PHASE 1Comm. No.20605.0004/30/2021DrawnDrawing No.
PHASE 1 2655 OLSON DRIVE KETTERING, OH 45420 LUMBING PLAN - PHASE 1 Comm. No. 20605.00 Date 04/30/2021 Drawing No. JDW Drawing No.
PHASE 1 2655 OLSON DRIVE KETTERING, OH 45420 JUMBING PLAN - PHASE 1 Date 04/30/2021 Drawn Drawing No. JDW 1

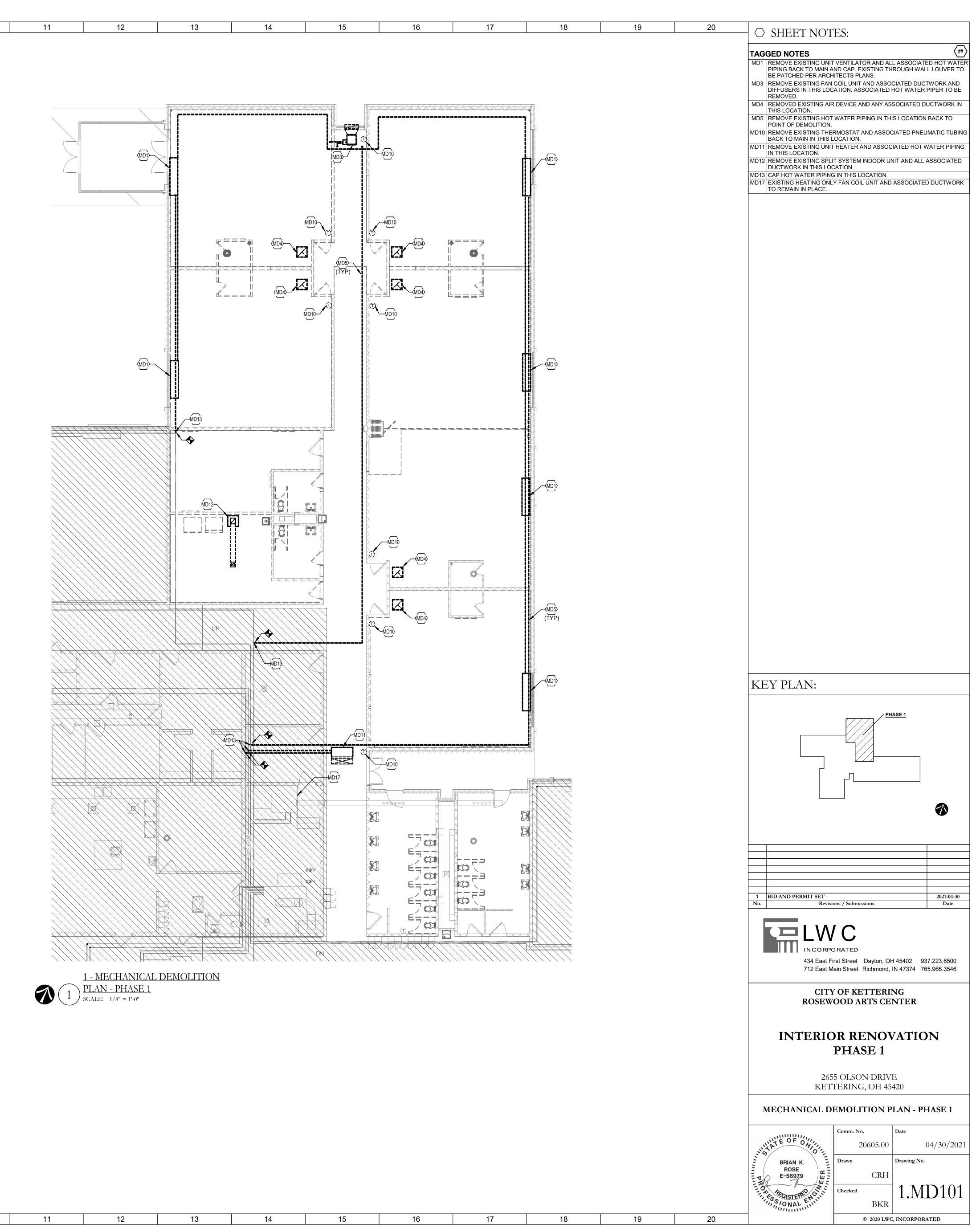
AL NOTES - MECHANICAL RDINATE THE LOCATION OF DRAINS, THERMOSTATS, GAS OUTLETS,	ABBREVIATIONS	ABBREVIATIONS (CONTINUED)	ABBREVIATIONS (CONTINUED)	GENERAL SYMBOLS	MECHANICAL PIPING LEGEND	
WITH ALL CASEWORK EQUIPMENT, MECHANICAL ROOM EQUIPMENT, PRIOR TO COMMENCING INSTALLATION. WORK NOT SO	AC ALTERNATING CURRENT	FD FIRE DAMPER	NO NORMALLY OPEN OR NUMBER	TAGGED NOTE DESIGNATOR		
NDINATED SHALL BE REMOVED AND PROPERLY INSTALLED AT THE NSE OF THE CONTRACTOR. CONTRACTOR SHALL EXERCISE EXTREME CARE IN THE COURSE OF	ADJ ADJUSTABLE AFF ABOVE FINISHED FLOOR	FL FLOOR FLA FULL LOAD AMPS	OC ON CENTER	REVISION TRIANGLE	PIPE ELBOW TURNING DOWN PIPE TEE; CONNECTION ON TOP	
R WORK SO AS TO ENSURE THAT THEY DO NOT INTERRUPT ANY TING SERVICE. FOR SAFETY PURPOSES, PAY PARTICULAR ATTENTION HIS PRECAUTION RELATIVE TO NATURAL GAS AND ELECTRICAL LINES.	AFR ABOVE FINISHED FLOOR	FOB FLAT ON BOTTOM	OD OUTSIDE DI (-AMETER, -MENSION)	TAG INSTANCE EQUIPMENT TAG		
HIS PRECAUTION RELATIVE TO NATURAL GAS AND ELECTRICAL LINES. TY THE LOCATION, SIZE, TYPE, ETC., OF EACH UNDERGROUND OR HEAD UTILITY. ALL WORK SHALL BE PERFORMED IN ACCORD WITH	AFUE ANNUAL FUEL UTILIZATION EFFICIENCY	FOT FLAT ON TOP	CFCI CONTRACTOR FURNISHED, CONTRACTOR INSTALLED	POINT OF CONNECTION / CONNECT TO EXISTING		
EDERAL, STATE AND/OR LOCAL RULES, REGULATIONS, STANDARD SAFETY REQUIREMENTS. UTILITIES SHALL BE INSTALLED IN ACCORD THE APPLICABLE MUNICIPALITY OR UTILITY COMPANY STANDARDS.	AHJ AUTHORITY HAVING JURISDICTION	FPC FIRE PROTECTION CONTRACTOR	OFCI OWNER FURNISHED, CONTRACTOR INSTALLED	POINT OF DEMOLITION	BFW BOILER FEEDWATER	
L CASES, THE MOST STRINGENT REQUIREMENT SHALL APPLY. RE WORK IS REQUIRED ABOVE EXISTING LAY-IN, PLASTER OR GYPSUM	AMP AMPERE (AMP, AMPS)	FPM FEET PER MINUTE	OFOI OWNER FURNISHED, OWNER INSTALLED		CAI/ECOMBUSTION AIR INTAKE/EXHAUST	
D CEILINGS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR WAL AND REINSTALLATION (OR REPLACEMENT, IF DAMAGED) OF ALL	ANSI AMERICAN NATIONAL STANDARD INSTITUTE	FPS FEET PER SECOND	OR OPEN RECEPTACLE			
NG OR TILE AND GRID MEMBERS NECESSARY TO PERFORM HIS WORK. TILE AND GRID SHALL MATCH THE SURROUNDING AREAS. ALL HING WORK SHALL MATCH ADJACENT SURFACES.	APD AIR PRESSURE DROP	FT FEET OR FOOT	OZ OUNCE (-S)			
IEW WORK SHALL BE HUNG FROM STRUCTURE, NOT FROM THE WORK ITHER TRADES, WHETHER EXISTING OR NEW.	ASHRAE AMERICAN SOCIETY OF HEATING, REFRIGERATION, AND AIR-CONDITIONING ENGINEERS	FUT FUTURE	PC PLUMBING CONTRACTOR			
DINATE ALL WORK WITH PROJECT PHASING REQUIREMENTS. H, REPAIR AND PAINT OR PROVIDE WALL COVERING FOR (TO OWNER'S DARDS) EXISTING WALLS, CEILINGS, ETC., THAT ARE TO REMAIN IF	ATU AIR TERMINAL UNIT	FV FACE VELOCITY	PD PRESSURE DROP		CST—CST—CLEAN STEAM PIPING	
AGED DURING CONSTRUCTION. REPAIRS SHALL MATCH ADJACENT ACES TO THE SATISFACTION OF THE ARCHITECT AND OWNER. RVE ALL APPLICABLE CODES, RULES AND REGULATIONS THAT MAY	AVG AVERAGE	GA GAGE/GAUGE	PH PHASE [ELECTRICAL]	HVAC LEGEND	—CWS/R— CONDENSER WATER SUPPLY/RETURN	
Y TO THE WORK UNDER THIS CONTRACT. (CITY, COUNTY, LOCAL, RAL, MUNICIPALITY, UTILITY COMPANY, ETC.)	BAS BUILDING AUTOMATION SYSTEM	GAL GALLON (-S)	PLBG PLUMBING	SUPPLY AIR DIFFUSER		
RACTOR SHALL BE AWARE OF UNSEEN PLUMBING, HVAC AND TRICAL WORK DURING DEMOLITION. IF ITEMS ARE UNCOVERED NG DEMOLITION THEN FIELD VERIFY THE USE OF THE ITEMS AND	BHP BREAK HORSEPOWER BTU BRITISH THERMAL UNIT	GC GENERAL CONTRACTOR GPD GALLONS PER DAY	PPM PARTS PER MILLION PRS PRESSURE REDUCING STATION	RETURN AIR DIFFUSER Image: Constraint of the second sec	——GS/R—— GEOTHERMAL WATER SUPPLY/RETURN ——HPC—— HIGH PRESSURE STEAM CONDENSATE	
AN ALTERNATE ROUTE TO RUN THESE ITEMS. THEN CONTACT THE NEERS TO REVIEW THE ROUTING.		GPH GALLONS PER HOUR	PRV PRESSURE REDUCING VALVE (STEAM, WATER, GAS)	TRANSFER AIR DIFFUSER W/ SOUND ATTENUATING BOOT	—HPS(#)— HIGH PRESSURE STEAM; (#) DENOTES PRESSURE	
ENETRATIONS OF FIRE AND SMOKE RATED ASSEMBLIES SHALL BE OPRIATELY FIRE STOPPED PER AN APPROVED U.L. LISTED STANDARD. RACTOR SHALL PAY PARTICULAR ATTENTION TO INSULATED PIPING	CAV CONSTANT AIR VOLUME	GPM GALLONS PER MINUTE	PSF POUNDS PER SQUARE FOOT		— HPS/R— HEAT PUMP WATER SUPPLY/RETURN	
TRATIONS. VORK REQUIRING DOWNTIME OF ANY AREA IN THE BUILDING SHALL	CD CONDENSATE DRAIN	GR GRAINS	PSI POUNDS PER SQUARE INCH	INTERNALLY LINED DUCT		
CHEDULED 2 WEEKS IN ADVANCE, AND SHALL COMPLY WITH INTERIM SAFETY MEASURES.	CFM CUBIC FEET PER MINUTE	H HUMIDITY	PSIG PPSI GAUGE	TAG AIR DEVICE TAG (REGISTER, GRILLE, DIFFUSER,LOUVER)		
DUCTWORK, PIPING, CONDUITS, ETC. IN ROOMS WITH CEILINGS SHALL BOVE CEILING EXCEPT AS NOTED. TIONS OF PIPING, DUCTS AND EQUIPMENT ARE APPROXIMATE AND	C.I. CAST IRON	HD HEAD	RH RELATIVE HUMIDITY [%]	##x## RECTANGULAR DUCT		
ECT TO MINOR ADJUSTMENTS IN THE FIELD. DO NOT SCALE THE VINGS.	CLG CEILING	HG MERCURY	RLA RUNNING LOAD AMPS	#ø ROUND/SPIRAL DUCT	—LPS(#)— LOW PRESSURE STEAM; (#) DENOTES PRESSURE	
OFFSETS IN DUCTS AND PIPING ARE NOT NECESSARILY SHOWN. IDE ADDITIONAL OFFSETS WHERE NECESSARY. RDINATE ALL HVAC WORK WITH ELECTRICAL, PLUMBING AND OTHER	CLR CLEAR	HORIZ HORIZONTAL	RPM REVOLUTIONS PER MINUTE	##/## FLAT OVAL DUCT		
ES TO AVOID INTERFERENCE WITH PIPING, DUCTS, CONDUIT AND R EQUIPMENT.	CO CARBON MONOXIDE	HP H (-ORSEPOWER, -EAT PUMP)	SD SMOKE DAMPER	SA SUPPLY AIR DUCT	—MPS(#)— MEDIUM PRESSURE STEAM; (#) DENOTES PRESSURE	
ALL ALL PIPING, DUCTWORK AND EQUIPMENT IN STRICT ACCORDANCE MANUFACTURER'S INSTALLATION INSTRUCTION. IF IN CONFLICT THE DESIGN INDICATED IN CONTRACT DOCUMENTS, ADVISE THE	CO2 CARBON DIOXIDE	HR HOUR (-S)	SP STATIC PRESSURE	RA RETURN AIR DUCT		
NEERS PRIOR TO INSTALLATION FOR CLARIFICATION. PROVIDE MMENDED ACCESS AND SERVICE CLEARANCES FOR ALL EQUIPMENT.	COND CONDENS (-ER, -ING, -ATION, -ATE)	HVAC HEATING, VENTILATING, & AIR-CONDITIONING	SQ SQUARE	EA EXHAUST AIR DUCT	SVT	
AIRTIGHT AROUND ALL DUCTS AND PIPING PENETRATIONS THROUGH S, FLOORS AND ROOF. PROVIDE FIRE STOPPING IN FIRE PARTITION. ALL NEW DUCTWORK JOINTS WITH UNITED MCGILL, IRONGRIP 601	CONT CONTINU (-ED, -OUS)	Hz HERTZ	SQ FT SQUARE FEET OR FOOT	OA OUTSIDE AIR DUCT	D(XXX) PIPING TO BE DEMOLISHED - (XXX) DENOTES SYSTEM	
QUAL WATER BASED SEALANT. IOTOR DRIVEN EQUIPMENT SHALL BE INSTALLED WITH FLEXIBLE	CU FT CUBIC FEET	ID I (-DENTIFICATION, -NSIDE DIAMETER, -NSIDE DIMENSION)	SQ IN SQUARE INCH OR INCHES		-E(XXX)- EXISTING PIPING - (XXX) DENOTES SYSTEM	
IECTIONS TO DUCTWORK, PIPING, ETC., UNLESS OTHERWISE NOTED. CONTRACTOR SHALL RELOCATE OR AVOID ANY EXISTING EQUIPMENT RTENANCES, ETC., THAT CONFLICT WITH NEW WORK.		IN INCH (-ES)	TAB TESTING AND BALANCING		-A(XXX)- ABANDONED IN PLACE PIPING - (XXX) DENOTES SYSTEM	
RE MOUNTING HEIGHTS ARE NOT INDICATED OR ARE IN CONFLICT ANY OTHER BUILDING SYSTEM, CONTACT THE ENGINEERS BEFORE	CV VALVE FLOW COEFFICIENT	INSUL INSULAT (-ED, -ION)				
ALLATION. REFER ALSO TO ARCHITECTURAL WALL INTERIOR AND RIOR WALL ELEVATIONS, CEILING HEIGHTS AND OTHER DETAIL OF E DOCUMENTS.	DB DRY BULB	INT INTER (-IOR, -ERVAL) IPS IRON PIPE SIZE	TE TOP ELEVATION TEMP TEMPERATURE	SA AIR DUCT TURNING UP	THREE-WAY CONTROL VALVE	
LE WIDTH TURNING VANES SHALL BE INSTALLED IN ALL SUPPLY, RN, AND EXHAUST DUCTWORK ELBOWS. TURNING VANES NOT	DBT DRY BULB TEMPERATURE	kW KILOWATT	TSP TOTAL STATIC PRESSURE	SA AIR DUCT TURNING DOWN	AUTOMATIC AIR VENT (AAV)	
IRED FOR KITCHEN EXHAUSTS. /IBRATING, OSCILLATING OR OTHER NOISE OR MOTION PRODUCING PMENT SHALL BE ISOLATED FROM SURROUNDING SYSTEMS IN AN	DC DIRECT CURRENT	kWh KILOWATT HOUR	TYP TYPICAL	RA AIR DUCT TURNING DOWN		
OVED MANNER. NOISY OR STRUCTURALLY DAMAGING INSTALLATIONS L BE SATISFACTORILY REPLACED OR REPAIRED AT THE INSTALLING	DD DUCT SMOKE DETECTOR	LAT LEAVING AIR TEMPERATURE	UNO UNLESS NOTED OTHERWISE	EA AIR DUCT TURNING UP		
RACTOR'S EXPENSE. THE FINAL DECISION ON THE SUITABILITY OF A ICULAR INSTALLATION'S ACCEPTABILITY SHALL BE THAT OF THE NEER.	DDC DIRECT DIGITAL CONTROLS	LBS POUNDS	V VOLT (-AGE, -S)	EA AIR DUCT TURNING DOWN	BUTTERFLY VALVE	
ATIONS IN SIZE, CAPACITIES, FIT, FINISH, ETC. FOR EQUIPMENT FROM USED AS BASIS OF DESIGN SHALL BE THE RESPONSIBILITY OF THE	DEG DEGREE (-S)	LF LINEAR FEET/FOOT	VAR VARI (-ABLE, -IES)	E(XXX) EXISTING DUCT - (XXX) DENOTES SYSTEM	TRIPLE DUTY VALVE (TDV)	
HASER OF THAT EQUIPMENT. ANY PROVISIONS REQUIRED TO MMODATE A DEVIATION, WHETHER APPROVED BY THE ENGINEERS OR SHALL BE THE RESPONSIBILITY OF THE PURCHASER.	DIA DIAMETER (-S)	LRA LOCKED ROTOR AMPS	VAV VARIABLE AIR VOLUME	DUCT TO BE DEMOLISHED - (XXX) DENOTES SYSTEM		
ES, BALANCING DAMPERS OR ANY MECHANICAL/ELECTRICAL ITEM IRING ACCESS SHALL NOT BE LOCATED ABOVE A HARD CEILING. IF	DN DOWN	LWT LEAVING WATER TEMPERATURE	VEL VELOCITY	A(XXX) DUCT TO BE ABANDONED IN PLACE - (XXX) DENOTES SYSTEM	MANUAL ISOLATION VALVE	
IS NOT POSSIBLE, THEN AN APPROPRIATELY SIZED ACCESS DOOR L BE PLACED UNDER THE ITEM TO ALLOW EASY MAINTENANCE AND STMENT. ADDITIONALLY ALL SUCH ITEMS SHALL NOT BE LOCATED AN	DWG DRAWING	MAX MAXIMUM	VFD VARIABLE FEQUENCY DRIVE	MITERED ELBOW WITH TURNING VANES	GLOBE VALVE	
ASONABLE DISTANCE ABOVE THE CEILINGS. IN GENERAL ALL SUCH S UNLESS INDICATED OTHERWISE SHALL BE MOUNTED SIX TO TWELVE	EAT ENTERING AIR TEMPERATURE	MBH BTU PER HOUR [THOUSANDS]	W WATT (-AGE, -S)		OS&Y (GATE) VALVE	
ES ABOVE THE CEILING. IF IN DOUBT, CONTACT ENGINEER PRIOR TO ALLING. IANHOLES, VAULTS AND SIMILAR UNDERGROUND STRUCTURES SHALL	EC ELECTRICAL CONTRACTOR	MCA MINIMUM CIRCUIT AMPS	WB WET BULB		PRESSURE REDUCING VALVE (STEAM, GAS, WATER, ETC.)	
THE TOP ELEVATION SET FLUSH WITH FINISHED GRADE UNLESS FICALLY NOTED OTHERWISE.	ELEV ELEVA (-TION, -TOR) ENGR ENGINEER	MFG MANUFACTURER MIN MIN (-IMUM, -UTE)	WBT WET BULB TEMPERATURE WPD WATER PRESSURE DROP	(T) TEMPERATURE SENSOR (H) HUMIDITY SENSOR		
		MISC MISCELLANEOUS	WT WEIGHT	C CARBON DIOXIDE SENSOR		
	ESP EXTERNAL STATIC PRESSURE	MOCP MAXIMUM OVERCURRENT PROTECTION [AMPS]	W/ WITH	TEMPERATURE & CARBON DIOXIDE SENSOR	FLEXIBLE PIPE CONNECTION	
	ETR EXISTING TO REMAIN	MTG MOUNTING	W/O WITHOUT	 기다 평· MANUAL BALANCING/VOLUME DAMPER	FLOW METER (VENTURI)	
	EVAP EVAPORAT (-E, -ING, -ED, -OR, -ION)	N/A NOT APPLICABLE	% PERCENT			
	EWT ENTERING WATER TEMPERATURE	NC NOISE CRITERIA OR NORMALLY CLOSED	ΔP DIFFERENTIAL PRESSURE	VERT. HORIZ. VERT. HORIZ. FIRE DAMPER	P ^{FS} FLOW SWITCH	
	EXP EXPANSION	NEBB NATIONAL ENVIRONMENTAL BALANCING BUREAU	ΔT TEMPERATURE DIFFERENCE		PRESSURE SWTICH	
	EXT EXTERIOR	NIC NOT IN CONTRACT	CENTERLINE	VERT. HORIZ. COMBINATION FIRE & SMOKE DAMPER	 TAMPER SWITCH	
	FA FREE AREA				THERMOMETER	
					TPETE'S PLUG; TEMPERATURE/PRESSURE PORT	1 BID AND PERMIT No.
AL NOTES - DEMOLITION	A. THE CONTRACTOR IT IS HEREBY ADVISED THAT IS POSSIBLE THAT					
ICH THE CEILING IS REMAINING. THE CONTRACTOR IS RESPONSIBLE EMOVING THE EXISTING CEILING AS REQUIRED AND	ASBESTOS AND/OR OTHER HAZARDOUS MATERIALS ARE OR WERE PRESENT IN THIS BUILDING(S). ANY WORKER, OCCUPANT, VISITOR, ETC., WHO					
STALLATION. TEMPORARILY SUPPORT LIGHTS, DIFFUSERS, CEILING REPLACE BROKEN CEILING TILES WITH NEW AT NO ADDITIONAL COST WNER. FIELED VERIFY EXACT REQUIREMENTS.	ENCOUNTERS ANY MATERIAL OF WHOSE CONTENT THEY ARE NOT CERTAIN SHALL PROMPTLY REPORT THE EXISTENCE AND LOCATION OF THAT MATERIAL TO THE OWNER. FURTHERMORE, THE CONTRACTOR SHALL					
UTAGES SHALL BE SCHEDULED THROUGH THE PROJECT ESENTATIVE FOR PROPER COORDINATION. A REQUEST FOR AN GE SHALL BE SUBMITTED IN WRITING A MINIMUM OF TWO WEEKS IN	INSURE THAT NO ONE COMES NEAR TO OR IN CONTACT WITH ANY SUCH MATERIAL OR FUMES THEREFROM UNTIL ITS CONTENT CAN BE ASCERTAINED TO BE NON-HAZARDOUS.					434 712
NCE. NG SPRINKLER SYSTEM OUTAGES THE CONTRACTORS SHALL PROVIDE	B. CMTA, INC. HAS NO EXPERTISE IN THE DETERMINATION OF THE PRESENCE OF ANY HAZARDOUS MATERIAL. THEREFORE, NO ATTEMPT HAS BEEN					
WATCH OF AREAS WITH OUTAGES. VALLS AND FLOOR SLABS SHALL BE REPAIRED TO MATCH EXISTING TO A LIKE NEW CONDITION. ALL RATED WALLS AND FLOOR SLABS	MADE BY CMTA TO IDENTIFY THE EXISTENCE OR LOCATION OF ANY SUCH HAZARDOUS MATERIAL. FURTHERMORE, CMTA NOR ANY AFFILIATE HEREOF WILL NOT OFFER OR MAKE ANY RECOMMENDATIONS RELATIVE TO THE					RO
L BE PATCHED AND REPAIRED TO MAINTAIN RATING. XISTING BUILDING FINISHES SHALL BE PROTECTED DURING THE	REMOVAL, HANDLING OR DISPOSAL OF SUCH MATERIAL. C. IF THE WORK WHICH IS TO BE PERFORMED INTERFACES, CONNECTS OR					
DLITION PHASE. Y DASHED LINES INDICATE ITEMS FOR REMOVAL (U.O.N) AND LIGHT D LINES INDICATE EXISTING ITEMS TO REMAIN.	RELATES IN ANY PHYSICAL WAY WITH OR TO EXISTING COMPONENTS WHICH CONTAIN OR BEAR ANY HAZARDOUS MATERIAL, ASBESTOS BEING ONE, THEN IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO					INTE
DINATE DISPOSAL OF ALL FIXTURES, DEVICES, ETC. (INDICATED FOR DLITION) WITH THE OWNER.	CONTACT THE OWNER AND SO ADVISE HIM/HER IMMEDIATELY. D. THE CONTRACTOR BY EXECUTION OF THE CONTRACT FOR ANY WORK					
NG NOTES PROJECT INTERFACES EXTENSIVELY WITH EXISTING BUILDING	AND/OR BY THE ACCOMPLISHMENT OF ANY WORK THEREBY AGREE TO BRING NO CLAIM RELATIVE TO HAZARDOUS MATERIALS FOR NEGLIGENCE, BREACH OF CONTRACT, INDEMNITY, OR ANY OTHER SUCH ITEM AGAINST					
ICES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DINATE AND PHASE ALL TIE-INS AND INTERRUPTIONS OF EXISTING	CMTA, ITS PRINCIPALS, EMPLOYEES, AGENTS OR CONSULTANTS. ALSO, THE CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD					
ICES TO MINIMIZE OR ELIMINATE DOWNTIME. AS AN EXAMPLE, MAIN SERVICE, WATER SERVICE, ELECTRICAL SERVICE, HVAC SERVICES, M GENERATION, ETC., WILL BE AFFECTED AND REPLACED OR MOVED	CMTA, ITS PRINCIPALS, EMPLOYEES, AGENTS AND CONSULTANTS HARMLESS FROM ANY SUCH RELATED CLAIMS WHICH MAY BE BROUGHT BY ANY SUBCONTRACTORS, SUPPLIERS OR ANY OTHER THIRD PARTIES.					MECH
NG THIS PROJECT. THE CONTRACTOR SHALL INSTALL ALL NEW ICES AND EQUIPMENT AND HAVE THEM TESTED AND FULLY AND	E. THE CONTRACTOR IS DIRECTED TO THE SPECIFICATIONS FOR FURTHER INFORMATION.					
ABLY FUNCTIONAL PRIOR TO INTERRUPTING, RELOCATING OR VVING ANY EXISTING SERVICES. IT SHALL BE THE CONTRACTOR'S ONSIBILITY TO BARE ANY AND ALL COSTS ASSOCIATED WITH THIS						TATE OF OH
ING, INCLUDING TEMPORARY SERVICES, TEMPORARY RELOCATION, IUM TIME WORK, ETC. CONTRACTOR SHALL COORDINATE ALL SAID						BRIAN K.
K WITH THE OWNER AND APPLICABLE UTILITIES PER THE CONTRACT IMENTS.						E-56979
		NOTE. NOT ALL OVADOU	S AND ABBREVIATIONS MAY RELIGED ON THIS PROJECT			FITTS SCISTERED
		NOTE: NOT ALL SYMBOLS	S AND ABBREVIATIONS MAY BE USED ON THIS PROJECT			VI SIONAL EN





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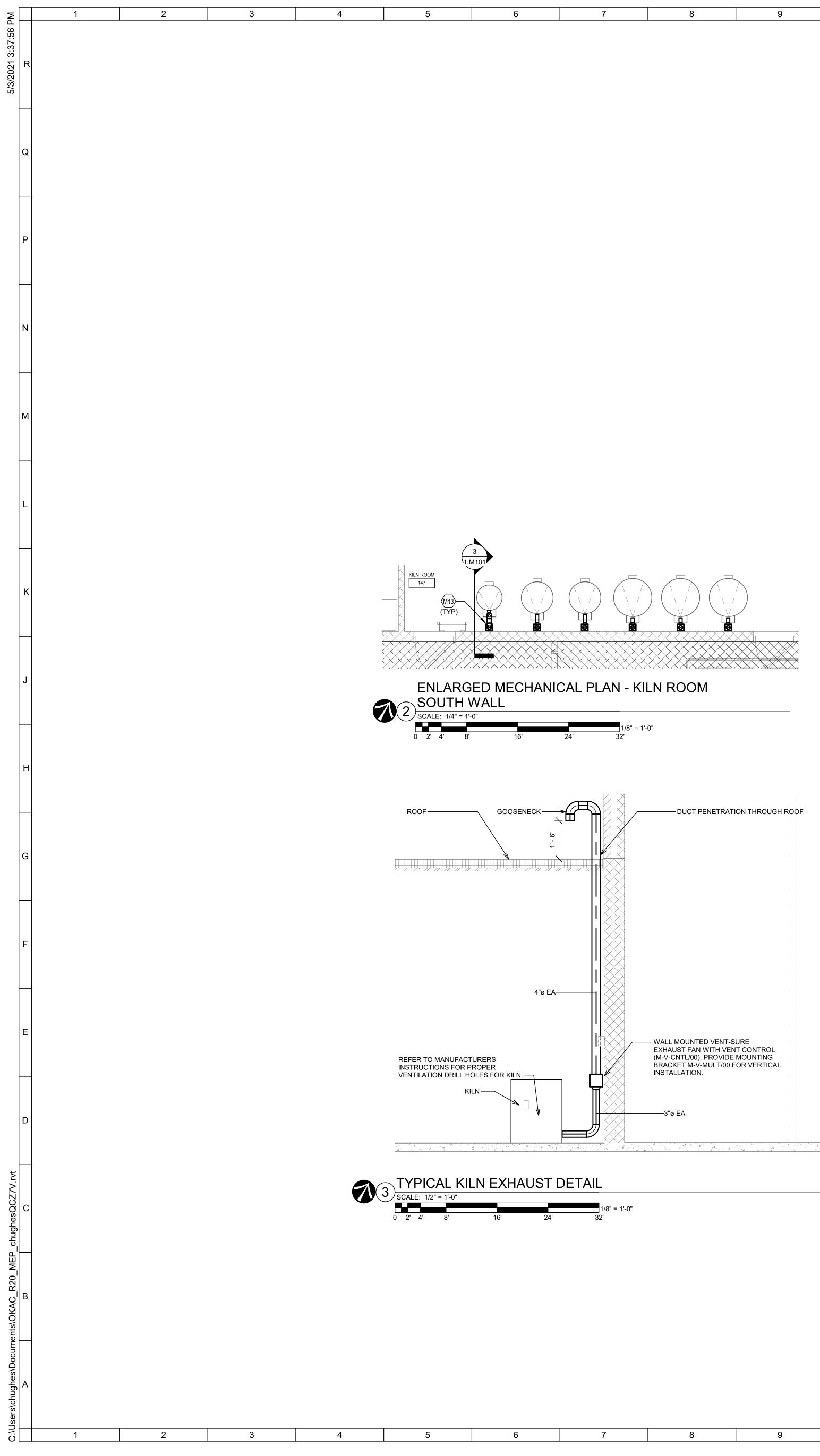
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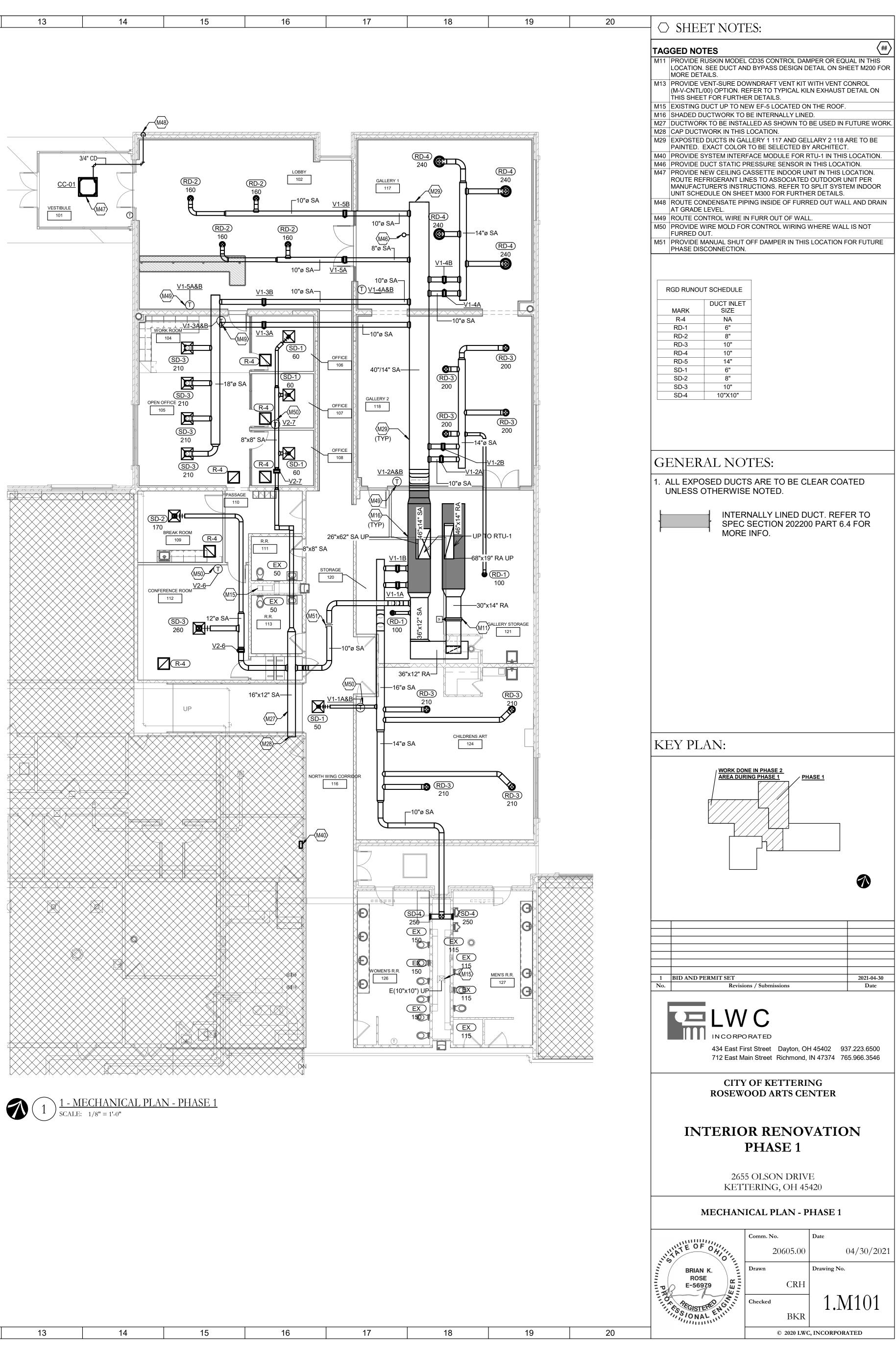
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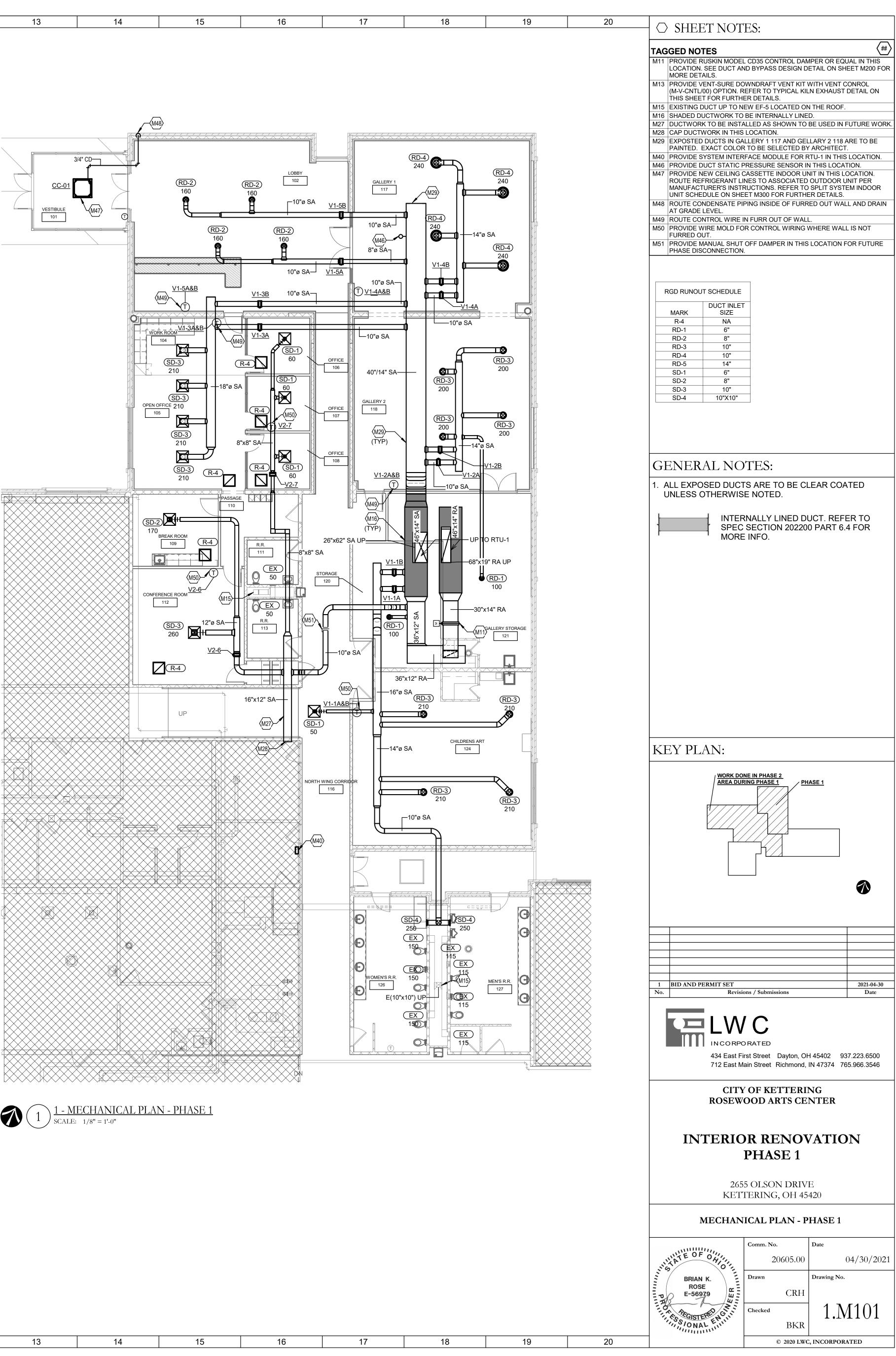
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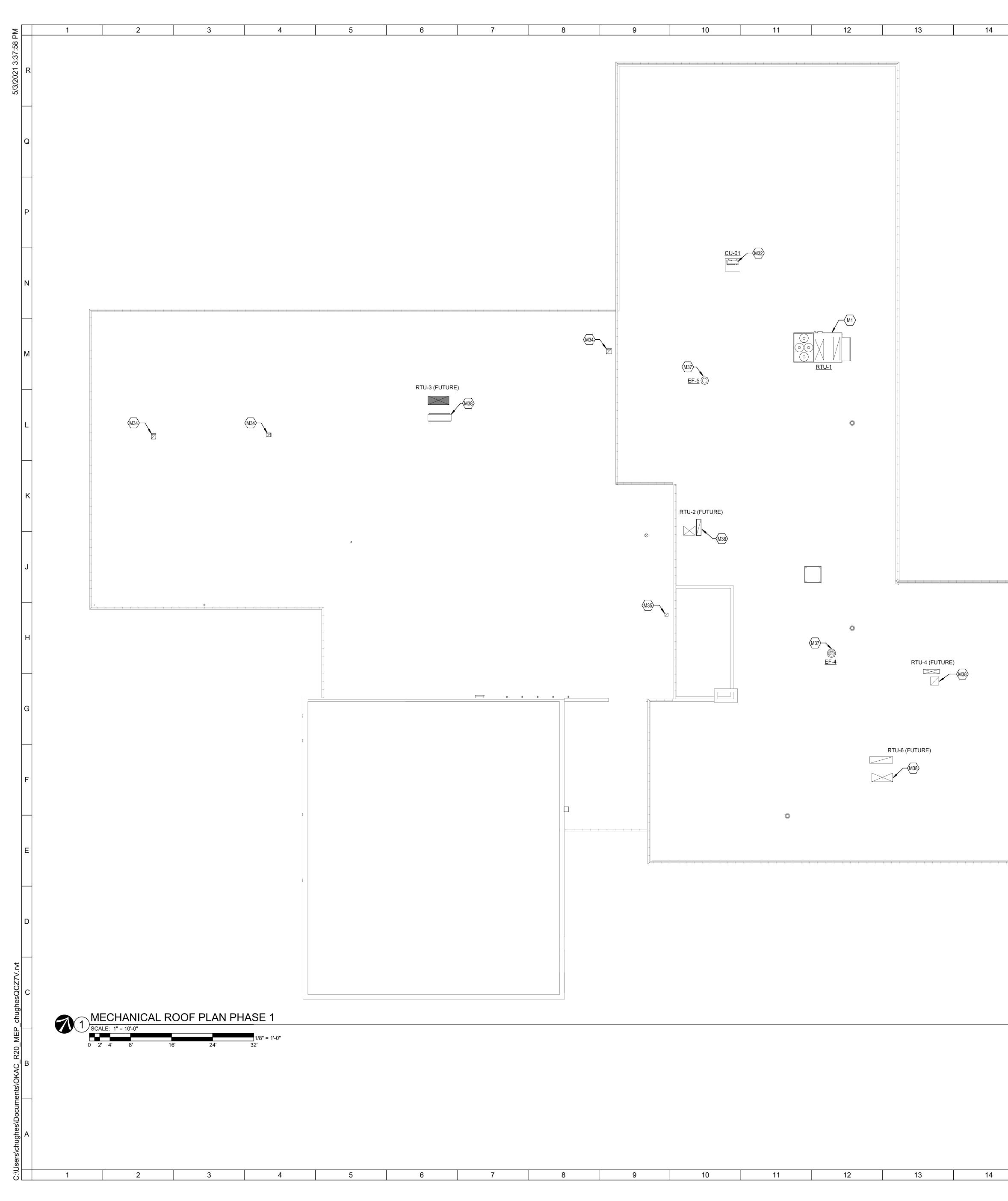


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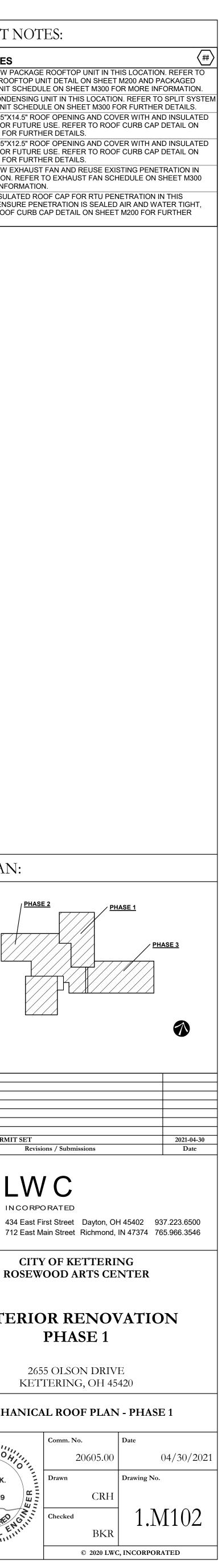


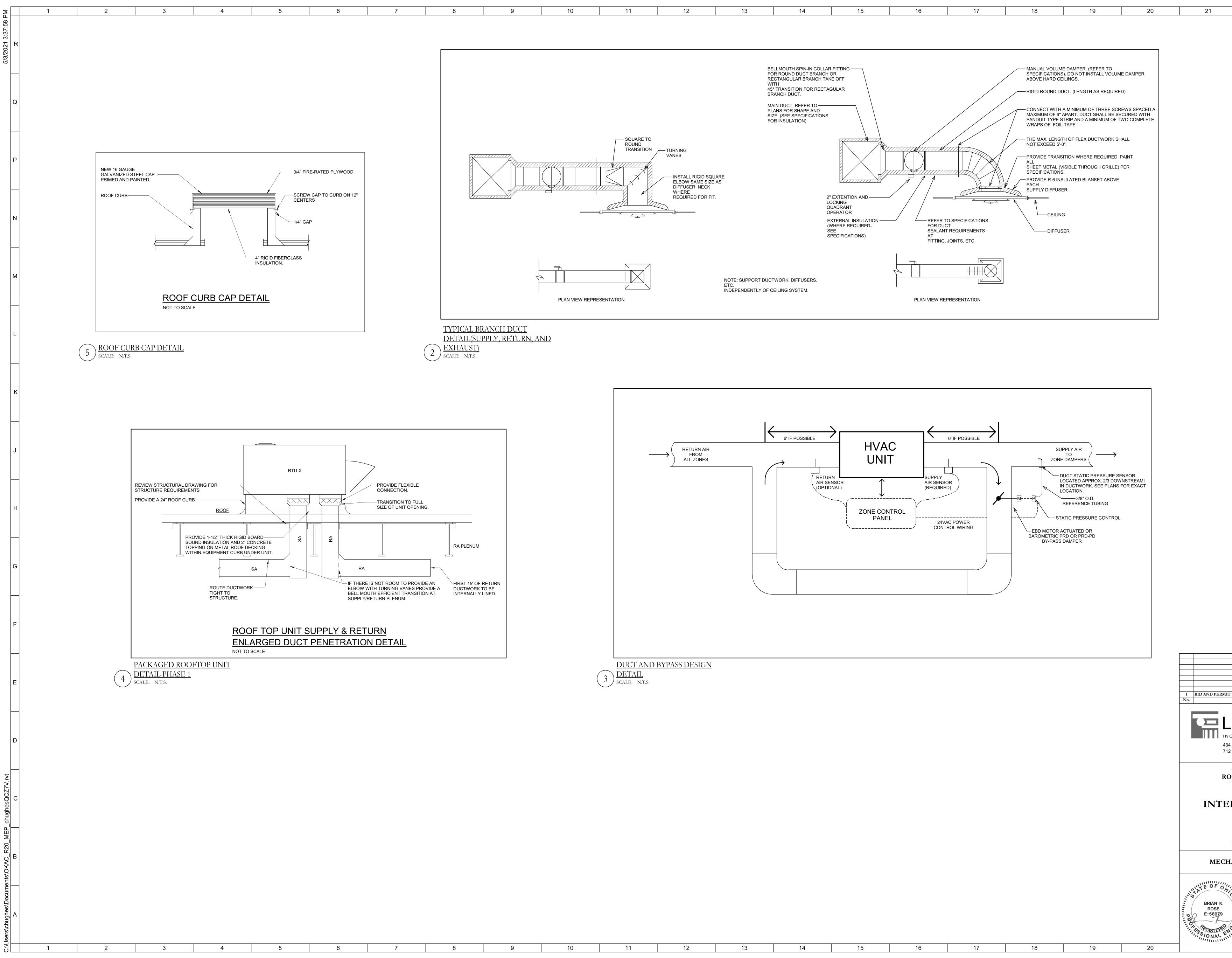






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					PACKA	GED RO PHAS		P UNIT	·	TAGGED NOTES M1 PROVIDE NEW PA PACKAGED ROOF
						RRIER 481	MODEL # CDA17A3M5	ROOF CURB (IN) 14		ROOFTOP UNIT S0 M32 PROVIDE CONDEN OUTDOOR UNIT S0 M34 PROVIDE 14.5"X14 ROOF CAP FOR F0 SHEET M200 FOR
							SE 2	ROOF CURB		M35 PROVIDE 12.5"X12 ROOF CAP FOR FU SHEET M200 FOR M37 PROVIDE NEW EX THIS LOCATION. F
					RTU-2 CA RTU-3 CA RTU-6 CA	RRIER 481 RRIER 481 RRIER 481	CDA12A2M5 CFA20A3M5 CEA24A2M5	14 14 14		FOR MORE INFOR M38 PROVIDE INSULAT LOCATION. ENSUF REFER TO ROOF (DETAILS.
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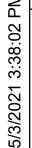




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IIT SET Revisio	ons / Submissions		2021-04-30 Date
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PACKAGED ROOFTOP UNIT SCHEDULE PHASE 1
Barry B
REMARKS: 1. PROVIDE SYSTEMVU CONTROLLER OR EQUAL. 2. STANDARD PARTS WARRANTY, 5 YEAR COMPRESSOR PARTS WARRANTY, 10 YEAR ALT EXCHANGER WARRANTY. 3. PROVIDE WITH ELECTRICAL DISCONNECT.
 PROVIDE WITH ELECTRICAL DISCONNECT. UNIT TO HAVE A CONVENIENCE OUTLET. UNIT TO HAVE A CONVENIENCE OUTLET. 2 COMPRESSORS WITH 3 STAGES OF COOLING.
EXHAUST FAN SCHEDULE PHASE 1 AIRFLOW MARK AIRFLOW MANUFACTURER MODEL # AIRFLOW (CFM) E.S.P. DRIVE FAN HP VOLTAGE PHASE 1
EF-4GREENHECKG-099-ADIRECT DRIVE CENTRIFUGAL ROOF EXHAUST FAN9000.63DIRECT0.251201601,2,3,5EF-5GREENHECKG-080-DDIRECT DRIVE CENTRIFUGAL ROOF EXHAUST FAN1610.58DIRECT0.051201601,2,3,5REMARKS: 1. PROVIDE GRAVITY BACKDRAFT DAMPER. 2. EXHAUST FAN SHALL BE UL LISTED. 3. NEMA-3R DISCONNECT TO BE PROVIDED.
 NEMA-SK DISCONNECT TO BE PROVIDED. EXHAUST FAN TO BE CONTROLLED OF OCCUPANCY SENSOR. EXHAUST FAN TO BE CONTROLLED OF OCCUPANCY SENSOR. ACCEPTABLE MANUFACTURERS: GREENHECK, CAPTIVEAIRE, COOK, AND TWIN CITY.
REGISTERS, GRILLES, AND DIFFUSERS
MARKMAUFACTURERNODEL #ODECT INLETDUCT INLETDUCT BRANCHNOISECRITERIATHROW (FT)REMARKSE-1PRICE INDUSTRIES630ALUMINUM LOVERED GRILLE16"NANA25NA1.2PRICE INDUSTRIES630ALUMINUM LOVERED GRILLE22"x22"NA25NA1.2RD-1PRICE INDUSTRIESRCDROUND CONE DIFFUSER 6"6"6"6"15NA1.2RD-2PRICE INDUSTRIESRCDROUND CONE DIFFUSER 6"8"8"8"15NA1.2
RD-3PRICE INDUSTRIESRCDROUND CONE DIFFUSER 10"10"10"10"111414RD-4PRICE INDUSTRIESRPDROUND PLAQUE DIFFUSER 10"10"10"10"110"
SD-3PRICE INDUSTRIESSPDSQUARE PLAQUE DIFFUSER 10"24"x24"10"10"15NA1,2SD-4PRICE INDUSTRIES610ALUMINUM LOVERED GRILLE10"x10"10"x10"10"x10"25NA1,2REMARKS: 1. WHITE IN COLOR.
2. REFER TO ARCHITECTURAL PLANS FOR MOUNTING TYPE.
ZONE DAMPER SCHEDULE PHASE 1
MARKDUCT CONNECTIONS (IN)MAX.MIN.MARKMODEL#INDET SIZEOUTLET SIZECFMCFMV1-ACARRIEROPNDR10ZC10 Ø10 Ø660440V1-2ACARRIEROPNDR10ZC10 Ø10 Ø660440V1-2BCARRIEROPNDR10ZC10 Ø10 Ø660440V1-2BCARRIEROPNDR10ZC10 Ø10 Ø660440
V1-2D CARRIER OPNDR102C 10 Ø 600 440 V1-3A CARRIER OPNDR102C 10 Ø 600 440 V1-3B CARRIER OPNDR102C 10 Ø 600 440 V1-3A CARRIER OPNDR102C 10 Ø 600 440 V1-3A CARRIER OPNDR102C 10 Ø 600 440 V1-4A CARRIER OPNDR102C 10 Ø 600 440 V1-4B CARRIER OPNDR102C 10 Ø 600 440 V1-4B CARRIER OPNDR102C 10 Ø 600 440 V1-5A CARRIER OPNDR082C 8 Ø 8 Ø 420 280
V1-5B CARRIER OPNDR10ZC 10 Ø 10 Ø 660 440 V2-6 CARRIER OPNDR10ZC 10 Ø 10 Ø 660 440 V2-7 CARRIER OPNDR06ZC 6 Ø 6 Ø 240 160
SPLIT SYSTEM INDOOR UNIT SCHEDULE PHASE 1
MARKMANUFACTURERMODEL #LENGTHWIDTHHEIGHTWEIGHT (LBS)QCFMVOLTAGEPHASEREMARKSCC-01CARRIER40MBC122222223640023011,2,3,4INTEGRAL CONDENSATE PUMP.1.INTEGRAL CONDENSATE PUMP.2.UNIT TO BE POWERED FROM OUDDOOR UNIT.3.UNIT TO BE POWERED FROM OUDDOOR UNIT.4.ACCEPTABLE MANUFACTURERS: CARRIER, TRANE, DAIKIN.
UNIT TO HAVE INTEGRAL CONDENSATE PUMP. ACCEPTABLE MANUFACTURERS: CARRIER, TRANE, DAIKIN.
SPLIT SYSTEM OUTDOOR UNIT SCHEDULE PHASE 1 712 East Main Street Richmond, IN 47374 765.964 MARK MANUFACTURER MODEL # TOTAL LENGTH TOTAL COOLING (MBH) TOTAL COOLING (MBH) TOTAL COOLING MINIMUM SEER MINIMUM MINIMUM SEER TOTAL MINIMUM MINIMUM SEER TOTAL COOLING MINIMUM SEER TOTAL MINIMUM SEER TOTAL MINIMUM SEER <td< td=""></td<>
CU-01 CARRIER 38MAQB12R 32 13 22 92 12.0 19.5 9.4 15 230 1 1 REMARKS: 1. ACCEPTABLE MANUFACTURERS: CARRIER, TRANE, DAIKIN.
PHASE 1 2655 OLSON DRIVE
KETTERING, OH 45420 MECHANICAL SCHEDULES - PHASE 1
Comm. No. Date 20605.00 04/2
BRIAN K. ROSE E-56979 GISTER SOUTH Checked BKR Drawing No. CRH Checked BKR



Zones served by yourn 1010 104 105 117 118 19122 124 19817/198 1911201 Space type (select from pul-down list) come processor and non-R2 processor and non-R2 processor and non-R2 processor and non-raised of prophe escelect to comp processor and automatic inter from Table 8.1 celebration processor and from tool colebration processor and from tool colebration proper procesor and from tool colebration processor and from tool co	Vot	Minimum outdoo Percent outdoor	air intake, Vot/Vps	29%								
Space type (select from pull-down list) Initial function Unitable function Galaxy Galaxy Solution Galaxy Galaxy Solution Galaxy Galaxy Solution Solution </th <th>ZONI</th> <th>E LEVEL</th> <th>Zones served by s</th> <th>system 101/102</th> <th>104</th> <th>105</th> <th>117</th> <th>118</th> <th>119/120</th> <th>124</th> <th>106/107/108</th> <th>109/110/11:</th>	ZONI	E LEVEL	Zones served by s	system 101/102	104	105	117	118	119/120	124	106/107/108	109/110/11:
P2 Zone population, largest if of people expected to accurate your strate from Table 6.1, cfmips non- range outdoor air rate from Table 6.1, cfmips non- Rate outdoor air rate from Table 6.1, cfmips non- Rate your strate your strate from Table 6.1, cfmips non- Rate your strate your strate from Table 6.1, cfmips non- Rate your strate your strate from Table 6.1, cfmips non- Rate your strate your strate hour strate from Table 6.1, cfmips non- Rate your strate your strate your strate hour strate hour strate hour strate your strate your strate hour	۸٦			entry lobbies	space	space			rooms	Classroom		
P2*Rp 80 1.5 2.00 187.5 187.5 2.00 10.00 15.7 3.2.7 V:res Outdoor airflow to the zone corrected for zone air distribution effectiveness, P2*Rp A_2*Fa}/E2_c, drin Mixing boxes, 10m, in VAV systems, use the design mixing boxes, 10m, in VAV systems, use the design design value. 142.892 20.18275 52.5775 300.777 301.0718 83.4235 312.4992.5 4.2.15 47.125 Vizz Supplyide-hange to zone invalue finitions pairs mixing boxes, 10m, in VAV systems, use the design value. 540 210 630 960 800 200 799 180 430 Vizz Supplyide-hange to zone invalue finition pairs if Vizz 100 1.00	Pz Rp	Zone population, l zone People outdoor air	largest # of people expected to c r rate from Table 6.1, cfm/persor	n 5	1 5	4 5	25 7.5	25 7.5	4 5	10 10	3 5	1 5
distribution effectiveness, (PcPk + AcPea)E2, cfm inting boost, fm, IVAV systems, use the distribution such as at mixing boost, fm, IVAV systems, use the distribution such as at mixing boost, fm, IVAV systems, use the distribution such as at mixing boost, fm, IVAV systems, use the distribution such as at mixing boost, fm, IVAV systems, use the distribution such as at mixing boost, fm, IVAV systems, use the distribution such as at mixing boost, fm, IVAV systems, use the distribution supply distribution supply distribution and provided allow of Var. Var. 940 210 630 960 800 200 780 180 430 Var. Var. Nummer, supply discharge to zone used to calculate Ex, cfm. In CAV systems, Varm = Vac. In VAV systems, var. 940 210 630 960 800 200 780 180 430 Zd Outdoor air fraction required in air discharged to zone, systems) Varm infraction to zone, representative of system average, only applies if Ex-1. For planum return =0. For duct and sinply air to zone from sources outside zone, = Ep + V(FLPY)F 0.00<	Pz*R	р	ate from Table 6.1, cfm/ft2	50	5	20	187.5	187.5	20	100	15	5
Wdt Supplyiding backs, dm. in VAV systems, use the design doaly raciculated air, cm. in VAV systems, use the design value. 940 210 630 960 200 790 180 430 Wdt Minimum supplyiding backs in induction primary air design value. 330 50 125 705 705 195 730 180 430 Zd Outdoor air faction required in air discharge to zone, use the design value. 0.43 0.40 0.42 0.43		distribution effective Primary airflow to	veness, (Pz*Rp + Az*Ra)/Ez, cfr zone from air handler (intake plu	m us 940								
design value. Vizim Minimum supply/discharge to zone used to calculate Ev, m. In CAV systems, Vizim = Vdz. In VAV systems, Vdz == Vdz. 330 50 125 705 195 730 100 110 Zd Outdoor air fraction required in air discharged to zone, = Vaz/Vdz (=1 for single duct and single zone systems) 0.43 0.40 0.42 0.43	Vdz	mixing boxes), cfn Supply/discharge	n. In VAV systems, use the de to zone including primary air Vp:	<mark>sign</mark> z and 940	210	630	960	800	200	790	180	430
Vdzn is the minimum expected value of Vdz. Zd Outdoor air fraction required in air discharged to zone, = Voz/Vdzm 0.43 0.40 0.42 0.43<	Vdzm	design value. Minimum supply/d	lischarge to zone used to calcula	ate Ev, 330	50	125	705	705	195	730	100	110
Ep Primary air fraction to zone, = Vp2/Vdz (=1 for single duct and single zone systems) 1.00	Zd	Vdzm is the mini	mum expected value of Vdz.		0.40	0.42	0.43	0.43	0.43	0.43	0.42	0.43
Er Fraction of secondary repice to zone representative of system average, only applies if Ep-1. For plenum return =0. For duct return with local secondary recire =1. 0.00 <td< td=""><td>Ep</td><td>Primary air fraction</td><td>n to zone, = Vpz/Vdz (=1 for sing</td><td>gle 1.00</td><td>1.00</td><td>1.00</td><td>1.00</td><td>1.00</td><td>1.00</td><td>1.00</td><td>1.00</td><td>1.00</td></td<>	Ep	Primary air fraction	n to zone, = Vpz/Vdz (=1 for sing	gle 1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Ez Zone air distribution effectiveness, Table 6.2 0.80	Er	Fraction of second system average, o	dary recirc to zone representative only applies if Ep<1. For plenum	return	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
FbFraction of supply air to zone from full mixed primary air, $= E_p = VpZ/VdZ$ 1.00		Zone air distribution	on effectiveness, Table 6.2	0.80								
zone, = 1 - (1-Ez)* (1-Ep) SYSTEM LEVEL Ps System population, maximum simultaneous # of occupants of space served by system 79 D Occupant diversity, ratio of system peak occupancy to sum of space peak occupancies, = Ps/ΣPz 1.00 Vou Uncorrected outdoor air intake, = D*ΣRp*Pz + ΣRa*Az, Vps 1042 Vps Total system primary flow to all zones, Σ Vpz, cfm 4500 Xs Mixing ratio at primary air handler of uncorrected outdoor air intake to system primary flow, = Vou/Vps 0.23 SYSTEM EFFICIENCY Evs Zone ventilation efficiency, (Fa +Xs*Fb - Z*Fc)/Fa 0.80 0.83 0.81 0.80 0.80 0.81 0.45	Fb	= Ep + (1-Ep)*Er Fraction of supply = Ep = Vpz/Vdz	air to zone from full mixed prima	ary air, 1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Ps System population, maximum simultaneous # of occupants of space served by system 79 D Occupant diversity, ratio of system peak occupancy to sum of space peak occupancies, = Ps/ΣPz 1.00 Vou Uncorrected outdoor air intake, = D*ΣRp*Pz +ΣRa*Az, Total system primary flow to all zones, Σ Vpz, cfm 1042 Xs Mixing ratio at primary air handler of uncorrected outdoor air intake to system primary flow, = Vou/Vps 0.23 SYSTEM EFFICIENCY 0.80 0.83 0.81 0.80 0.80 0.81 0.45 Ev System ventilation efficiency, (Fa +Xs*Fb - Z*Fc)/Fa 0.80 0.83 0.81 0.80 0.80 0.81 0.45		zone, = 1 - (1-Ez)		de 1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
sum of space peak occupancies, = Ps/ΣPz Vou Uncorrected outdoor air intake, = D*ΣRp*Pz +ΣRa*Az, Total system primary flow to all zones, Σ Vpz, cfm 1042 Vs Total system primary flow to all zones, Σ Vpz, cfm 4500 Xs Mixing ratio at primary air handler of uncorrected outdoor air intake to system primary flow, = Vou/Vps 0.23 SYSTEM EFFICIENCY Evs Zone ventilation efficiency, (Fa +Xs*Fb - Z*Fc)/Fa 0.80 0.83 0.81 0.80 0.80 0.80 0.81 0.80	Ps	System populatior occupants of space	ce served by system									
Vps Total system primary flow to all zones, Σ Vpz, cfm 4500 Note: In VAV systems, Vps is equal to the fan airflow, and the formula in cell c40 needs to be replaced by this value. Xs Mixing ratio at primary air handler of uncorrected outdoor air intake to system primary flow, = Vou/Vps 0.23 SYSTEM EFFICIENCY Evs Zone ventilation efficiency, (Fa +Xs*Fb - Z*Fc)/Fa 0.80 0.83 0.81 0.80 0.80 0.81 0.6		sum of space pea	k occupancies, = Ps/ΣPz									
air intake to system primary flow, = Vou/Vps SYSTEM EFFICIENCY Evs Zone ventilation efficiency, (Fa +Xs*Fb - Z*Fc)/Fa 0.80 0.83 0.81 0.80 0.80 0.80 0.80 0.81 0.8 Ev System ventilation efficiency, min(Evs) 0.80	Vps	Total system prim	ary flow to all zones, Σ Vpz, cfm	4500	Note: In V be replace	AV system ed by this v	s, Vps is e alue.	qual to the	fan airflov	v, and the for	mula in cell c	40 needs to
Evs Zone ventilation efficiency, (Fa +Xs*Fb - Z*Fc)/Fa 0.80 0.83 0.81 0.80 0.80 0.80 0.80 0.81 0.8 Ev System ventilation efficiency, min(Evs) 0.80		air intake to system	m primary flow, = Vou/Vps	0.23								
V Menerecedeo e induke Novië.com	Evs	Zone ventilation e			0.83	0.81	0.80	0.80	0.80	0.80	0.81	0.8
	Vot	Minimum outdoo	or air intake, Vou/Ev, cfm	1305								

4

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1

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7	8	9	10	11	12	13	14	

7	8	9	10	11	12	13	14
		•		•		•	

15	16	17	18	19	20	21

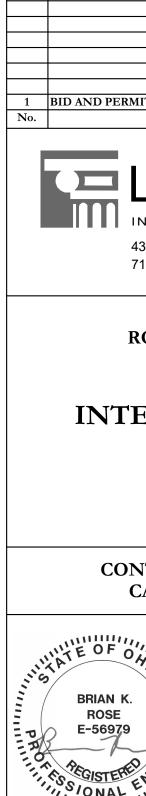
PACKAGED ROOFTOP UNIT: RTU-1

- VVT OVERVIEW: Variable Volume & Temperature (VVT) is a zoning system that utilizes both cooling and heating from one central air source. The VVT System makes the decision to enter a system mode (heat or cool) based on the number of heating and cooling callers. The Zone Controller modulates individual zone dampers to maintain space temperature setpoint. A new System Touch Interface will be provided for monitoring and setpoint & time schedule adjustments. All setpoints shown in this sequence of operation may be adjusted though the System Touch Interface.
 OCCUPIED / UNOCCUPIED OPERATION: Unit shall be scheduled for occupied/unoccupied 7-day and holiday operation. An unoccupied override pushbutton
- (on wall-mounted temperature sensor) will force that individual zone to occupied mode for 2 hours (adjustable). Occupied setpoints are preset at 74 °F for cooling and 70 °F for heating, adjustable for up to + / 3 °F from a space temperature sensor slidebar setpoint adjustment. Unoccupied setpoints are preset at 80 °F for cooling and 60 °F for heating. During the occupied mode, the fan is operational. During the unoccupied mode the unit fan shall cycle based on a call for unoccupied cooling or heating.
 3. SYSTEM MODE DETERMINATION: This system mode (heat or cool) is chosen by calculating the average heat and cool demands between all zones (difference)
- 3. SYSTEM MODE DETERMINATION: This system mode (heat or cool) is chosen by calculating the average heat and cool demands between all zones (difference between setpoint & actual space temperature). NOTE: Each zone may be designated a priority level, which will allow for a "weighted" average demand for larger or more critical zones. When the average cooling demand rises to 0.7 °F above setpoint, the unit shall enter cooling mode. When the average heating demand falls to 0.7 °F below setpoint, the unit shall enter heating mode. If both average heating and cooling demands are above 0.7 °F, the highest demand will determine the mode. Once a mode is selected, it will remain in that mode until either the average zone demand reaches setpoint or the opposite mode demand is higher (after a minimum 30 minute run time).
- HVAC UNIT CONTROL: Once a system mode is determined, the VVT System will communicate with the unit controller to enable heating or cooling. The controller will utilize PID logic to stage heating or cooling based on average demand. The unit will always maintain a minimum supply temperature of 50 °F during cooling mode and a maximum supply temperature of 140 °F during heating mode. Heating and/or cooling may be locked out based on outdoor temperature lockout setpoints if desired.
- OCCUPIED MODE COOLING: Economizer mode shall be determined by comparing return & outdoor enthalpy sensors. When outdoor temp is not suitable (outdoor enthalpy > return enthalpy), economizer damper shall be at minimum ventilation position and mechanical cooling will be staged to maintain occupied space temperature cooling setpoint. When outdoor temp is suitable, return air shall be exhausted and unit shall bring in additional outdoor air. If economizer reaches 100% open and space temperature setpoint cannot be met, damper will remain open and mechanical cooling will be enabled.
 OCCUPIED MODE HEATING: Gas heat shall be enabled to maintain occupied space temperature heating setpoint.
- DEHUMIDIFICATION CONTROL: Dehumidification cycle will be enabled whenever space humidity rises above 60% (adjustable)
 OUTDOOR VENTILATION DAMPER CONTROL: 2-Position Outdoor Damper will be open during Occupied Mode and will remain closed during Unoccupied Mode.
- Mode.
 ZONE DAMPER CONTROL: Each zone will have a minimum damper position for ventilation purposes. When a zone's temperature rises above its cooling setpoint and the overall system mode is cooling, the zone damper shall modulate to maintain cooling setpoint. If the zone's temperature is below its heating setpoint and the overall system mode is heating, the zone damper shall modulate to maintain heating setpoint. When no system mode is present and the supply air temperature is acceptable (65-75 °F), the zone damper will open beyond the minimum position to the ventilation position to provide additional ventilation to the space.
- 10. UNOCCUPIED MODE: During unoccupied mode, the fan will cycle on based on a call for unoccupied cooling or heating and remain off when satisfied. Unit will operate off of the unoccupied cooling & heating setpoints of 80 °F and 60 °F for all zones. System will to run until space temperature lowers (cooling mode) or raises (heating mode) by 4 °F. Economizer damper will remain fully closed during unoccupied mode.

		R	TU POINTS LIS	Т		
BACNET OBJECTS TO THE BAS	ANALOG INPUT	ANALOG OUTPUT	DIGITAL INPUT	DIGITAL OUTPUT	TREND	ALARM
POINTS LIST						
OCCUPIED / UNOCCUPIED				Х		STATUS DOES NOT MATCH COMMAND
UNIT STATUS			X		X	
MORNING WARM-UP STATUS			Х		Х	
COOLING STATUS / CAPACITY	Х		Х		X	
ECONOMIZER STATUS			Х			ALARM
SUPPLY FAN STATUS / SPEED	Х					
ECONOMIZER STATUS	Х		5			
DISCHARGE AIR TEMPERATURE	Х	Х			X	HIGH TEMP LOW TEM
DISCHARGE AIR TEMPERATURE SETPOINT	Х	Х				
RETURN AIR TEMPERATURE	Х					
OUTDOOR AIR TEMP	Х					
SUPPLY AIR CFM	Х					AIRFLOW MEASURING STATION
SUPPLY AIR CFM SETPOINT	Х	Х				
OUTSIDE AIR CFM	Х					AIRFLOW MEASURING STATION
OUTSIDE AIR CFM SETPOINT	Х	Х				
ENTERING FAN / LEAVING COIL TEMP	Х					
MIXED AIR TEMPERATURE	Х					
DIRTY FILTER			Х			

EXHAUST FANS (EF-4, EF-5) 1. The TCC shall provide exhaust fan control. EF-4 and EF-5 to operate when the building is occupied.

EXHAUST FAN POINTS LIST									
POINTS LIST	ANALOG INPUT	ANALOG OUTPUT	DIGITAL INPUT	DIGITAL OUTPUT	TREND	ALARM			
OCCUPIED/UNOCCUPIED	9			X	X	STATUS DOES NOT MATCH COMMAND			



15	16	17	18	19	20

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	ons / Submissions		Date
	OF KETTERII OOD ARTS CE		
	R RENOV	ATIO	N
	PHASE 1	F	
265	PHASE 1 5 Olson drive Fering, oh 454		
265 KET NTROL	5 OLSON DRIV	420 LATION	
265 KET NTROL CALCUI	5 OLSON DRIV Fering, oh 45- S And ventii	420 LATION ASE 1 Date	04/30/2021
265 KET NTROL CALCUI	5 OLSON DRIV TERING, OH 454 S AND VENTII LATIONS - PHA Comm. No. 20605.00 Drawn	420 LATION ASE 1 Date	04/30/2021
265 KET NTROL CALCUI	5 OLSON DRIV TERING, OH 454 S AND VENTIL LATIONS - PHA Comm. No. 20605.00 Drawn CRH Checked	420 LATION ASE 1 Date Drawing No.	04/30/2021 1400
265 KET NTROL CALCUI	5 OLSON DRIV TERING, OH 454 S AND VENTIL LATIONS - PHA Comm. No. 20605.00 Drawn CRH Checked BKR	420 LATION ASE 1 Date Drawing No.	1400
265 KET NTROL CALCUI	5 OLSON DRIV TERING, OH 454 S AND VENTIL LATIONS - PHA Comm. No. 20605.00 Drawn CRH Checked BKR	420 LATION ASE 1 Date Drawing No.	1400

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२	 	 		DESCRIPTION	MOUNTING HEIGHT (TO CENTER OF BOX)	DRAWING SYMBOL	DESCRIPTION	MOUNTING HEIGHT (TO CENTER OF BOX)	DRAWING SYMBOL
			ſ	LIGHTING REFER TO LUMINAIRE SCHEDULE FOR EXACT			ABBREVIATIONS UNLESS OTHERWISE NOTED		UON
_				FIXTURE SPECIFICATIONS, MOUNTING HEIGHTS, ETC SURFACE, SUSPENDED OR STRIP CEILING FIXTURE		0,	OWNER FURNISHED CONTRACTOR INSTALLED OWNER FURNISHED OWNER INSTALLED		OFCI OFOI
				RECESSED CEILING FIXTURE EMERGENCY BATTERY WALL-PACK			CONTRACTOR FURNISHED CONTRACTOR INSTALLED CONTRACTOR FURNISHED OWNER INSTALLED		CFCI CFOI
2				EXIT LIGHT (CEILING, END, WALL MOUNT)		₽ ,₽,₹			
				PARALLEL-HATCHING INDICATES LIGHT IS BACKED UP VIA BATTERY			SPECIAL OUTLETS]
_							FLOORBOX, POWER ONLY, AS SCHEDULED FLOORBOX, COMBINATION POWER AND LOW	FLOOR FLOOR	
				LIGHTING CONTROL SWITCHES			VOLTAGE, REFER TO FLOORBOX SCHEDULE COMBINATION POWER AND DATA OUTLET LOCATION, REFER TO ASSOCIATED DETAIL FOR ADDITIONAL	1'-6"	\square
•				LIGHT SWITCH: LOW VOLTAGE	46" 46"	\$ \$ D	INFORMATION COMBINATION QUADRUPLEX POWER AND DATA OUTLET LOCATION, REFER TO ASSOCIATED DETAIL	CASEWORK	+
				OCCUPANCY OR VACANCY SENSOR SWITCH	46"	\$os,\$vs	FOR ADDITIONAL INFORMATION AUDIO/VISUAL SYSTEM OUTLET WITH DUPLEX RECEPTACLE, REFER TO ASSOCIATED DETAIL ON	1'-6"	-
_				KEYED SWITCH	46"	\$U \$К	SHEET '1.E002'.		K ⊨ AV
				OCCUPANCY OR VACANCY SENSOR, CEILING MOUNT LINE VOLTAGE THREE-WAY SWITCH	CLG 46"	() (√S) (√S) (√S) (√S)			
				LINE VOLTAGE FOUR-WAY SWITCH	46"	\$4			
_							TELEVISION TELEVISION SYSTEM OUTLET WITH DUPLEX RECEPTACLE, COORDINATE DEVICE MOUNTING HEIGHT WITH BRACKET AND OWNER IN FIELD PRIOR TO ROUGH-IN	WALL	ŀ©⊤
				MISCELLANEOUS		─GROUND	OVERHEAD PAGING		
1				CONDUIT CONCEALED IN WALLS OR IN CEILING SPACE: ARROW(S) INDICATE(S) HOME RUN & # OF CIRCUITS: HASHMARKS INDICATE # OF CONDUCTORS. DASHED LINE INDICATES			PAGING SPEAKER: CEILING CLOCKS	CLG	s
				CONDUIT BELOW FLOOR. DISCONNECT SWITCH	5'-0"		ANALOG CLOCK SECURITY	84"	Ð
-				PANELBOARD, SURFACE OR FLUSH MOUNTED	6'-6" TO TOP		DOOR RELEASE PUSH-PLATE. PROVIDE ANY ADDITIONAL ROUGH-IN FOR "EMERGENCY RELEASE" OPERATOR STATIONS AS REQUIRED.	46"	PP
				EQUIPMENT TAG, REFER TO EQUIPMENT SCHEDULE TAGGED NOTE		EQUIP-1	CCTV CAMERA: WALL MOUNT DOME	WALL	
				REVISION TAG MOTOR CONNECTION, REFER TO EQUIPMENT CONNECTION SCHEDULE			INTRUSION DETECTION SYSTEM - MOTION DETECTOR	CEILING CEILING	MD SA
				WEATHERPROOF - NEMA-3R, WET LOCATION LISTED. PROVIDE COVERS, RATINGS, ETC, AS SUITABLE FOR		WP	DOOR ALARM PANIC BUTTON - PROVIDE ROUGH-IN TO UNDERSIDE (DOOR FRAME	- I
				OUTDOORS. SCHOOL BELL ONLY	EXISTING	В	INDICATED CASEWORK		
									_
							POWER OUTLETS DUPLEX RECEPTACLE (*)	1'-6"	 ⊕
1							SLASH THROUGH ANY DEVICE INDICATES MOUNTING ABOVE COUNTERTOP 4" ABOVE BACKSPLASH (*)		Ø-
							FILLED CENTER BAR INDICATES INTEGRAL GROUND FAULT PROTECTION (GFCI) (*) GROUND FAULT PROTECTED DUPLEX WITH	1'-6"	●
							GROUND FAULT PROTECTED DUPLEX WITH WEATHER-PROOF "WHILE IN USE" TYPE DIE-CAST METAL COVERPLATE WITH LOCKABLE ENCLOSURE A OUTLET - SEE SPECIFICATIONS (*)	. 2'-2") - v
							BOX ON ANY DEVICE INDICATES SURFACE MOUNTED BACKBOX/WIREMOLD (*)	1'-6"	œ–
							CIRCLE ON ANY DEVICE INDICATES DEVICE FED FROM STUB DOWN CONDUIT. PROVIDE 4" SQUARE 2- GANG BOX WITH A 1-GANG COVERPLATE. SEE DETAIL ON SHEET '1 E002' (*)	1'-6"	œ−
							DETAIL ON SHEET '1.E002'. (*) (*) E.C. SHALL PROVIDE TAMPER RESISTANT SAFETY I IN ALL PUBLIC SPACES, ART STUDIOS, DANCE STUDIO CLASERCOME DER NEC 402 42	RECEPTACLES S AND	
1							CLASSROOMS PER NEC 406.12 JUNCTION BOX WALL MOUNTED	EXISTING	Ю
							208V/1PH RECEPTACLE, AS NOTED 208V/3PH RECEPTACLE, AS NOTED	1'-6" 1'-6"	
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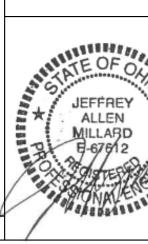
DESCRIPTION	Mounting Height (To Center of Box)	DRAWING SYMBOL
DATA / VOICE		
DATA OUTLET : NUMBER BESIDE OUTLET INDICATES NUMBER OF DATA JACKS	1'-6"	#D ▽
WIRELESS ACCESS POINT OUTLET WITH PROVISIONS FOR (1 DATA OUTLET FOR ANTENNA. PROVIDE A COMPLETE DATA OUTLET WITH FACEPLATE ABOVE CEILING, MOUNTED AT AN ACCESSIBLE HEIGHT NO MORE THAN 24" ABOVE CEILING. AT EACH OUTLET, PROVIDE A 20' COIL OF CABLE AHEAD OF THE OUTLET FOR ADJUSTMENT OF FINAL OUTLET LOCATION. THE CONTRACTOR SHALL COORDINATE EXACT LOCATIONS WITH THE OWNER AND ADJUST OUTLET LOCATIONS AT SUBSTANTIAL COMPLETION TO ACCOMMODATE OWNER'S WAP LOCATIONS.		WAP
]	
FIRE ALARM		
MAIN FIRE ALARM CONTROL PANEL CENTRAL PROCESSING UNIT (CPU) - VOICE COMPATIBLE	6'-6" TO TOP	FACP
PULL STATION : DOUBLE ACTION	46" TO LEVER	F
SPEAKER AUDIO/VISUAL NOTIFICATION APPLIANCE	WALL, CLG	F
SPEAKER AUDIO-ONLY NOTIFICATION APPLIANCE	WALL, CLG	
VISUAL-ONLY NOTIFICATION APPLIANCE	WALL, CLG	
PHOTO-ELECTRIC SMOKE DETECTOR		SD
DUCT MOUNTED SMOKE DETECTOR	-	DD
REMOTE L.C.D. FIRE ALARM ANNUNCIATOR - VOICE COMPATIBLE	54"	FAA
REMOTE FIRE ALARM ANNUNCIATOR MICROPHONE	48"	FAAM
CONNECTION TO SPRINKLER FLOW SWITCH WITH ADDRESSABLE MODULE		FS
CONNECTION TO SPRINKLER TAMPER SWITCH WITH ADDRESSABLE MODULE		TS

WITH ADDRESSABLE MODULE		TS
PANEL FURNITURE]
COMBINATION POWER AND LOW VOLTAGE CONNECTION TO PANEL FURNITURE. PROVIDE 3/4" C. FOR POWER AND 1" C. FOR DATA STUBBED TO ABOVE THE ACCESSIBLE CEILING TO A J HOOK OPEN WIRED SYSTEM. PROVIDE SEAL-TIGHT CONDUIT CONNECTION FROM RECESSED WALL BOX TO PANEL FURNITURE, PROVIDE FINAL CONNECTIONS TO PANEL FURNITURE AS REQUIRED BY PANEL FURNITURE VENDOR	1'-6"	F€ FF

13	14		1				
DESCRIPTI	ON						
SYSTEM RESPONSIE MATRIX SYSTEM		ITEM USED ON PROJECT		DEVICES - O F O I	DEVICES - O F C I	DEVICES - C F C I	
FIRE ALARM							
SECURITY: PAN	NIC ALARM						
SECURITY: ACC	CESS CONTROL	\bullet					
SECURITY: CCT	ΓV	\bullet			ullet		
DATA PROCES	SING	\bullet			ullet		
SECURITY INTR	RUSION DETECTION				ullet		
 A. REFER TO TO VENDOR DRAWINGS B. REFER TO ACCESS CO C. PROVIDE B SYSTEMS. AND EXACT VENDORS O D. AT ALL SYS CONTRACT TO CABLE I CONDUITS EXACT REO CONSTRUC E. REFER TO SYSTEM SI GROUNDIN F. WHERE INE SYSTEM CO POWER, ET PRICING PF STANDARD SYSTEM VE WITH OWN INTERCONI SYSTEM DE OWNER PR 	DNSIBILITY GENERAL NO VENDOR DRAWINGS FOR R-FURNISHED EQUIPMEN SHALL BE INCLUDED BY ARCHITECTURAL DOOR DATROL DEVICE SPECIF ACKBOXES AND CONDU CONTRACTOR SHALL VE INSTALLATION LOCATIO OF ALL SYSTEMS PRIOR STEMS EQUIPMENT CABI OR SHALL PROVIDE SIZI PATHS AS REQUIRED BY AT CABINETS/ON BACKE QUIREMENTS WITH APPE DION. SPECIFICATIONS FOR RE NCLUDING CABLING, CAI G, TESTING, LABELING, I DICATED AS CFCI, THE C DMPLETE, INCLUDING AL C. THE CONTRACTOR S RIOR TO BID. ALL SYSTEI S AND BE FULLY COMPA ENDORS SHALL COORDII ER PRIOR TO BID. NEW C NECTED WITH EXISTING ESIGNS AND PROGRAMM IOR TO ORDERING. ALL BY THE OWNER. PROVID	R COMF NT. ALL Y THE C HARDW ICATION ICATION ICATION ICATION IIT WITH ERIFY BAND NONS/RE TO CON NET/TE E AND N ' SYSTE 30ARD9 CONTRA' EQUIRE BLE MA ETC. ONTRA' L ROUC HALL C' MS SHA ATIBLE N NATE E: COMPO SYSTE SYSTE ING SH PROGR	WOI ONT (ARE NS A I PU ACK QUII NSTF RMII NSTF V MEN NAG CTO GH-III N NAG CTO GH-III N NAG CTO CTO CTO CHO SH-III N NAG CTO CHO SH-III N NAG CTO CHO SH-III N NAG CTO CHO SH-III N NAG CTO CHO SH-III N NAG CTO CHO SH-III N NAG CTO CHO SH-III N NAG CTO CHO SH-III N NAG CTO CHO SH-III N NAG CTO CHO SH-III N NAG CTO CHO SH NAG CTO CHO SH NAG CHO SH NA SH SH NAG CHO SH NA SH SH SH SH SH SH SH SH SH SH SH SH SH	RK [RA SF [RA] SF ND : [LL: () BBENE RULL SO BENE RULL SO RULL SO RU	INDI CTCC FUF STRIZ (SIZ NEN) CTIO BOF DOR APF ENT CAL SOP DOR APF ENT CAL STRIZ (SIZ NEN) CTIO BOF DOR APF ENT CAL STRIZ (SIZ SIZ SIZ SIZ SIZ SIZ SIZ SIZ SIZ SIZ	CAT R. FIC/ RTHE RES, V N. ACO S, EDP LIN ELIN ELIN ELIN ELIN ELIN ELIN ELIN	

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					RAL NOTES	NUFACTURER SHALL REFE	R TO ALL DOCUMENTS	Sheet SHEET #	: Li
			OMPLIANCE WITH	I SPECIFICATIC	NS, PROPER VOLTAGE DINGS SYSTEMS. VERIF	RDINGLY SO AS TO ENSURE AND CURRENT CHARACTEI Y SAME WITH SHOP DRAWI	RISTICS TO AVOID	1.E001 1.E002 1.E003	
DEVICES - O F C I DEVICES - C F C I CABLING/CONDUCTORS - CABLING/CONDUCTORS - CABLING/CONDUCTORS -		IT UN	IS THE CONTRAC	CTOR'S RESPO	NSIBILITY TO REVIEW AI CT REQUIREMENTS.	IN ON PLANS FROM OTHER	ONS FOR A COMPLETE	1.E003 1.ED101 1.E101	
VICES - 01 VICES - CF BLING/CON BLING/CON		ING	CLUDING BUT NO	OT LIMITED TO I	NFPA 70 (NEC), NFPA 72	TION OF ALL LOCAL, STATE , INTERNATIONAL BUILDING DESIGN REQUIREMENTS CO	CODES, ETC.	1.E102	POW POW
DEVICES DEVICES CABLING/ CABLING/ CABLING/ CABLING/	SYSTEM SYMBOL	CL				WITH ALL AMENDMENTS A RUCTURAL SPECIFICATION		1.E103 1.E301	
	\bigcirc	RE	EQUIRED. ADDITI	ONAL ALLOWA	NCES SHALL BE INCLUD	NOT BE INDICATED, BUT SHED FOR SAME AT EACH PRECATION OR IN A MANNER W	OPOSER'S DISCRETION.	1.E400	EL
	\bigcirc	G. AD	VISE THE ENGIN	IEER OF ANY C		REON. IF IN DOUBT, CONTA /ISSIONS, ETC. AT LEAST TE M.			
	\Diamond	H. WI RE	HERE CONFLICTS	S ARE FOUND E ALL APPLY. NC	BETWEEN DRAWINGS, D DTIFY ARCHITECT OF DIS	DETAILS, OR SPECIFICATION SCREPANCY IN WRITING. PRIOR WRITTEN APPROVA			
		J. OE	BSERVE ALL APP	LICABLE CODE	S, RULES AND REGULA	EN DAYS PRIOR TO THE BID TIONS THAT MAY APPLY TO JNICIPALITY, UTILITY COMP	THE WORK UNDER THIS		
		DE	EVICE UNO. MOL	JNTING HEIGHT	S TO CEILING SUSPEND	CATED ABOVE FINISHED FL DED DEVICES ARE TO BOTT RDANCE WITH MANUFACTU	OM OF DEVICE UNO.		
COPE OF WORK RELAT IDICATED ON VENDOR TOR.	-	DC	OCUMENTS, ADV	ISE THE ENGIN	EER PRIOR TO INSTALL	VITH THE DESIGN INDICATE ATION FOR CLARIFICATION. MOUNTED EQUIPMENT IN W			
ECIFICATIONS FOR URTHER REQUIREMEN TRINGS FOR ALL SIZES, CONDUIT, ETC.		N. TH	IE PURPOSE AND	D INTENT OF AL	L OF THE DOCUMENTS	E RESISTIVE RATINGS IN AN PERTAINING TO THIS PROJ 'THING LESS SHALL BE UNA	ECT IS TO PROVIDE A		
ENTS WITH SUCCESSF FION. BOARD LOCATIONS,		O. AL W	L SYSTEMS, EQU ORK NOT MEETIN	JIPMENT AND N NG THIS CRITER	ATERIALS ARE TO BE IN RION SHALL BE REMOVE	NSTALLED IN A NEAT AND W ED AND REINSTALLED SATIS Y OF WORK RESIDES WITH	/ORKMANLIKE MANNER. SFACTORILY. FINAL		
OF CONDUIT STUB-OU DRS, TERMINATE UIRED. COORDINATE ORS PRIOR TO	15	P. AL FR	L WORK, MATER OM THE DATE O	RIALS, EQUIPME F SUBSTANTIA	NT, ETC. SHALL BE FUL	LY GUARANTEED FOR ONE UMENTED BY THE ENGINEE	FULL CALENDAR YEAR		
APPLICABLE TO ALL NT, INSTALLATION,		Q. UN SP	NLESS OTHERWIS	SE SPECIFIED (SED TO VIEW O	OR INDICATED, ALL EQU IN THE BUILDING EXTER	IPMENT AND/OR MATERIAL IOR SHALL BE PRIMED AND E NOTED. COORDINATE WC	FINISHED SO AS TO		
IALL PROVIDE THE ABLING, DEVICES, THE LISTED VENDOR F	FOR	AR R. WI	RCHITECT. HERE PENETRAT	ING ROOFING	MEMBRANE OR OTHER	MATERIALS USED FOR WEA	THERPROOFING THE		
H EXISTING FACILITY Y EXISTING SYSTEMS. STEM REQUIREMENTS		OF AF	R INTEGRITY IN A RCHITECT.	NYWAY. COOR	DINATE ALL SUCH PENE	ETRATIONS WITH THE ROOF	ING MANUFACTURER AND		
HALL BE RE POSSIBLE. ALL NEV COORDINATED WITH TH SHALL BE INCLUDED A	HE	CC TE	OSTS THAT THE LEVISION, DATA	JTILITY COMPA , ETC.).	NY MAY REQUIRE TO CO	OMPLETE THEIR WORK. (EL	ECTRIC, TELEPHONE,		
TRAINING FOR EACH		OF U. CE	F ADDITIONAL RE EILING-MOUNTED	CEPTACLES, U ELECTRICAL [ITILITY OUTLETS, ELECT DEVICES SHALL BE CEN		AND INSTALLED		
		V. AN FR	NY VIBRATING, OS COM SURROUND	SCILLATING OR ING SYSTEMS I	COTHER NOISE OR MOT	TION PRODUCING EQUIPMEN ER. NOISY OR STRUCTURAL	NT SHALL BE ISOLATED LLY DAMAGING		
		EX BE	(PENSE. THE FIN THAT OF THE E	AL DECISION O NGINEER.	N THE SUITABILITY OF A	A PARTICULAR INSTALLATIO	N'S ACCEPTABILITY SHALL		
		X. PR Y. DE	ROVIDE DETAILEI EVIATIONS IN SIZ	D SHOP DRAWI ES, CAPACITIES	NGS TO ENGINEER PRIC S, FIT, FINISH, ETC. FOR	DR TO PURCHASING OR INS EQUIPMENT FROM THAT PI IPMENT. ANY PROVISIONS F	TALLING ANY EQUIPMENT RIME SPECIFIED SHALL BE		
		AC RE	COMMODATE A	DEVIATION, WH	HETHER APPROVED BY	THE ENGINEER OR NOT, SH	IALL BE THE		
		FC TIN	OR THIS CONSTR MELINESS OF TH	UCTION IS RES E WORK OF AL	PONSIBLE FOR THE CO L TRADES, CONTRACTC	ORDINATION, APPEARANCE DRS, SUPPLIERS, INSTALLER DR SHALL BE RESOLVED BY	E, SCHEDULING AND RS, ETC. POOR OR		
		EN AA. WI	IGAGED THEM O	N THIS PROJEC HEIGHTS ARE	CT. E NOT INDICATED OR AR	E IN CONFLICT WITH ANY O TION. REFER ALSO TO ARCI	THER BUILDING SYSTEM,		
		AN BB. WI	ID EXTERIOR ELE HERE FIRE-RATE	EVATIONS, CEII D CEILING ASS	LING HEIGHTS AND OTH EMBLIES ARE NOTED, F	ER DETAILS OF THESE DOC PROVIDE UL-LISTED FIRE-RA CEILING DEVICES, ETC. IN	UMENTS, AS APPLICABLE.		
		RE CC. CC	EQUIRED TO MAII	NTAIN CEILING LOCATION OF	RATINGS. DRAINS, ELECTRICAL O	UTLETS, GAS OUTLETS, ET(ETC. PRIOR TO COMMENCIN	C. WITH ALL CASEWORK,		
		NC RE	OT SO COORDINA ESPONSIBLE COM	ATED SHALL BE NTRACTOR(S).	REMOVED AND PROPE	RLY INSTALLED AT THE EXP	PENSE OF THE		
		LA CC	BORATORIES OF	R OTHER APPR AN ASSEMBLY	OVED LISTING AGENCY.	APPROVAL AND LABELING S MEETING THIS REQUIREM	OF INDIVIDUAL		
		EE. AL OF	L WIRING SYSTE	MS SHALL BE I		MUM OF SPLICES. CONDUC FAR AS POSSIBLE FROM TE			
		FF. NC TR	CONDUIT, SUPP RADES (I.E. VAV B	BOXES). COORE	DINATE WITH ALL TRADE	ACCESS CLEARANCES OF S PRIOR TO CONSTRUCTION THE COURSE OF THEIR WO	DN.		
		TH PA	AT THEY DO NO	T INTERRUPT A NTION TO THIS	NY EXISTING SERVICE	OR SUB-SERVICE FOR SAFE E TO NATURAL GAS AND ELI ND OR OVERHEAD UTILITY.	ETY PURPOSES. PAY ECTRICAL LINES. VERIFY		
		PE AN	ERFORMED IN AC	CORDANCE W JIREMENTS. UT	ITH ALL FEDERAL, STAT ILITIES SHALL BE INSTA	E AND/OR LOCAL RULES, RI LLED IN ACCORDANCE WIT CASES, THE MOST STRING	EGULATIONS, STANDARD H THE APPLICABLE		
		AP HH. AL	PLY. L SUPPORTS FO		, DEVICES OR FIXTURES	SHALL BE UNIQUE, DIRECT	LY FROM THE BUILDING		
		PE II. WI	ERMISSION FROM HERE INTERRUP	I THE ENGINEE TING AN EXIST	R AND CONSENT OF TH	E OTHER TRADE, IN WRITIN E DELIBERATELY OR ACCID SLY AS NEEDED TO RESTOR	IG. ENTALLY, THE		
		PR JJ. RE	REMIUM TIME AS	NEEDED. ECTURAL WALI	_ ELEVATIONS (WHERE	GIVEN) FOR HEIGHTS AND I	MOUNTING RELATIONSHIP		
		KK. FL Dll	USH OR PEDEST	AL TYPE FLOO /IDED BY THE A	R OUTLETS/BOXES, AS	INDICATED ON PLAN, SHALL HERWISE SHOWN ON PLAN	BE LOCATED BY		
		LL. AS DF	S APPLICABLE, RE RAWINGS FOR SE	EFER TO ARCH EQUENCING OF	ITECTURAL PHASING PL WORK, FULL EXTENT C	ANS AND PHASING BOUND OF AREAS INVOLVED, EXTEN D WORK AS REQUIRED TO N	IT OF CEILING WORK, ETC.		
		TH MM. Tł	E WORK FROM F	PHASE TO PHA R SHALL BE RE	SE. ESPONSIBLE FOR ALL CI	JTTING AND PATCHING REC	UIRED FOR HIS WORK.		
		WO NN. AL	ORK. .L WORK SHALL I	BE CONCEALEI	D UNLESS SPECIFICALL	Y INDICATED TO BE EXPOSE LARIFICATIONS PRIOR TO IN	ED, OR REQUIRED TO BE		
		WO OO. IN	ORK. ITERRUPTION OF	ANY EXISTING	SERVICES SHALL BE C	OORDINATED WITH THE OV	/NER, GENERAL		
		OF UF	ANTICIPATED IN PON BETWEEN TI	NTERRUPTION. HE PARTIES ME	A SCHEDULE FOR THES	SE OUTAGES SHALL BE DEV NECESSARY INCONVENIEN	ELOPED AND AGREED CE TO THE OWNER OR		
		WI PR	eeks in advanc Rovide.	E, IN WRITING.	IF UTILITY COMPANY RI	F ANY ANTICIPATED SERVIO EQUIRES A LONGER NOTIFI AL CHANNEL/STUD SPACE	CATION PERIOD, SO		
		TH TR	IE SAME WALL, F RANSMISSION FR	ROVIDE SOUN	D-INSULATING PUTTY AI ROOM.	ROUND BOXES AS REQUIRE	ED TO ELIMINATE SOUND	1 BID AND PERM No.	MIT
		CE SP	EILING LEVEL. LA PECIFICATIONS, V	ABEL EACH BO> WHICHEVER IS	(IN AREA OF WORK WIT MORE STRINGENT.	GS SHALL BE LOCATED NO TH A PERMANENT MARKER (OR IN ACCORDANCE WITH		I
		NA TH	ATIONAL ELECTR IE REQUIREMEN	ICAL CODES, N TS OF LOCAL U	IATIONAL FIRE CODES C ITILITY COMPANIES, ANI	SHALL COMPLY WITH THE C OF THE NATIONAL FIRE PRO O WITH THE REQUIREMENTS	TECTION ASSOCIATION, S OF ALL GOVERNMENTAL		INC
		MC SS. DC	OST STRINGENT	SHALL APPLY. OM DRAWINGS		ANY CONFLICTS OR DISCRE			434 712
		TT. NC PE	DISY WORK, WOF	RK OUTŚIDE CO	DNSTRUCTION BARRIER	S THE CONTRACTOR. S, WORK IN OCCUPIED ARE NATE EXACT SCHEDULING			
		UU. AL MA	ATCH THE OWNE			AVE CORED LOCKS/OPERAT E EXACT REQUIREMENTS W]	RO
		VV. RE				REMENTS. WORK SHALL BE			

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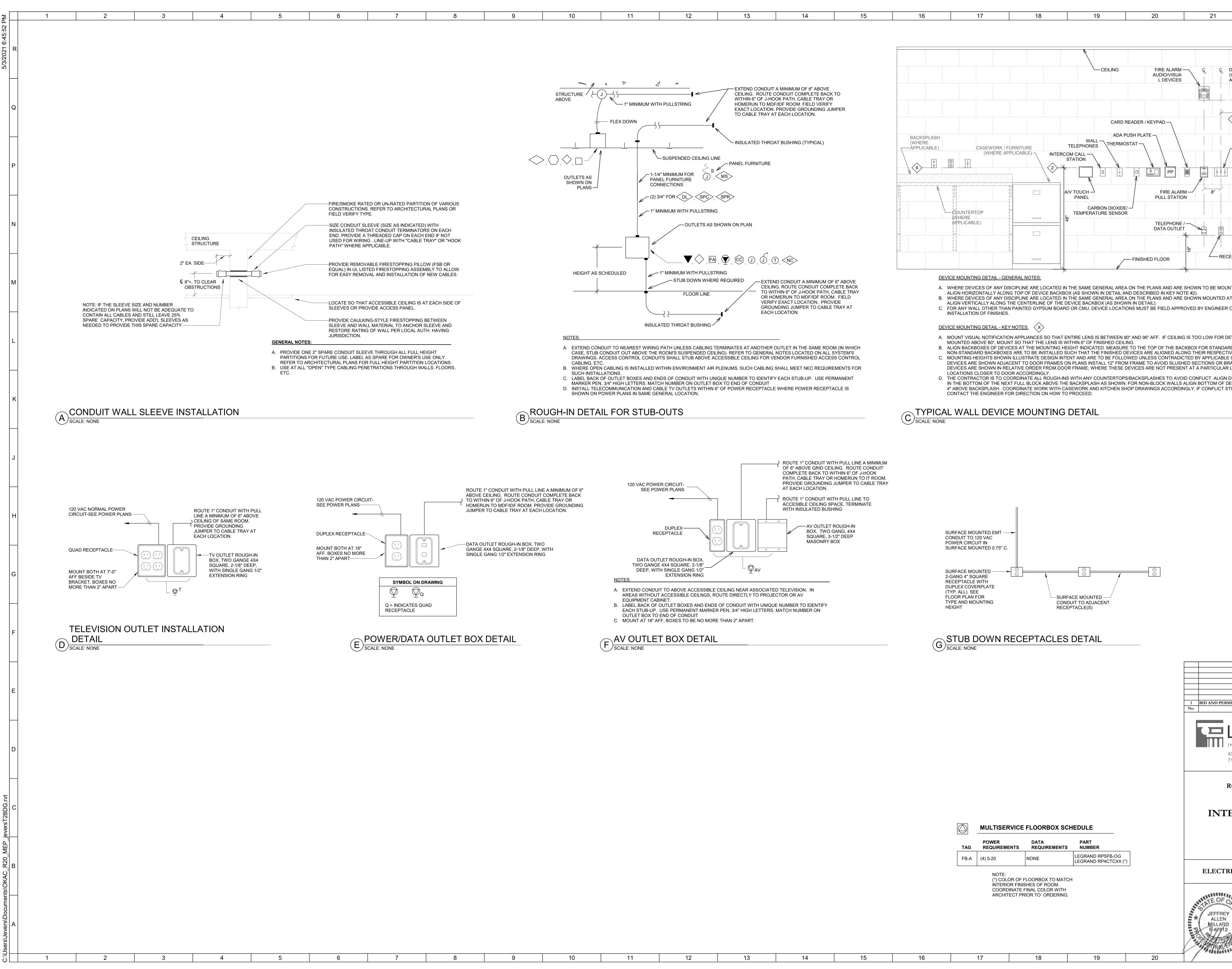


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REQUIRED BY OWNER TO ACCOMPLISH THE PHASING PLAN.

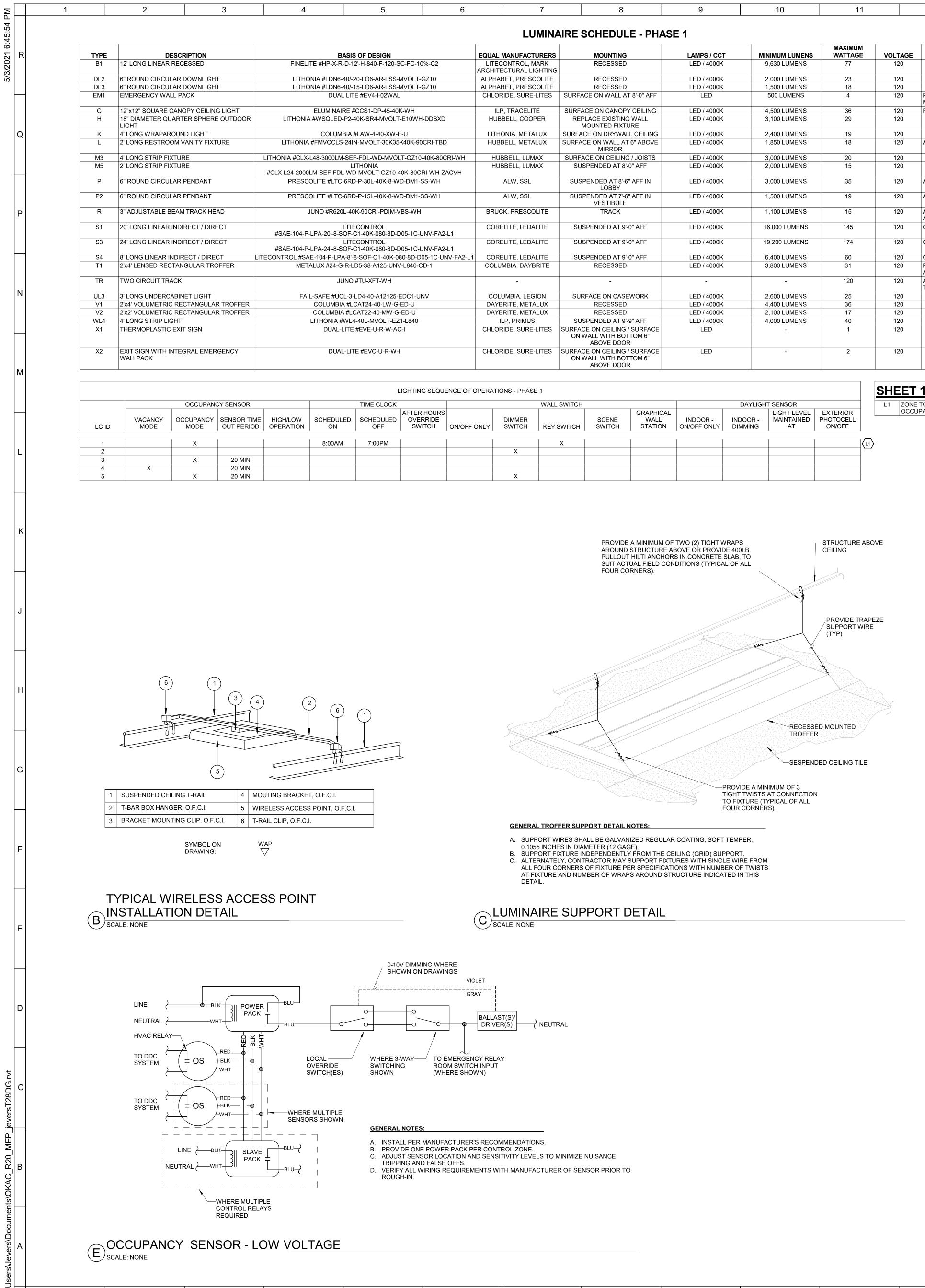
VV. REFER TO ARCHITECTURAL PLANS FOR PHASING REQUIREMENTS. WORK SHALL BE COMPLETED IN PHASES PER THE PHASING PLAN AND AS COORDINATED WITH OWNER AND GENERAL CONTRACTOR. PROVIDE ALL REQUIRED INCREMENTAL INSPECTIONS, CERTIFICATIONS, ETC. AND ALL TEMPORARY SERVICES AS

	: List - Electrical - Phase	e 1
SHEET # 1.E001 1.E002 1.E003 1.ED101	SHEET NAME ELECTRICAL LEGEND ELECTRICAL DETAILS AND SCHEDULES ELECTRICAL DETAILS AND SCHEDULES ELECTRICAL DEMOLITION PLAN	
1.E101 1.E102	LIGHTING AND POWER PLANS POWER AND DEMOLITION PLAN - PHASE 1 WORK PHASE 2 AREA	WITHIN
1.E103	POWER AND DEMOLITION PLAN - PHASE 1 WORK PHASE 3 AREA	WITHIN
1.E301 1.E400	ELECTRICAL ROOF PLAN ELECTRICAL SINGLE LINE DIAGRAM AND PANEL SCHEDULES	BOARD
ID AND PER	MIT SET	2021-04-30
	Revisions / Submissions LVVC INCORPORATED 434 East First Street Dayton, OH 45402 93 712 East Main Street Richmond, IN 47374 76	
	CITY OF KETTERING ROSEWOOD ARTS CENTER ERIOR RENOVATIO	N
	PHASE 1 2655 OLSON DRIVE KETTERING, OH 45420	
	ELECTRICAL LEGEND	
JEFFRE ALLEN MILLABI B-67612	Comm. No. Date 20605.00 (Drawn Drawing No. NK	04/30/2021 2001



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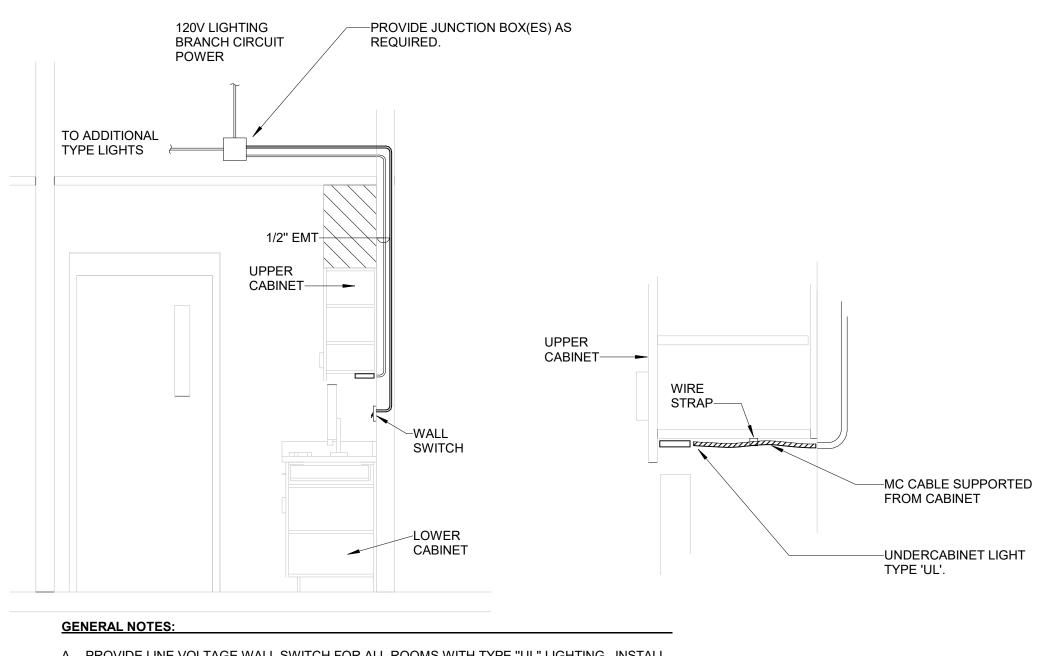
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LUMIN	AIRE SCHEDULE - PHA	SE 1						
ACTURERS	MOUNTING	LAMPS / CCT	MINIMUM LUMENS	MAXIMUM WATTAGE	VOLTAGE		REMARKS	
DL, MARK	RECESSED	LED / 4000K	9,630 LUMENS	77	120			
RESCOLITE	RECESSED	LED / 4000K	2,000 LUMENS	23	120			
RESCOLITE	RECESSED	LED / 4000K	1,500 LUMENS	18	120			
JRE-LITES	SURFACE ON WALL AT 8'-0" AFF	LED	500 LUMENS	4	120	PROVIDE SURFAC	E MOUNTED RACEWAY FOR CATIONS.	R ALL BLOCK WAL
ELITE	SURFACE ON CANOPY CEILING	LED / 4000K	4,500 LUMENS	36	120	FIXTURE FINISH T	O BE SELECTED BY ARCHIT	ECT.
OOPER	REPLACE EXISTING WALL MOUNTED FIXTURE	LED / 4000K	3,100 LUMENS	29	120			
IETALUX	SURFACE ON DRYWALL CEILING	LED / 4000K	2,400 LUMENS	19	120			
IETALUX	SURFACE ON WALL AT 6" ABOVE MIRROR	LED / 4000K	1,850 LUMENS	18	120	ARCHITECT TO CC	ONFIRM COLOR OF FIXTURE	
LUMAX	SURFACE ON CEILING / JOISTS	LED / 4000K	3,000 LUMENS	20	120			
LUMAX	SUSPENDED AT 8'-0" AFF	LED / 4000K	2,000 LUMENS	15	120			
SL	SUSPENDED AT 8'-6" AFF IN LOBBY	LED / 4000K	3,000 LUMENS	35	120	ARCHITECT TO CO	ONFIRM COLOR OF FIXTURE	
SL	SUSPENDED AT 7'-6" AFF IN VESTIBULE	LED / 4000K	1,500 LUMENS	19	120	ARCHITECT TO CC	ONFIRM COLOR OF FIXTURE	Ξ.
SCOLITE	TRACK	LED / 4000K	1,100 LUMENS	15	120		NFIRM COLOR OF FIXTURE D ACCESSORY HOLDER AS	
EDALITE	SUSPENDED AT 9'-0" AFF	LED / 4000K	16,000 LUMENS	145	120	ORDER WITH SUS	PENSION KIT AS NECESSAF	RY.
EDALITE	SUSPENDED AT 9'-0" AFF	LED / 4000K	19,200 LUMENS	174	120	ORDER WITH SUS	PENSION KIT AS NECESSAF	RY.
EDALITE	SUSPENDED AT 9'-0" AFF	LED / 4000K	6,400 LUMENS	60	120	ORDER WITH SUS	PENSION KIT AS NECESSAF	RY.
AYBRITE	RECESSED	LED / 4000K	3,800 LUMENS	31	120	PROVIDE DRYWAL APPLICATIONS.	L FRAME KIT FOR DRYWAL	L CEILING
	-	-	-	120	120	ARCHITECT TO CO TRACK LENGTH.	ONFIRM COLOR OF TRACK.	ORDER AS NEEDE
LEGION	SURFACE ON CASEWORK	LED / 4000K	2,600 LUMENS	25	120			
IETALUX	RECESSED	LED / 4000K	4,400 LUMENS	36	120			
IETALUX	RECESSED	LED / 4000K	2,100 LUMENS	17	120			
MUS	SUSPENDED AT 9'-9" AFF	LED / 4000K	4,000 LUMENS	40	120			
JRE-LITES	SURFACE ON CEILING / SURFACE ON WALL WITH BOTTOM 6" ABOVE DOOR	LED	-	1	120			
JRE-LITES	SURFACE ON CEILING / SURFACE ON WALL WITH BOTTOM 6" ABOVE DOOR	LED	-	2	120			

	•								
	WALL SWITCH				DAYLIGH	T SENSOR		1	L
MER TCH	KEY SWITCH	SCENE SWITCH	GRAPHICAL WALL STATION	INDOOR - ON/OFF ONLY	INDOOR - DIMMING	LIGHT LEVEL MAINTAINED AT	EXTERIOR PHOTOCELL ON/OFF		
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SHEET 1.E003 TAGGED NOTES

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L1 ZONE TO BE PRIMARILY CONTROLLED BY TIMECLOCK. CONTROL ZONE VIA OCCUPANCY SENSOR DURING AFTER HOURS.



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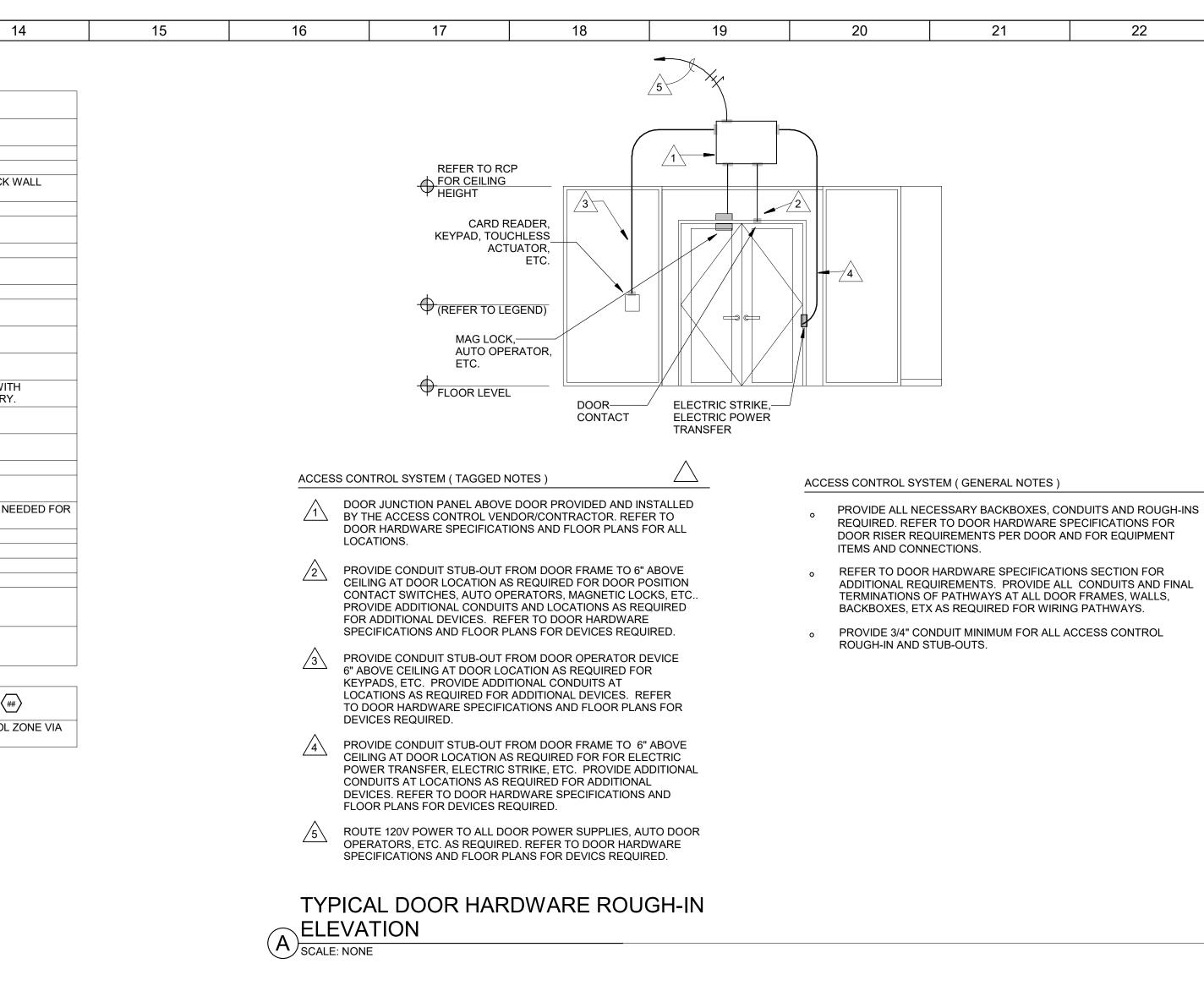
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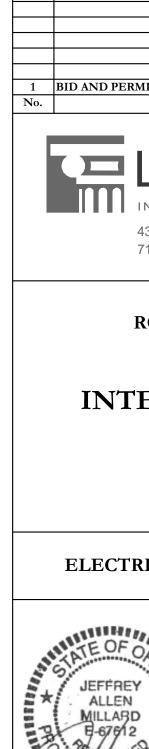
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A. PROVIDE LINE VOLTAGE WALL SWITCH FOR ALL ROOMS WITH TYPE "UL" LIGHTING. INSTALL SWITCHES AS INDICATED ON LIGHTING PLAN.

D UNDERCABINET LIGHT INSTALLATION DETAIL



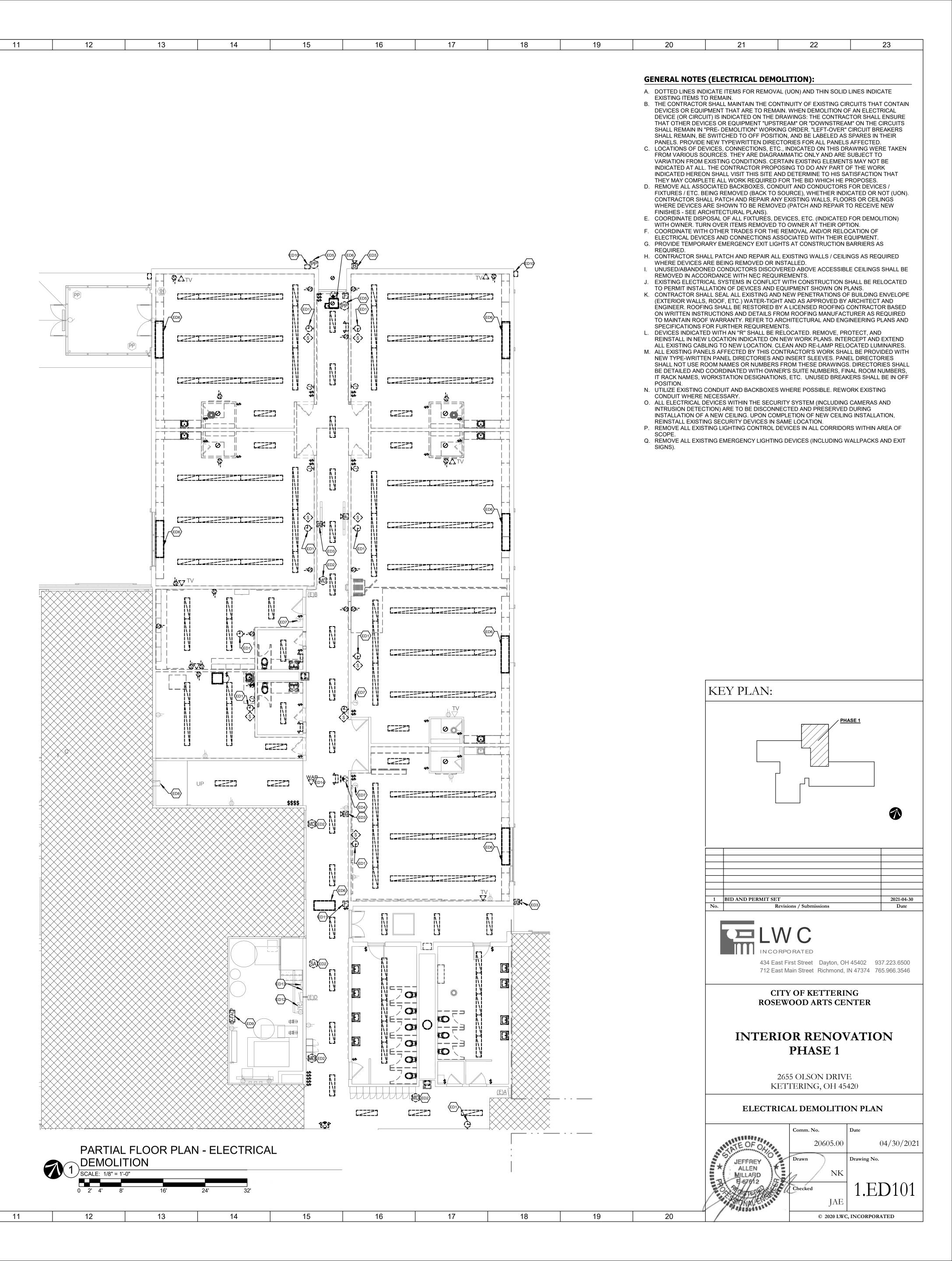
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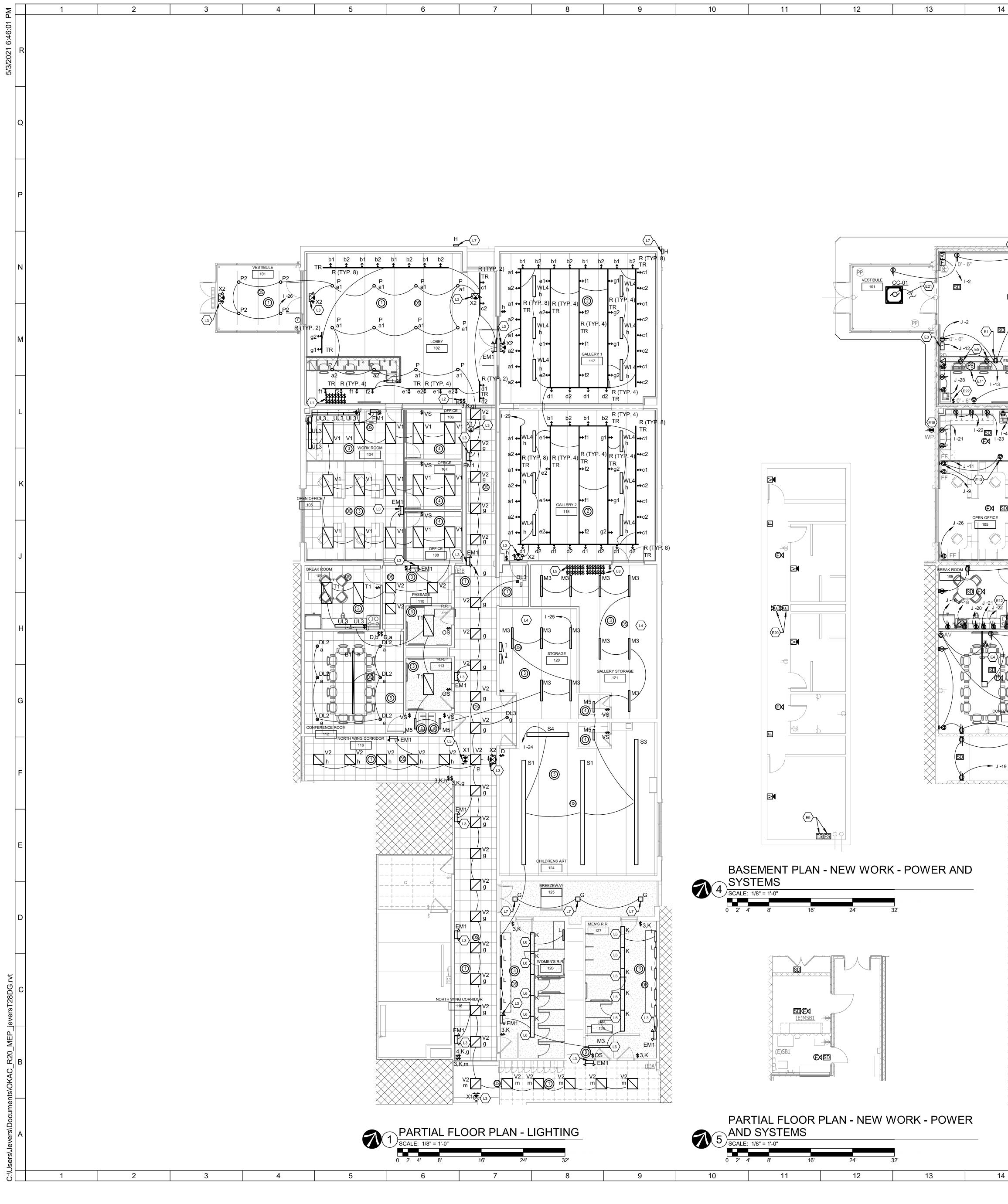
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<u>She</u>	EET 1.ED101 TAGGED NOTES
ED1	E.C. SHALL REMOVE WALL MOUNTED CLOCK AND ANY ASSOCIATED WIRING AND RECEPTACLE BACK TO SOURCE. PROVIDE BLANK COVERPLATE FOR ABANDONED BOXES.
ED2	E.C. SHALL DISCONNECT AND PRESERVE EXISTING CEILING MOUNTED DEVIC REINSTALL AS DIRECTED ON SHEET '1.E101.'
ED3	E.C. SHALL REMOVE EXISTING SCHOOL BELL AND ANY ASSOCIATED WIRING BACK TO SOURCE. PROVIDE BLANK COVERPLATE FOR ABANDONED BOXES.
ED4	E.C. SHALL REMOVE EXISTING EXIT SIGN. UTILIZE EXISTING RACEWAY FOR NEW WORK WHERE FEASIBLE.
ED5	E.C. SHALL REMOVE EXISTING PUSH PLATE AND ASSOCIATED WIRING TO DOOR. PROVIDE BLANK COVERPLATE FOR ABANDONED BOXES.
ED6	E.C. SHALL REMOVE MECHANICAL EQUIPMENT AND ANY ASSOCIATED WIRING AND CONDUIT BACK TO SOURCE.
ED7	EXISTING BLANK COVER PLATE TO REMAIN.
ED8	E.C. SHALL REWORK EXISTING LIGHT FIXTURE. SHIFT FIXTURE TO CEILING THAT IS EXISTING TO REMAIN.
ED9	EXISTING FIRE ALARM CONTROL PANEL TO REMAIN UNTIL THE NEW FIRE ALARM SYSTEM IS COMPLETELY INSTALLED.
ED10	E.C. SHALL REMOVE EXISTING OUTSIDE LIGHT FIXTURE. MAINTAIN EXISTING CONDUIT AND WIRING FOR NEW FIXTURE IN SAME LOCATION.
ED11	E.C. SHALL REMOVE EXISTING FIRE ALARM DEVICE. MAINTAIN BACKBOX AND CONDUIT TO ABOVE ACCESSIBLE CEILING FOR NEW WIRING AND DEVICE.
ED12	EXISTING TIME CLOCK TO REMAIN.
ED13	EXISTING INTRUSION DETECTION CONTROL PANEL AND ASSOCIATED DIALER TO REMAIN.
ED14	E.C. SHALL DISCONNECT AND PRESERVE EXISTING WIRELESS ACCESS POINT FOR RELOCATION TO PROXIMAL AREA. REINSTALL AS DIRECTED ON SHEET '1.E101.'





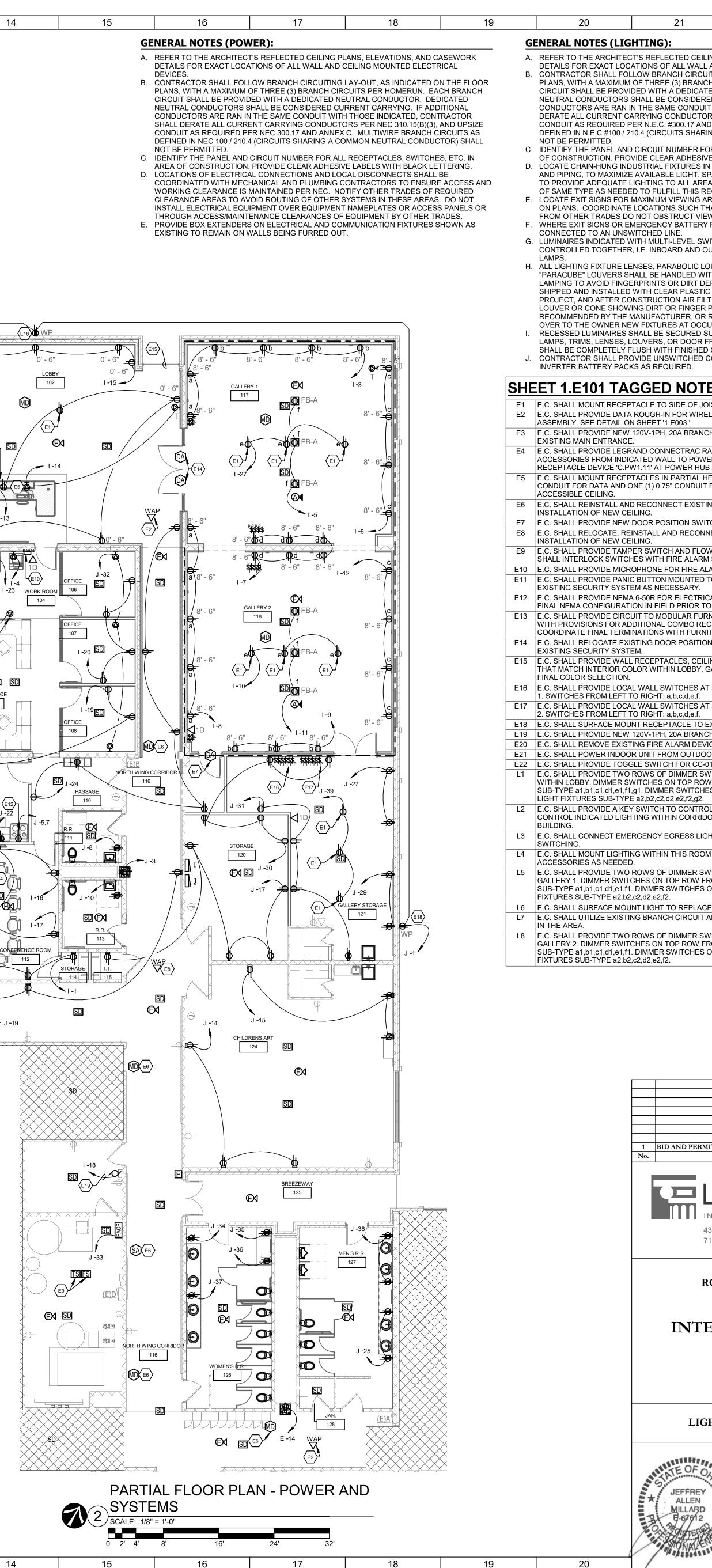
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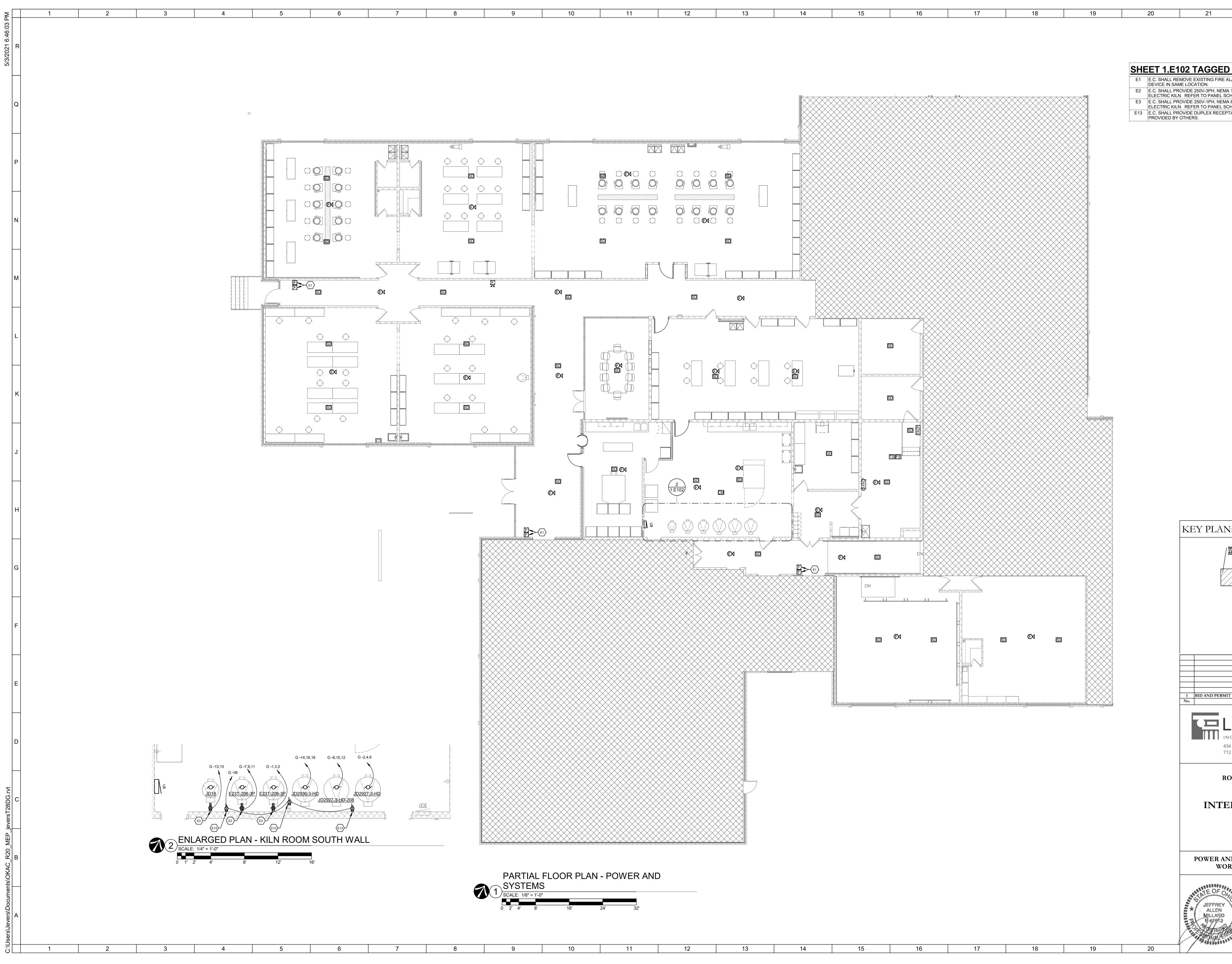
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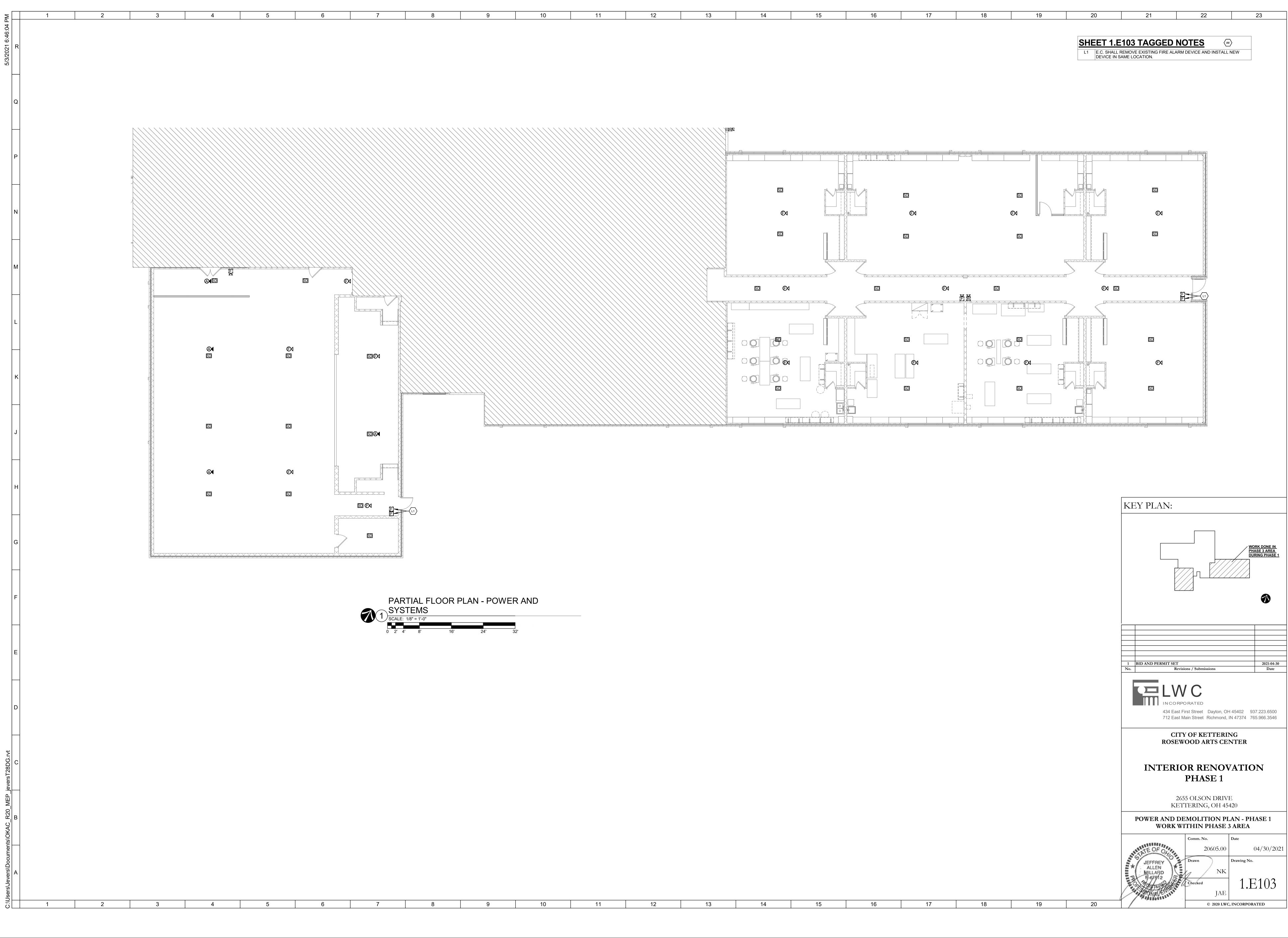
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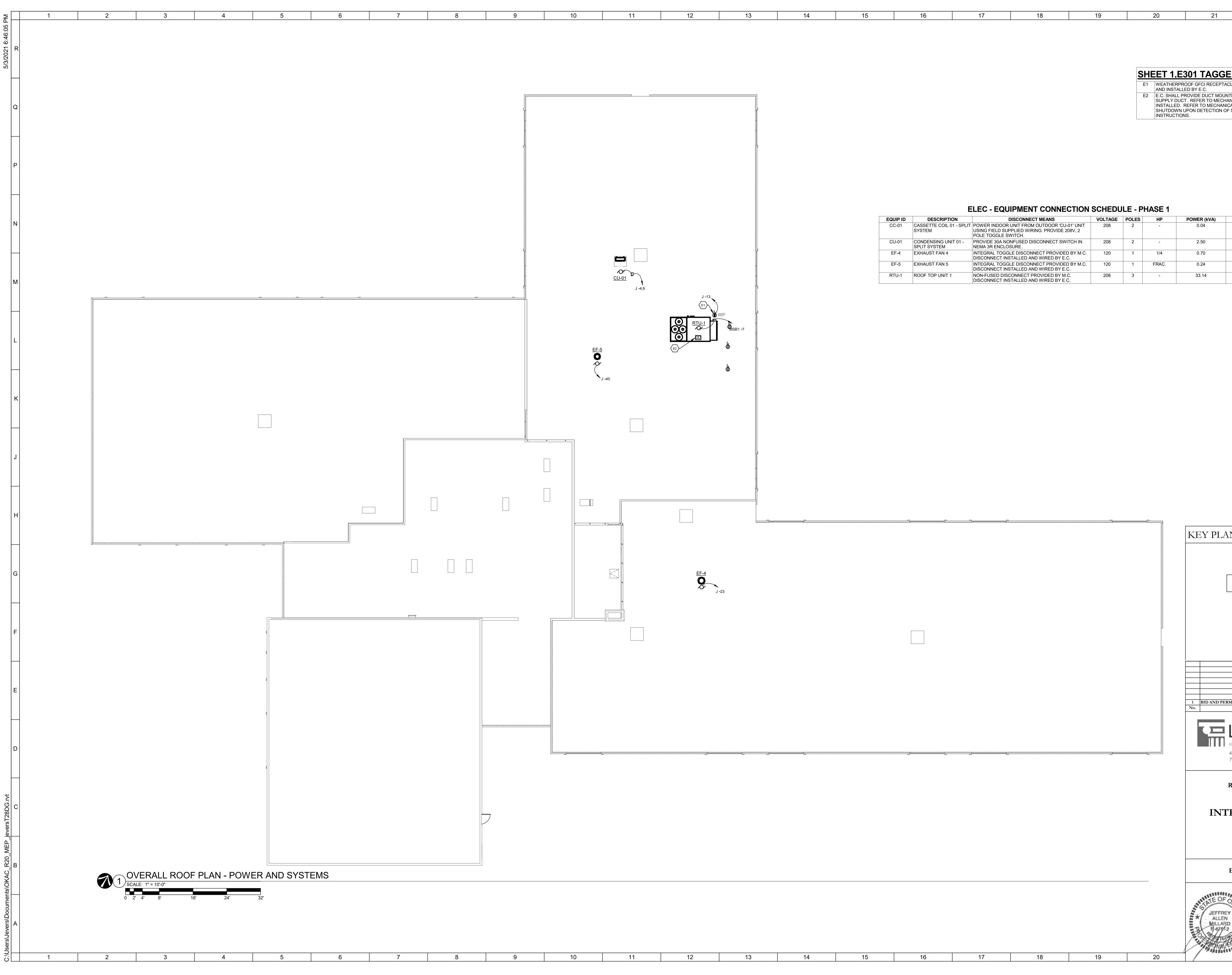
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IIT SET Revisi	ons / Submissions			2021-04-30 Date
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D NOTES	
MA 15-50R TYPE RECEPTACLE F SCHEDULE FOR WIRE SIZE. MA 6-50R TYPE RECEPTACLE FC SCHEDULE FOR WIRE SIZE.	
EPTACLE TO SERVE KILN VENT F	FANS
N:	
WORK DONE IN PHASE 2	
MIT SET	2021-04-30
Revisions / Submissions	Date
LWC	
434 East First Street Dayton, O 712 East Main Street Richmond,	
CITY OF KETTERI ROSEWOOD ARTS CE	
ERIOR RENO	VATION
PHASE 1	F
2655 OLSON DRIV KETTERING, OH 45 ND DEMOLITION PI	6420
ND DEMOLITION PLORK WITHIN PHASE	
20605.00 Drawn	04/30/2021
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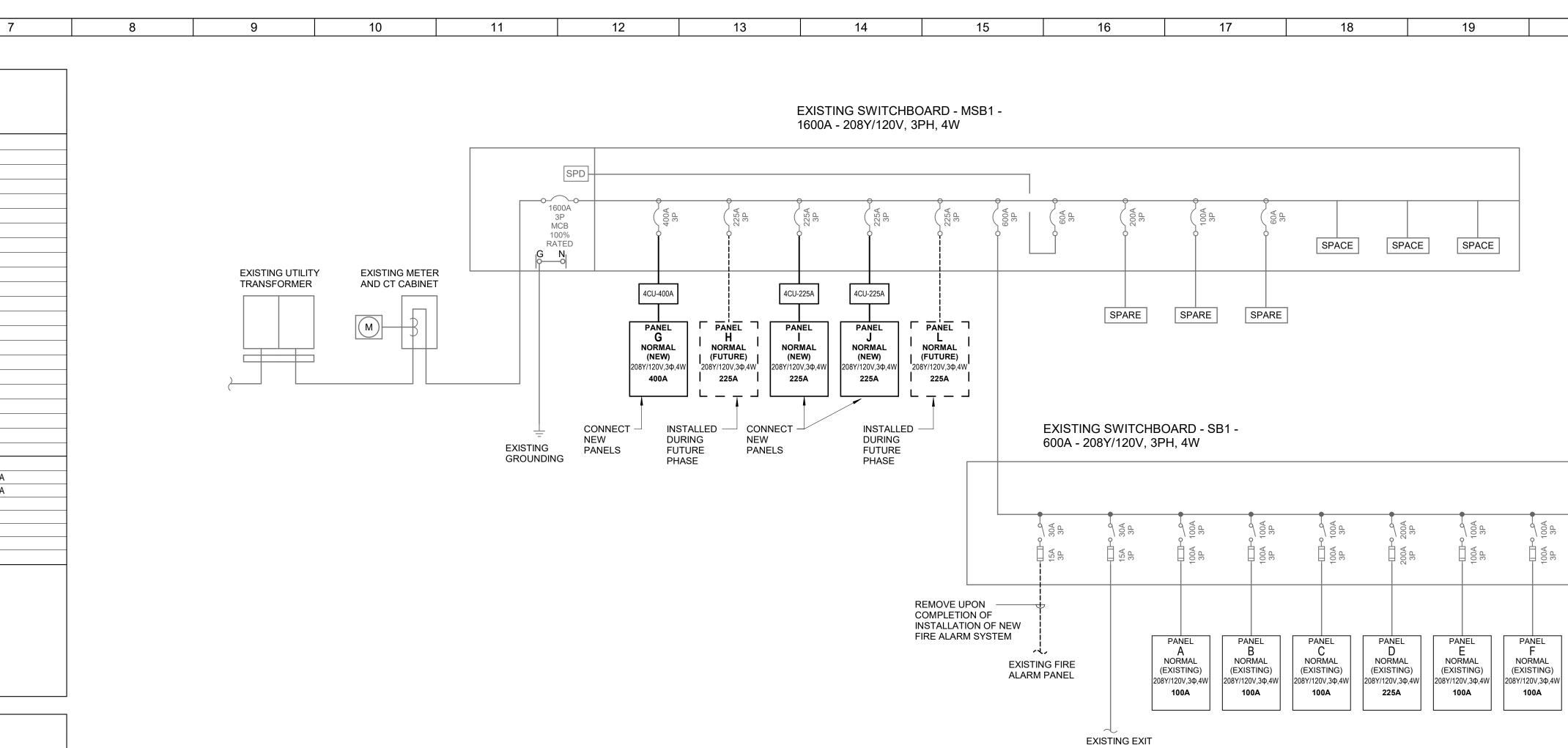
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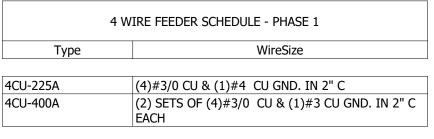
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S	HEET 1.	E301 TAGGE	ED NOTE	ES	(##)	
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- -	PHASE 1	POWER (kVA) 0.04	MCA			
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		1 BID AND PER No.		Submissions		2021-04-30 Date
				С		
				TED Street Dayton, C)H 45402	937.223.6500
			712 East Main S	Street Richmond	I, IN 47374	
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		JEFFREY ALLEN	it =	Iwn	Drawing No	
		DE E-67612	55	ecked		E301
	20	A CONTRACT	Nearth	JAE	/ • J	
	20	/		≥ 2020 LW	,	

EQUIP ID	DESCRIPTION	DISCONNECT MEANS	VOLTAGE	POLES	HP	POWER (kVA)	
CC-01	CASSETTE COIL 01 - SPLIT SYSTEM	POWER INDOOR UNIT FROM OUTDOOR 'CU-01' UNIT USING FIELD SUPPLIED WIRING. PROVIDE 208V, 2 POLE TOGGLE SWITCH.	208	2	-	0.04	
CU-01	CONDENSING UNIT 01 - SPLIT SYSTEM	PROVIDE 30A NONFUSED DISCONNECT SWITCH IN NEMA 3R ENCLOSURE.	208	2	-	2.50	
EF-4	EXHAUST FAN 4	INTEGRAL TOGGLE DISCONNECT PROVIDED BY M.C. DISCONNECT INSTALLED AND WIRED BY E.C.	120	1	1/4	0.70	
EF-5	EXHAUST FAN 5	INTEGRAL TOGGLE DISCONNECT PROVIDED BY M.C. DISCONNECT INSTALLED AND WIRED BY E.C.	120	1	FRAC.	0.24	
RTU-1	ROOF TOP UNIT 1	NON-FUSED DISCONNECT PROVIDED BY M.C. DISCONNECT INSTALLED AND WIRED BY E.C.	208	3	-	33.14	

	NEW SWITCHBOARD AND WIRING SCHEDULE kaic value: 59.6 switchboard: MSB1 Mains type: 1600/3 MAIN CIRCUIT kaic rating: 100 voltage: 208Y/120V,3P,4W SPD: Yes Location: STORAGE 21 AMPERES: 1600 A MOUNTING: FLOOR SUPPLY FROM:	EXISTING SWITCHBOARD - MSB1 - 1600A - 208Y/120V, 3PH, 4W
	CKT CIRCUIT DESCRIPTION SETS WIRE GND COND POLES FRAME TRIP LOAD (kVA) REMARKS 1 PANEL G (FUTURE) 1 3 400 A 400 A 95.7 2 PANEL H (FUTURE) 1 3 225 A 225 A 36.4 3 PANEL J 1 1 2 3 225 A 225 A 24.4 4 PANEL J 1 1 3 225 A 225 A 34.5 5 PANEL J (FUTURE) 1 2 8 1.5" 3 200 A 600 A 126.5 7 RTU-1 1 2 8 1.5" 3 100 A 100 A 33.1 8 RTU-2 (FUTURE) 1 6 10 1" 3 600 A 60 A 20.2 9 RTU-3 (FUTURE) 1 1 6 10 1" 3 60 A 60 A 20.2 <th>EXISTING UTILITY EXISTING METER AND CT CABINET WM H H H H H H H H H H H H H H H H H H</th>	EXISTING UTILITY EXISTING METER AND CT CABINET WM H H H H H H H H H H H H H H H H H H
	20 Image: Converted Load DEMAND FACTOR ESTIMATED DEMAND PANEL TOTALS EQUIP 312658 VA 100.00% 312658 VA TOTAL CONN. LOAD: 500 kVA LTNG 20486 VA 100.00% 20486 VA TOTAL EST. DEMAND: 458 kVA REC 93304 VA 55.36% 51652 VA TOTAL CONN. CURRENT: 1387 A Spare 73170 VA 100.00% 293 VA TOTAL EST. DEMAND CURRENT: 1272 A Lighting - Exterior 234 VA 125.00% 293 VA Image: Constant Co	NEW GROUNDING DURING FUTURE PHASE NEW PURING FUTURE PHASE DURING FUTURE PHASE 600A - 208Y/120V, 3PH, 4W
	PANEL: B MAINS TYPE: MLO PANEL INTERRUPTING RATING: 10: VOLTAGE: 208Y/120V,3P,4W MOUNTING: SURFACE SUPPLY FROM: SB1 CIRCUIT DESCRIPTION WIRE GND C C/K P OCP C MOUNTING: SURFACE SUPPLY FROM: SB1 TING GALLERY WIRE GND C OCP P K/K A B C C/K P OCP C SPARE FROM DEMOLITION - - - SPARE FROM DEMOLITION - <td< td=""><td>ALARM PANEL DESCRIPTION DESCRI</td></td<>	ALARM PANEL DESCRIPTION DESCRI
Income Income<	C C	PANE: Image: Image: </td







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ALLEN MILLARD BL E-67612

N:		
	<u>ASE 1</u>	
MIT SET Revisions / Submissions		2021-04-30 Date
LWC INCORPORATED 434 East First Street Dayton, OH 45402 937.223.6500 712 East Main Street Richmond, IN 47374 765.966.3546		
CITY OF KETTERING ROSEWOOD ARTS CENTER		
ERIOR RENOVATION PHASE 1		
2655 OLSON DRIVE KETTERING, OH 45420		
Comm. No. Date		
Comm. No. 20605.00 Drawn		04/30/2021
Checked JAE	1.E	2400