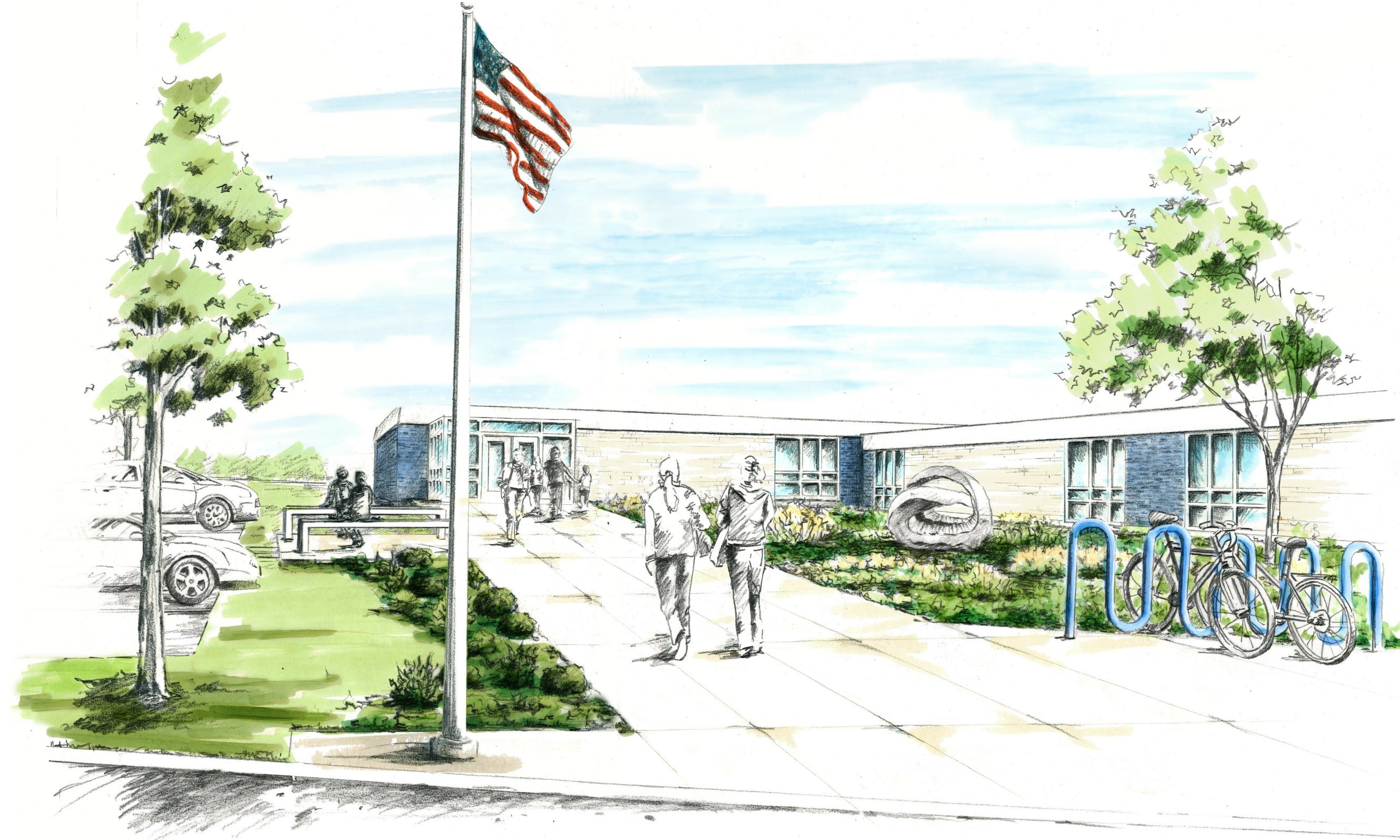


CITY OF KETTERING ROSEWOOD ARTS CENTER



2655 OLSON DRIVE
KETTERING, OH 45420
2020.07.23
COMMISSION # 20605.00

INTERIOR RENOVATION - PHASE 1

PROGRESS DRAWINGS
NOT FOR CONSTRUCTION

GENERAL CONTRACTOR:

STRUCTURAL:



PME:



CONSULTANT:



CONSULTANT:

CONSULTANT:



VICINITY PLAN



LOCATION PLAN

DRAWING INDEX	
SHEET NO.	SHEET NAME
1.T001	TITLE SHEET
1.S001	TYPICAL PARTITION DETAILS
1.S002	GOOSE NOTES
1.S001	STRUCTURAL NOTES
1.S101	FOUNDATION PLAN
1.S201	ROOF FRAMING PLAN
1.S301	STRUCTURAL DETAILS
1.A0101	DEMOLITION PLANS
1.A001	DOOR SCHEDULE & DETAILS
1.A101	NEW WORK FLOOR PLAN
1.A201	NEW WORK REFLECTED CEILING PLAN
1.A301	ELEVATIONS, SECTIONS, & DETAILS
1.A401	INTERIOR ELEVATIONS AND DETAILS
1.A501	ENLARGED PLAN DETAILS
1.P001	PLUMBING LEGEND - PHASE 1
1.P101	PLUMBING PLAN - PHASE 1
1.P201	PLUMBING DEMOLITION PLAN - PHASE 1
1.M001	MECHANICAL LEGEND
1.M101	MECHANICAL DEMOLITION PLAN - PHASE 1
1.M201	MECHANICAL ROOF DEMOLITION PLAN - PHASE 1
1.M301	MECHANICAL PLAN - PHASE 1
1.M401	MECHANICAL ROOF PLAN - PHASE 1
1.M501	MECHANICAL SCHEDULES - PHASE 1
1.M601	MECHANICAL DETAILS - PHASE 1
1.E001	ELECTRICAL LEGEND
1.E002	ELECTRICAL SCHEDULES & SCHEDULES
1.E003	ELECTRICAL DETAILS & SCHEDULES
1.E101	ELECTRICAL DEMOLITION PLANS
1.E102	LIGHTING AND POWER PLANS
1.E103	POWER AND DEMOLITION PLAN - PHASE 1 WORK WITHIN PHASE 2 AREA
1.E104	POWER AND DEMOLITION PLAN - PHASE 1 WORK WITHIN PHASE 2 AREA
1.E201	ELECTRICAL ROOF PLAN
1.E400	ELECTRICAL SINGLE LINE DIAGRAM AND PANELBOARD SCHEDULES

PROJECT SUMMARY

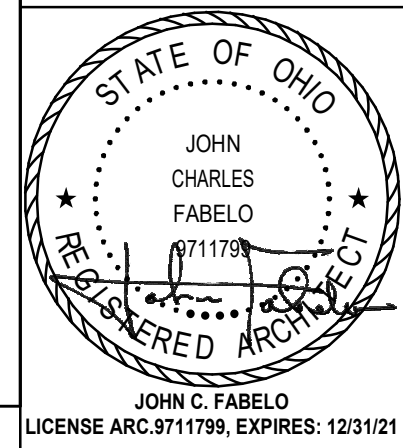
THIS INTERIOR RENOVATION OF A PORTION OF THE KETTERING ARTS CENTER IS THE FIRST OF THREE PHASES OF WORK PLANNED FOR THE BUILDING. INTERIOR PROGRAM SPACES WILL BE RELOCATED AND UPDATED TO BETTER SUIT THEIR USE. THIS PHASE ADDRESSED ADMINISTRATIVE SPACES, GALLERY AND LOBBY AREAS AND RESTROOM FACILITY UPGRADES. AREAS WITHIN THE SCOPE OF WORK SHALL ALSO RECEIVE INTERIOR FINISH UPDATES AND MECHANICAL, ELECTRICAL AND PLUMBING UPGRADES.

Revisions / Submissions



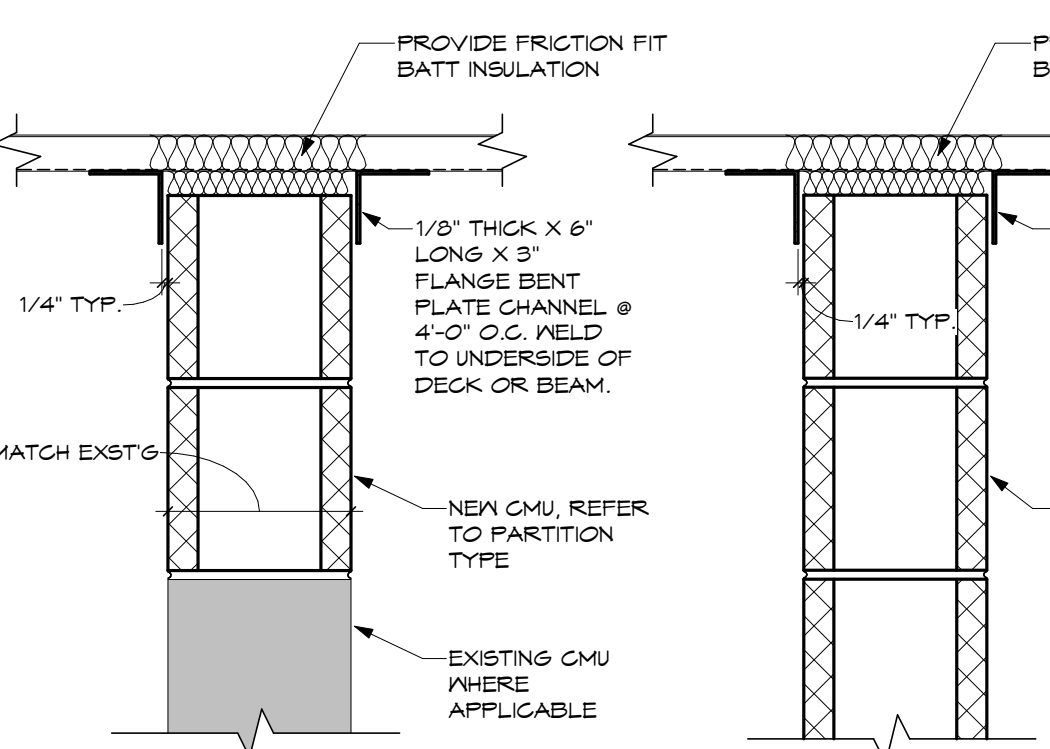
CITY OF KETTERING
ROSEWOOD ARTS CENTER
**INTERIOR RENOVATION
PHASE 1**
2655 OLSON DRIVE
KETTERING, OH 45420

TITLE SHEET			
Comm. No.	20605.00	Date	2020/04/30
Drawn	DJB	Checked	WK
Drawing No.	1.T001		

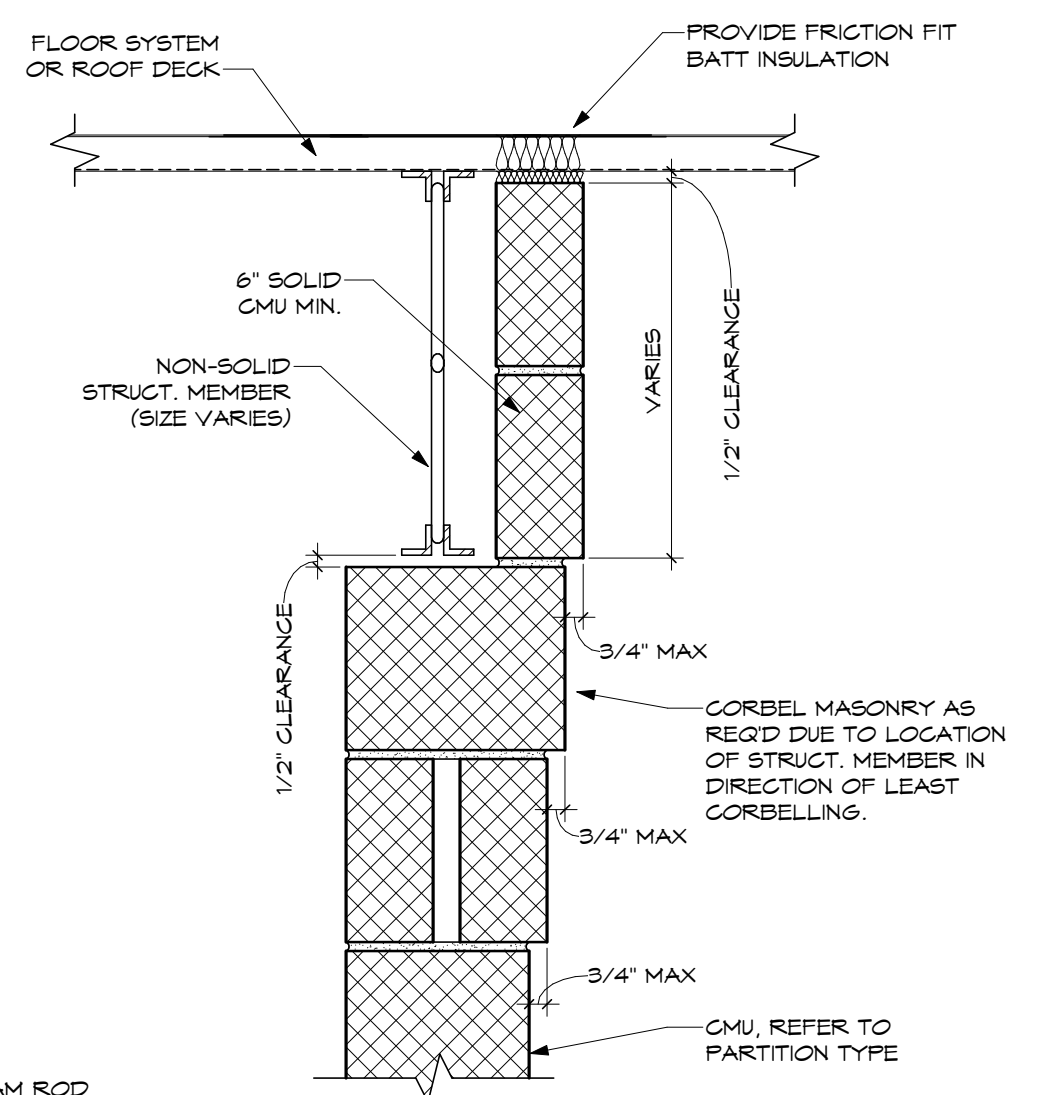


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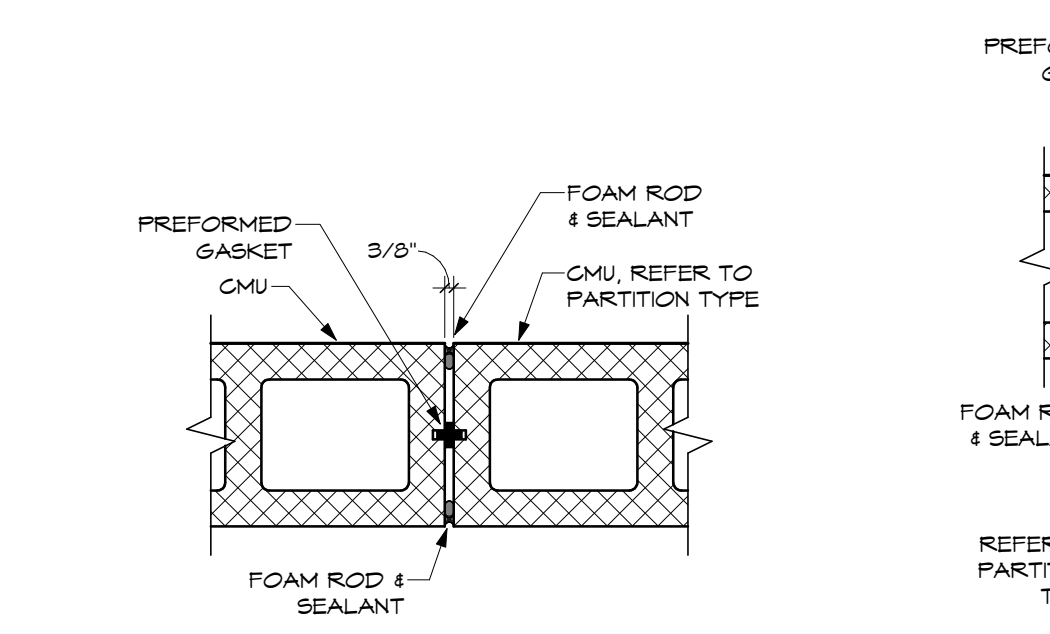
SHEET NOTES:



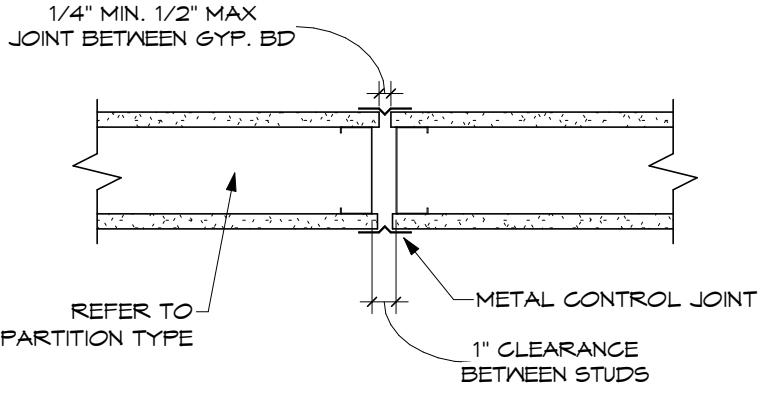
17 NON-RATED CMU PARTITION HEAD AT DECK



16 NON-RATED CMU PARTITION HEAD AT STRUCTURE

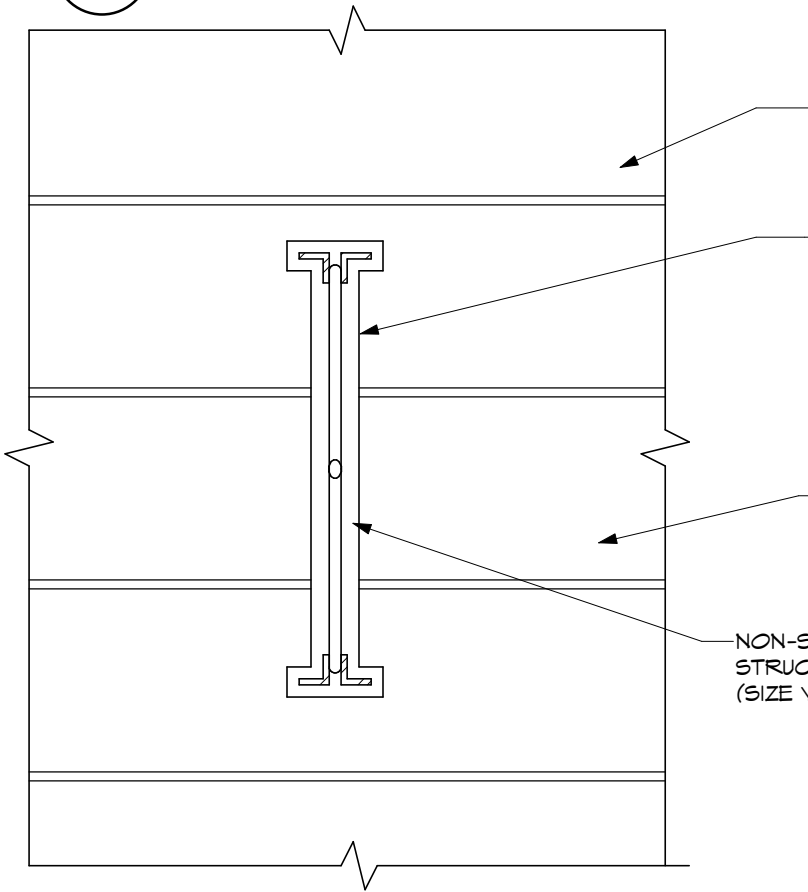


15 NON-RATED GYPSUM PARTITION HEAD AT DECK

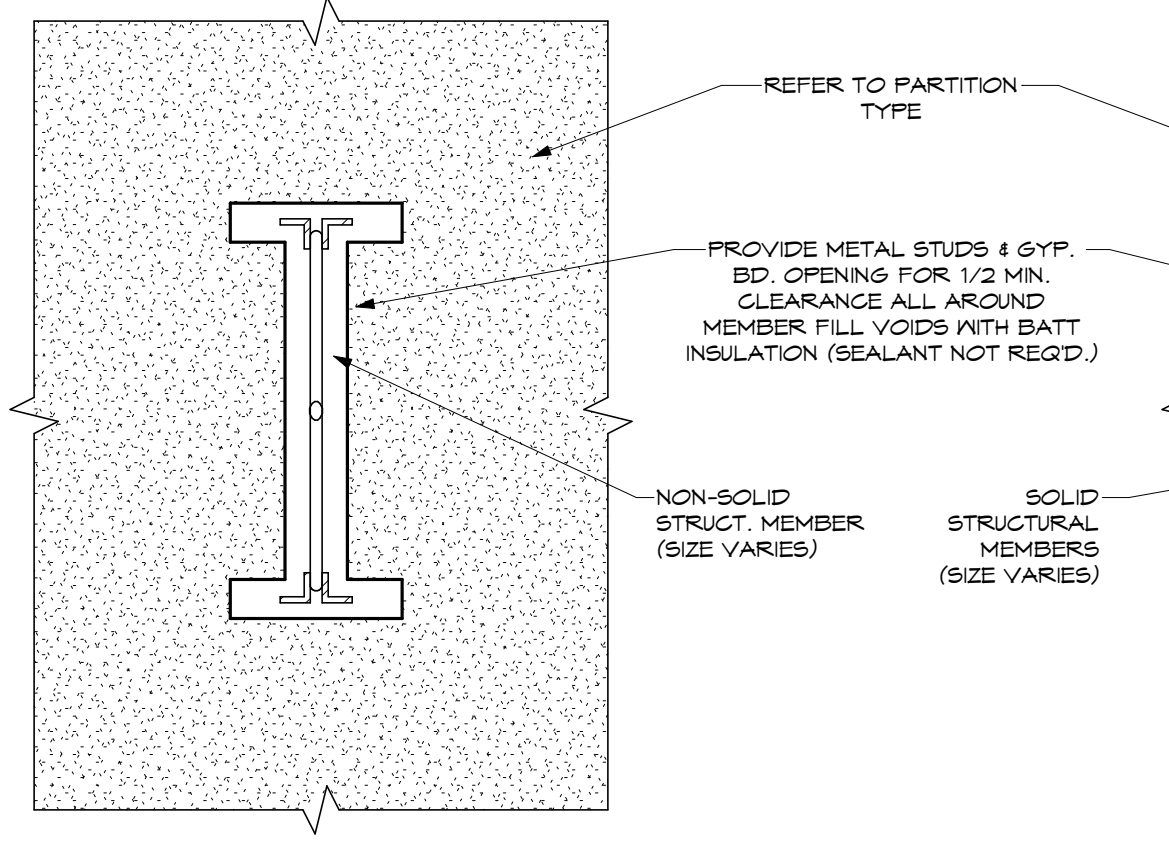
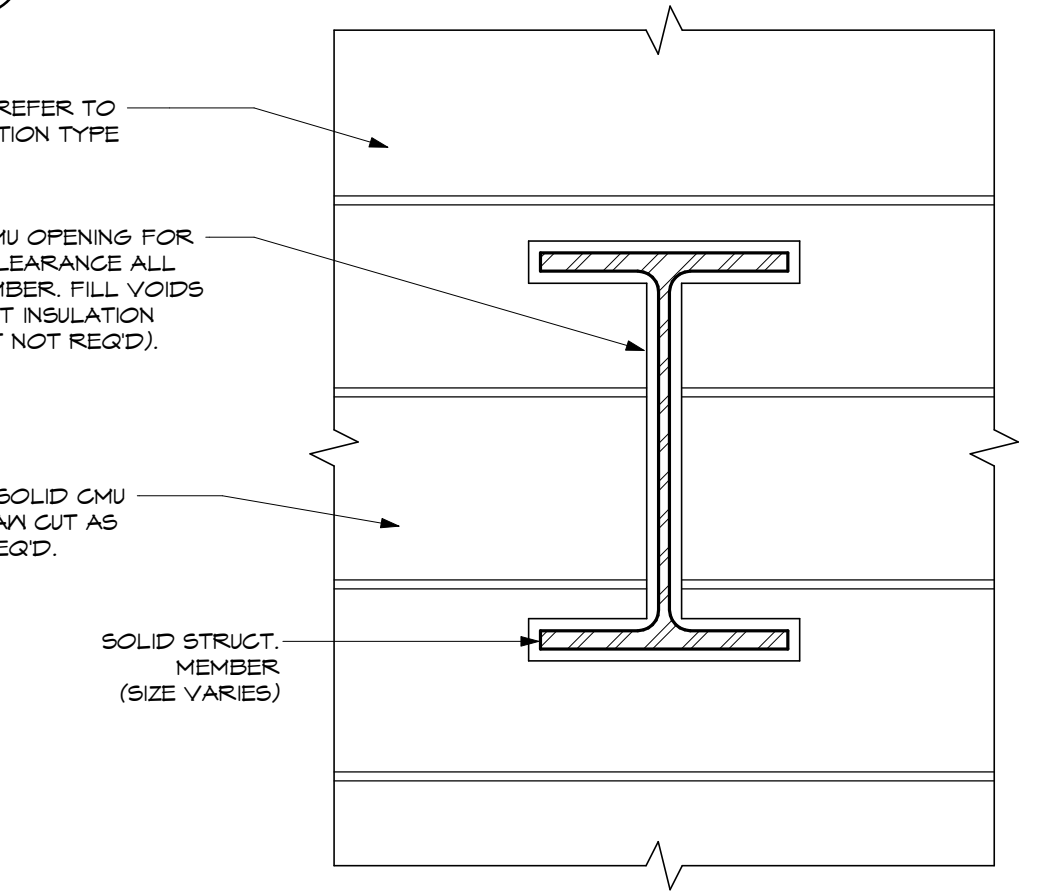


10 TYPICAL CONTROL JOINT - NON-RATED

13 NON-RATED CONTROL JOINT INTERIOR

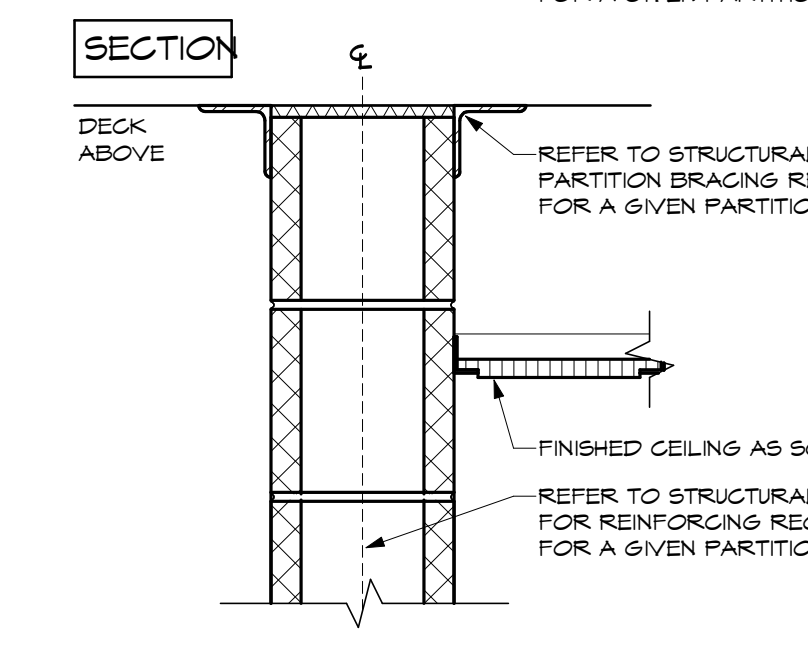
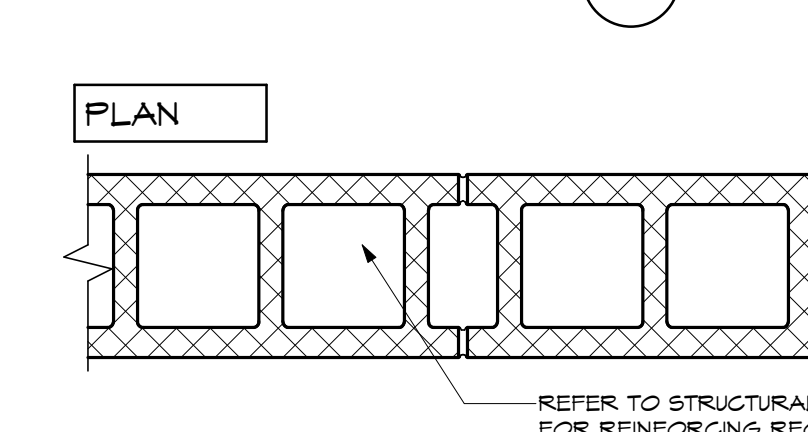


12 NON-RATED CONTROL JOINT INTERSECTION



9 NON-RATED GYPSUM PARTITION AT STRUCTURAL MEMBERS

11 NON-RATED CMU PARTITION AT STRUCTURAL MEMBERS



WALL TYPE M TABLE

WALL TYPE F TABLE

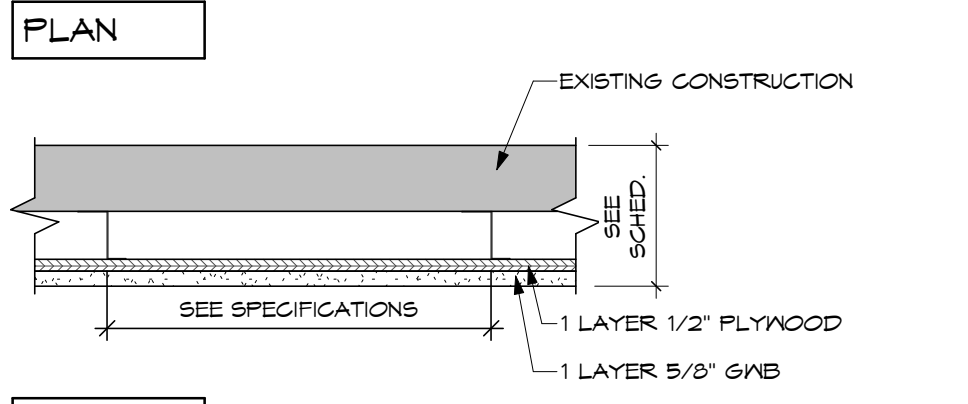
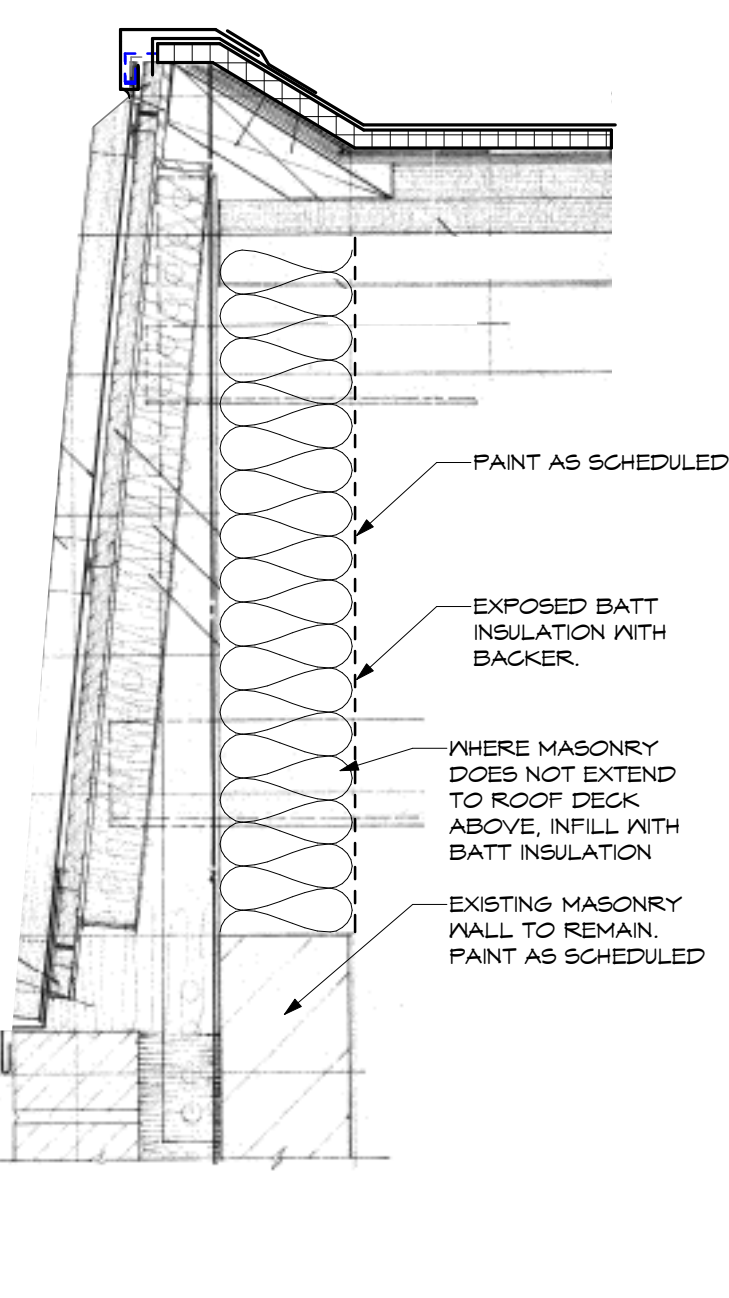
WALL TYPE P TABLE

WALL TYPE E TABLE

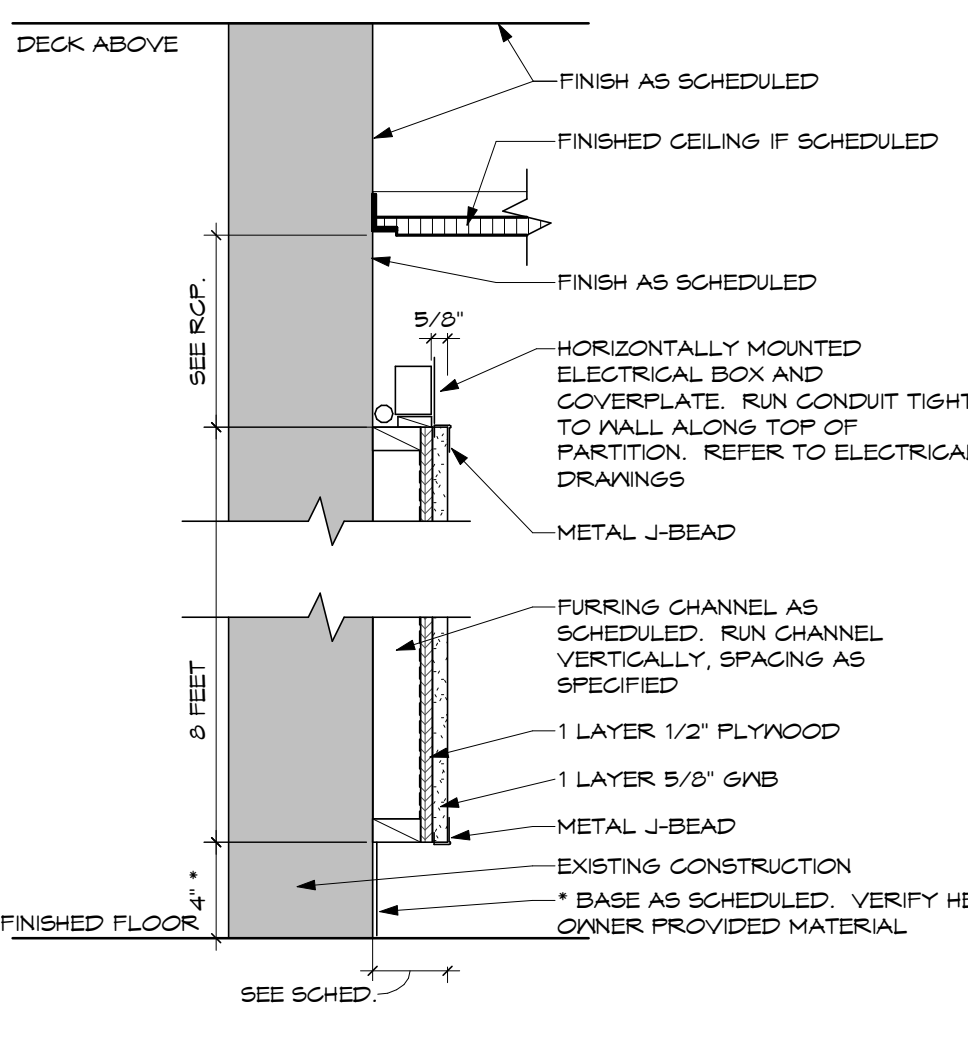
WALL TYPE Q TABLE

WALL TYPE R TABLE

8 TYPICAL FASCIA & COPING DETAIL



7 WALL TYPE FG



WALL TYPE FG TABLE

6 WALL TYPE M

5 WALL TYPE F

4 WALL TYPE P

3 WALL TYPE E

2 WALL TYPE Q

1 WALL TYPE R

GENERAL NOTES:

Table with columns for Revision No., Description, and Date. Includes 'BID AND PERMIT SET' and 'Revisions / Submissions'.

LWC INCORPORATED logo and address: 434 East First Street Dayton, OH 45402 937.223.6500

CITY OF KETTERING ROSEWOOD ARTS CENTER

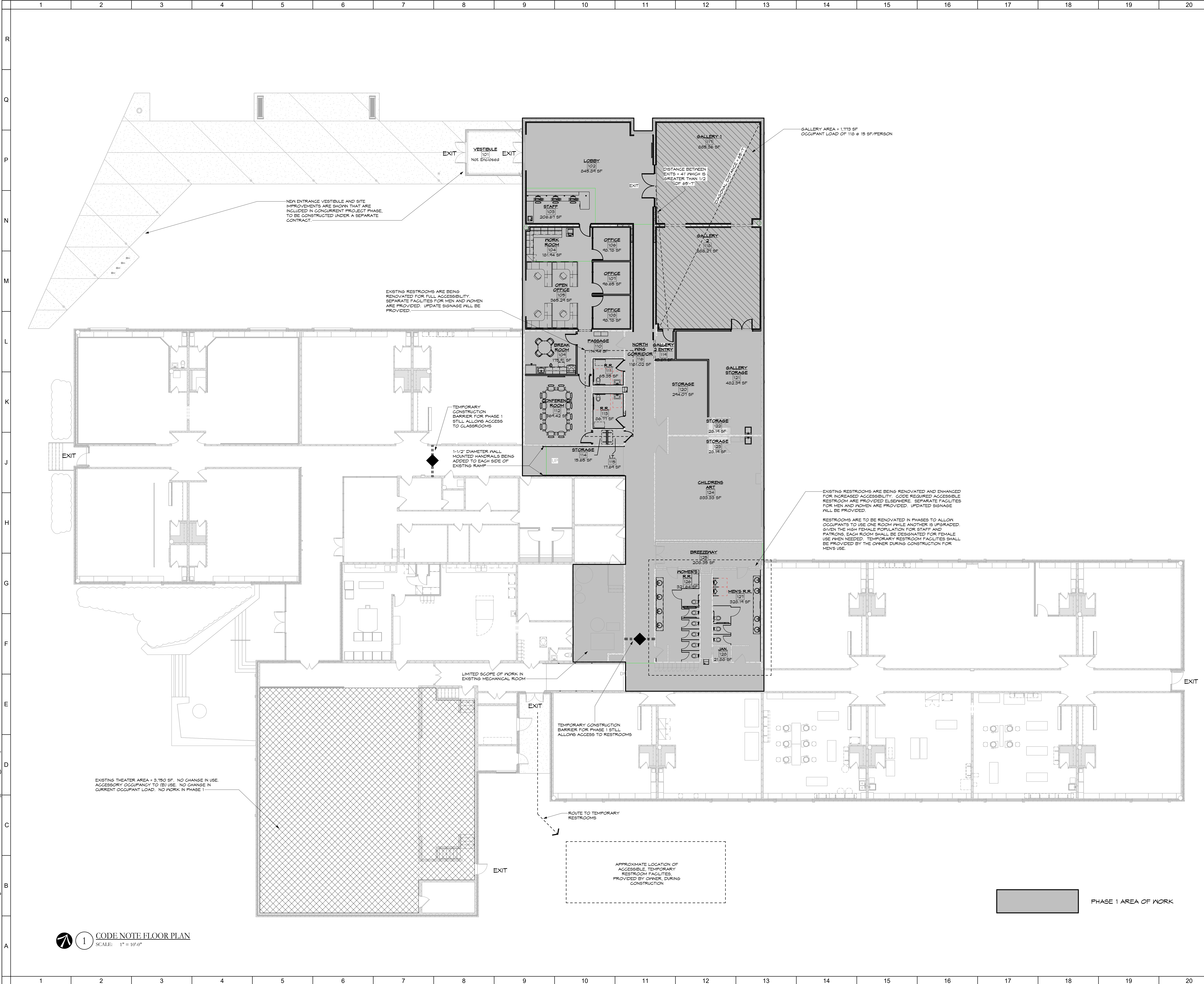
EXTERIOR ENVELOPE RESTORATION

2655 OLSON DRIVE KETTERING, OH 45420

TYPICAL PARTITION DETAILS

Professional seal for JOHN C. FABELO, State of Ohio, License No. 111179, Expires 12/31/21. Includes project information: Comm. No. 20605.00, Date 2020/04/30, Drawing No. 1.G001.

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SHEET NOTES:

GENERAL NOTES:

THIS PROJECT REPRESENTS THE FIRST OF THREE PHASES RENOVATING THE EXISTING BUILDING. CODE REQUIRED UPDATES WILL TAKE PLACE IN EACH PHASE AS AREAS ARE RENOVATED.

THE BUILDINGS WILL REMAIN OCCUPIED DURING CONSTRUCTION. REQUIRED EXITS WILL BE AVAILABLE AT ALL TIMES. TEMPORARY PARTITIONS AND SAFETY MEASURES WILL BE IMPLEMENTED TO ENSURE PUBLIC AND STAFF SAFETY.

CODE NOTATIONS
EXISTING BUILDING: TYPE II-B CONSTRUCTION
AREA = 31,114
CURRENT USE GROUPS = E/A1/A3
PROPOSED USE GROUPS = B/A1/A3
* EXISTING AT THEATER SPACE TOTALS 3,750 SF AND IS ESSENTIALLY 10% OF OVERALL BUILDING. ACCESSORY USE TO B-USE GROUP. SUPPRESSION IS NOT REQUIRED PER OBC 503.2.4

CHANGE OF USE RESULTS IN A LESS HAZARDOUS USE (B USE VS E USE) WHEN REVIEWING OBC TABLE 503.2 IN A NON-SPRINKLERED BUILDING. TOTAL BUILDING AREA OF 31,114 IS LESS THAN TABULAR AREA OF 31,800 SF FOR A (B) OCCUPANCY AND THEREFORE SEPARATIONS BETWEEN USES ARE NOT REQUIRED.

EXISTING CORRIDORS ARE NOT BEING MODIFIED AND EXISTING DOORS/TRANSOMS AND WALLS MAY REMAIN.

ACCESSIBLE DRINKING FOUNTAINS ARE BEING PROVIDED, SWAPPING OUT THE EXISTING UNITS.

HANDRAILS ARE BEING ADDED TO THE EXISTING RAMP IN PHASE 1.

THE HEAD END OF A NEW FIRE ALARM SYSTEM IS BEING INSTALLED AS PART OF PHASE 1 AND THE SYSTEM WILL INCLUDE THE PHASE 1 AREA INSTALLATION OF DEVICES.

BID AND PERMIT SET		2021-04-30
No.	Revisions / Submissions	Date

LWC
INCORPORATED
434 East First Street Dayton, OH 45402 937.223.6500
712 East Main Street Richmond, IN 47374 765.966.3546

CITY OF KETTERING
ROSEWOOD ARTS CENTER

**INTERIOR RENOVATION
PHASE 1**

2655 OLSON DRIVE
KETTERING, OH 45420

CODE NOTES

Comm. No.	Date
20605.00	2020/04/30
Drawn	Drawing No.
DJB	1.G002
Checked	WK

STATE OF OHIO
JOHN CHARLES FABELO
711179
REGISTERED ARCHITECT
JOHN C. FABELO
LICENSE ARC 9711799, EXPIRES: 12/31/21

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1 CODE NOTE FLOOR PLAN
SCALE: 1" = 10'-0"

PHASE 1 AREA OF WORK

SPECIAL INSPECTION NOTES
1- The OWNER shall employ one or more special inspectors to provide inspections during construction on the types of work itemized below.
2- Only the required STRUCTURAL Special Inspections have been listed on this sheet. Please refer to architectural drawings and/or specifications for required non-structural Special Inspections, if applicable.

REQUIRED STRUCTURAL SPECIAL INSPECTIONS
Soils - OBC Table 1705.6
Continuous Periodic Referenced Standard Additional OBC Requirements
1. Geotechnical Investigations 1803

Concrete Construction, Cast-In-Place - OBC Table 1705.3
Continuous Periodic Referenced Standard Additional OBC Requirements
A. Fabricator Inspections 1704.2.5
1. Inspect reinforcement, including prestressing tendons, and verify placement. --- X ACI 318 Ch. 20, 25.2, 25.3, 26.6, 1-26.6.3

Structural Steel - OBC Table NO LONGER EXISTS
Continuous Periodic Referenced Standard Additional OBC Requirements
A. Fabrication of Structural Elements 1704.2
1. Material verification of high strength bolts, nuts, and washers. --- X

Structural Steel - OBC Table NO LONGER EXISTS (continued)
2. Inspection of high-strength bolting: --- X
a. Single light joints --- X
b. Pretensioned and slip-critical joints using turn-of-nut with matchmarking, twist-off bolt or direct tension indicator method of installation --- X

PRE-CONSTRUCTION TESTING OF WELDING STUDS WELDED THROUGH BECKING
EACH STUD SIZE AND TYPE OF STUD EACH SHEET
PRE-INSTALLATION TESTING OF WELDING STUDS WELDED THROUGH BECKING
EACH STUD SIZE AND DECK GAGE COMBINATION
PRE-INSTALLATION VERIFICATION OF PRETENSIONED HIGH STRENGTH BOLTS
EACH COMBINATION OF DIAMETER, LENGTH, GRADE, AND LOT TO BE USED IN THE WORK

Cold Formed (Light Gauge) Steel Framing
Continuous Periodic Referenced Standard Additional OBC Requirements
A. Fabrication of shop fabricated cold formed structural steel elements 1704.2.5

DESIGN CRITERIA NOTES

REFERENCED DESIGN CODE:
OHIO BUILDING CODE (2017)
ENVIRONMENTAL LOADS:
ROOF/SNOW LOAD: P0 = 20 PSF, P1 = 20 PSF
GROUND/SNOW LOAD: P0 = 20 PSF, P1 = 20 PSF
WIND LOAD: BASIC WIND SPEED (3 SECOND GUST) = 115 MPH

POST INSTALLED ANCHORS
1. INSTALL ALL ANCHORS PER THE MANUFACTURER'S PUBLISHED INSTALLATION INSTRUCTIONS (MIPRI).
2. WHERE NOT INDICATED ON THE DRAWINGS, POST-INSTALLED ANCHORS SHALL CONSIST OF THE FOLLOWING ANCHOR TYPES AS PROVIDED BY HLTI, INC.

DIVISION 5 - METALS
1. ALL STRUCTURAL STEEL SHALL BE FABRICATED AND ERECTED IN ACCORDANCE WITH THE LATEST AISC RECOMMENDATIONS AND CONFORM TO ANSII/AISC 360-10 AND AISC 360-10 INCLUDED IN THE 4TH EDITION OF THE STEEL CONSTRUCTION MANUAL.

EARTHQUAKE LOAD:
SEISMIC IMPORTANCE FACTOR I = 1.0
MAPPED SPECTRAL ACCELERATION S1 = 0.072
SITE CLASS = D (DEFAULT)
DESIGN SPECTRAL ACCELERATION SAs = 0.155, Sd1 = 0.115
SEISMIC DESIGN CATEGORY = B
BASIC SEISMIC FORCE RESISTING SYSTEM (RESPONSE MODIFICATION FACTOR) = 8

DIVISION 3 - FOUNDATIONS AND CONCRETE
1. ALLOWABLE NET SOIL BEARING CAPACITY = 2.500 PSF PER THE 1964 CONSTRUCTION DOCUMENTS.
2. ALL EXCAVATIONS SHALL BE INSPECTED BY A GEOTECHNICAL ENGINEER PRIOR TO PLACING CONCRETE.

DIVISION 5 - METALS (continued)
1. DESIGN, FABRICATION, AND ERECTION OF ALL COLD FORMED STEEL FRAMING MEMBERS SHALL CONFORM TO THE "NORTH AMERICAN SPECIFICATION FOR THE DESIGN OF COLD-FORMED STEEL STRUCTURAL MEMBERS" (AISI S100-12).

DESIGN UNIFORM LOADS:
DEAD LOAD REFER TO DEAD LOAD TABULATION TABLES
ROOF LIVE LOAD: 20 PSF (MINIMUM PER OBC SECTION 1607.11.2)
UNIFORM FLOOR LIVE LOAD (CONCENTRATED) LOAD:
1. REFER TO OBC 1607.4 FOR CONCENTRATED LOAD APPLICATION AREA

DIVISION 4 - MASONRY
1. MASONRY CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE SPECIFICATIONS FOR MASONRY STRUCTURES (TMS 602-13) PUBLISHED BY THE MASONRY SOCIETY.

DIVISION 5 - METALS (continued)
2. ALL CFS MEMBERS AND ACCESSORIES SHALL BE FORMED FROM STEEL CONFORMING TO ASTM A103 WITH A MINIMUM YIELD STRENGTH AS FOLLOWS: 54 lbs (16 GA) AND HEAVIER MEMBERS Fy = 60 KSI (GRADE 5700); 43 lbs (18 GA) AND LIGHTER MEMBERS Fy = 33 KSI (GRADE STE38).

GENERAL STRUCTURAL NOTES

GENERAL (ALL TRADES)
1. IN ACCORDANCE WITH SECTION 1704 OF THE OHIO BUILDING CODE, SPECIAL INSPECTIONS WILL BE REQUIRED FOR THIS PROJECT. SPECIAL INSPECTIONS SHALL BE PERFORMED IN ACCORDANCE WITH THE "SPECIAL INSPECTION REQUIREMENTS" SCHEDULE. ALL FABRICATORS SHALL SATISFY THE "FABRICATOR APPROVAL" PROVISIONS IN SECTION 1704.2.5.1 WHICH REQUIRES THE FABRICATOR TO MAINTAIN AN AGREEMENT A BOARD RECOGNIZED INDUSTRY TRADE ASSOCIATION CERTIFICATION PROGRAM OR A BOARD RECOGNIZED FABRICATOR INSPECTION AGENCY PER 4101.7-6-01 OF OHIO ADMINISTRATIVE CODE.

STAINLESS STEEL:
1. ALL WELDS SHALL BE INSPECTED AND TESTED PER THE REQUIREMENTS OF THE AISC 360-10 AND THE AISC 360-10B.
2. ALL WELDS SHALL BE INSPECTED AND TESTED PER THE REQUIREMENTS OF THE AISC 360-10 AND THE AISC 360-10B.

Table with columns: No., Revisions / Submissions, Date. Includes revision log for the project.

LWC INCORPORATED
434 East Main Dayton, OH 937 223 65
846 East Main Franklin, OH 905 966 35
Street 47374 46

INTERIOR RENNOVATION
PHASE 1

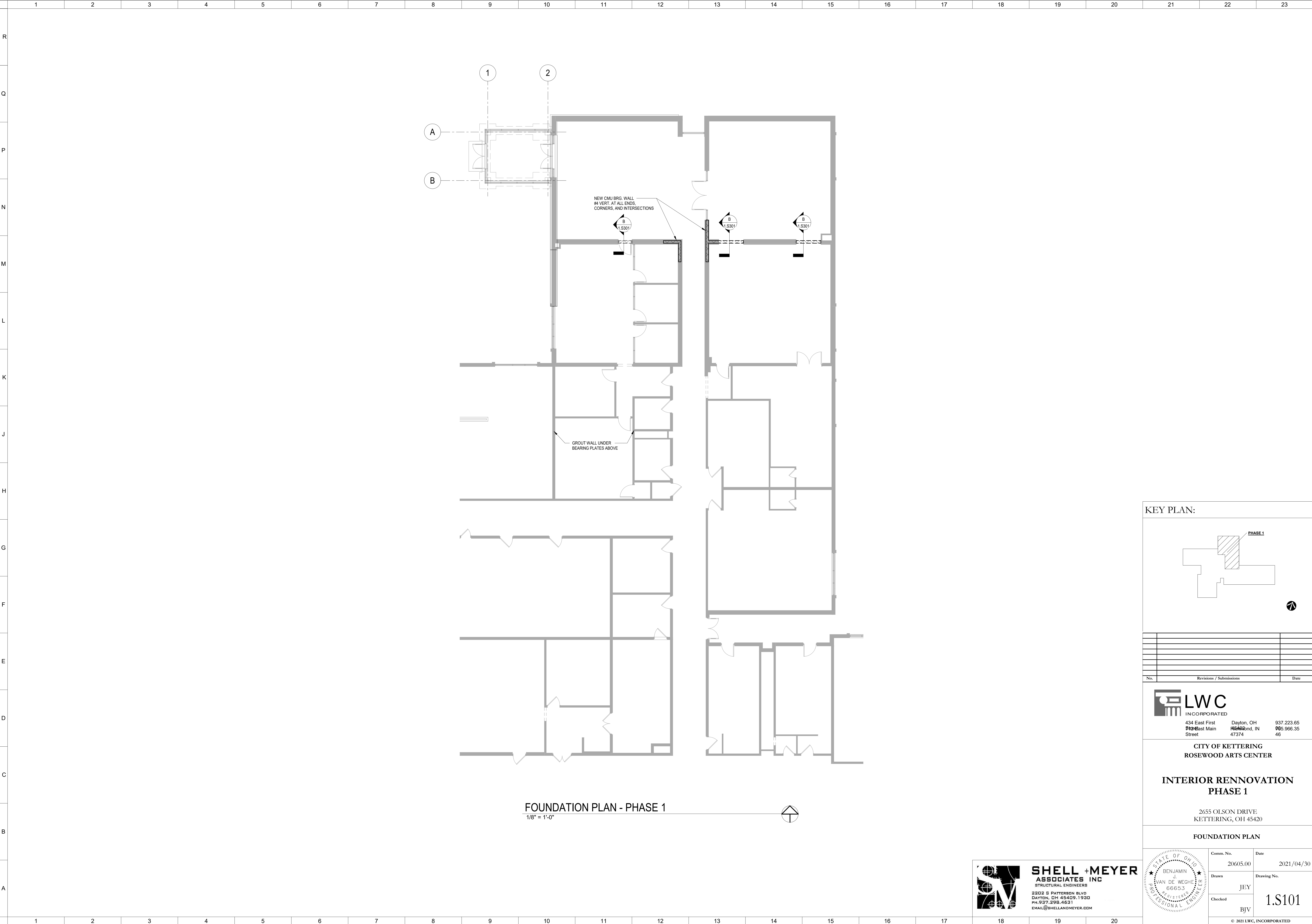
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KETTERING, OH 45420

STRUCTURAL NOTES

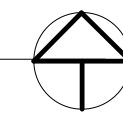
Comm. No. 20605.00 Date 2021/04/30
Drawing No. JEY
Checked BJV 1.8001
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SHELL + MEYER ASSOCIATES INC
STRUCTURAL ENGINEERS
2202 S PATTERSON BLVD
DAYTON, OH 45409.1930
PH. 937.208.4621
EMAIL: @SHELLANMEYER.COM

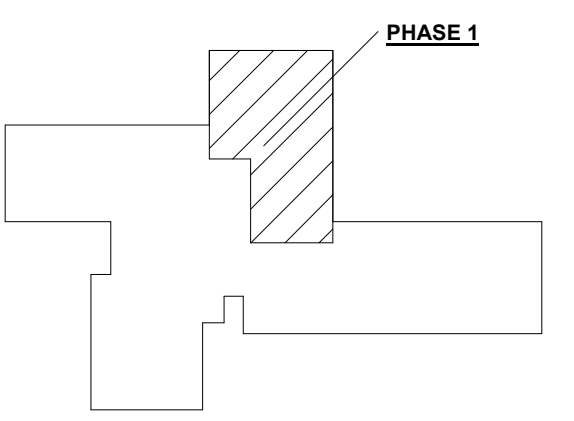
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FOUNDATION PLAN - PHASE 1
1/8" = 1'-0"



KEY PLAN:



No.	Revisions / Submissions	Date

LWC
INCORPORATED
434 East First Street Dayton, OH 937 223.65
206 East Main Street Anderson, IN 905 966.35
47374 46

CITY OF KETTERING
ROSEWOOD ARTS CENTER

**INTERIOR RENNOVATION
PHASE 1**

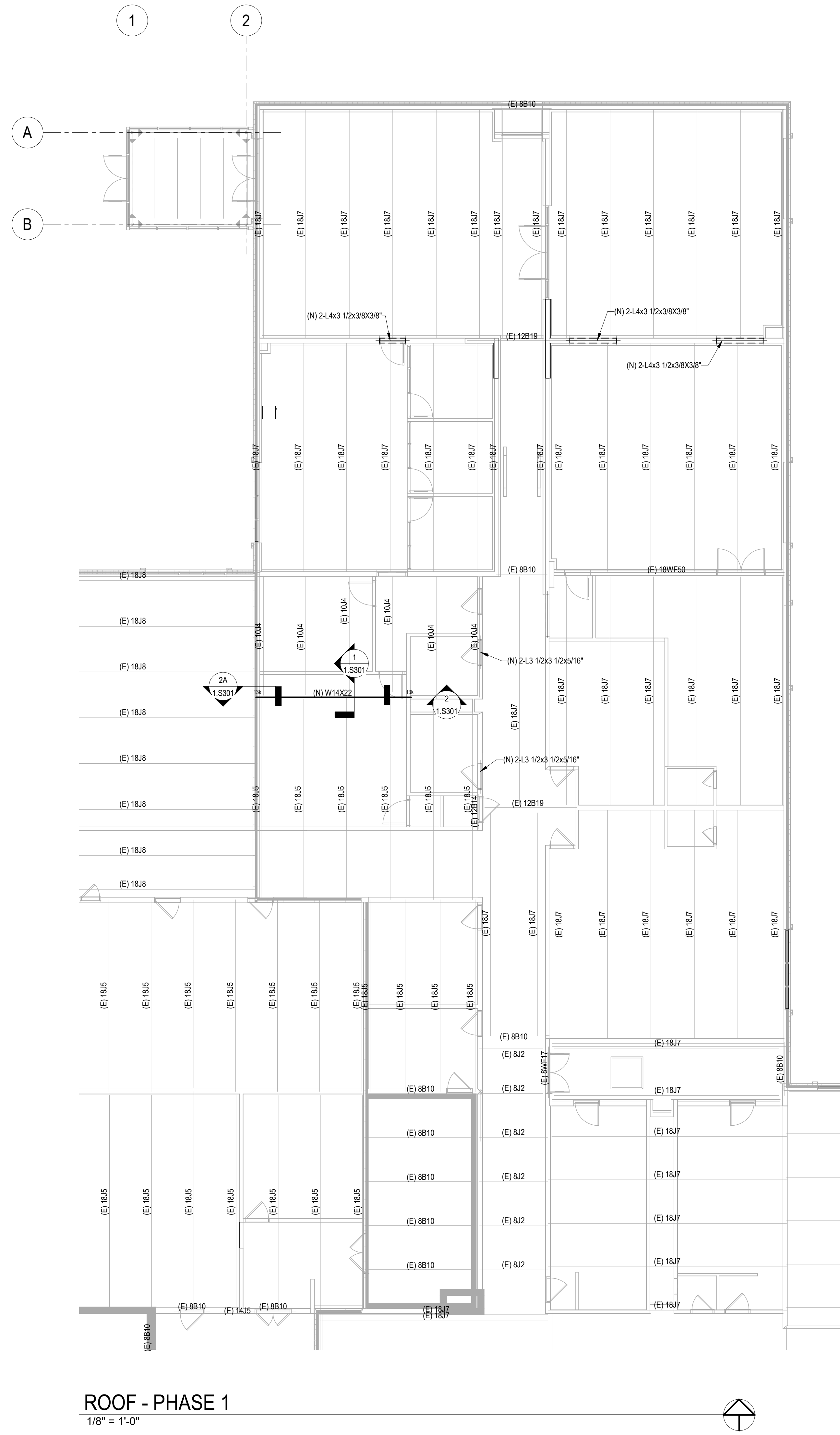
2655 OLSON DRIVE
KETTERING, OH 45420

FOUNDATION PLAN

SHELL + MEYER
ASSOCIATES INC
STRUCTURAL ENGINEERS
2202 S PATTERSON BLVD
DAYTON, OH 45409.1930
PH. 937.238.4631
EMAIL@SHELLANDMEYER.COM

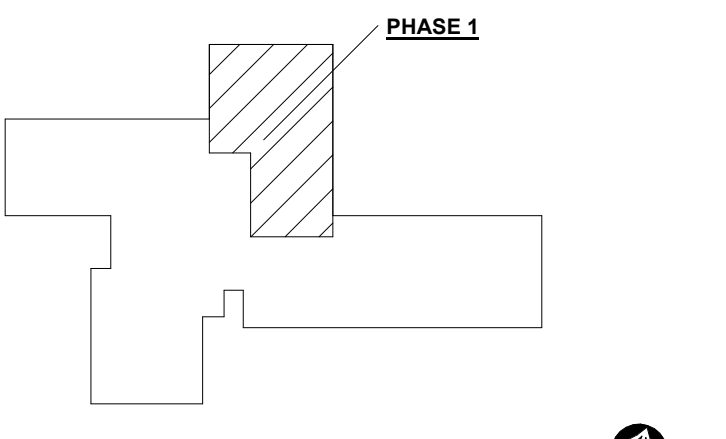
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JEY	1.S101	
Checked	BJV	

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ROOF - PHASE 1
1/8" = 1'-0"

KEY PLAN:



No.	Revisions / Submissions	Date

LWC
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434 East First Dayton, OH 937.223.65
200 East Main Street Anderson, IN 966.966.35
47374 46

CITY OF KETTERING
ROSEWOOD ARTS CENTER

**INTERIOR RENNOVATION
PHASE 1**

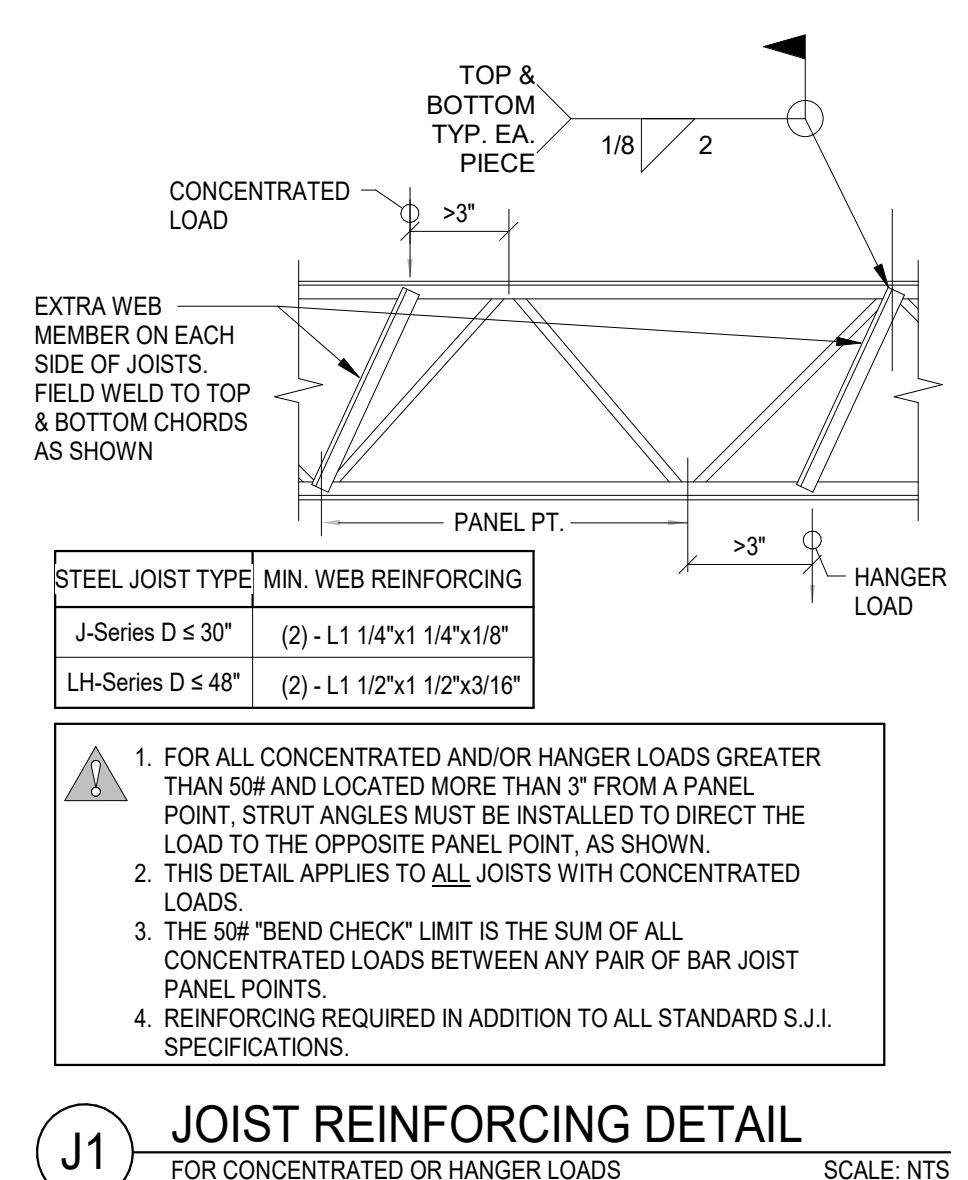
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ROOF FRAMING PLAN

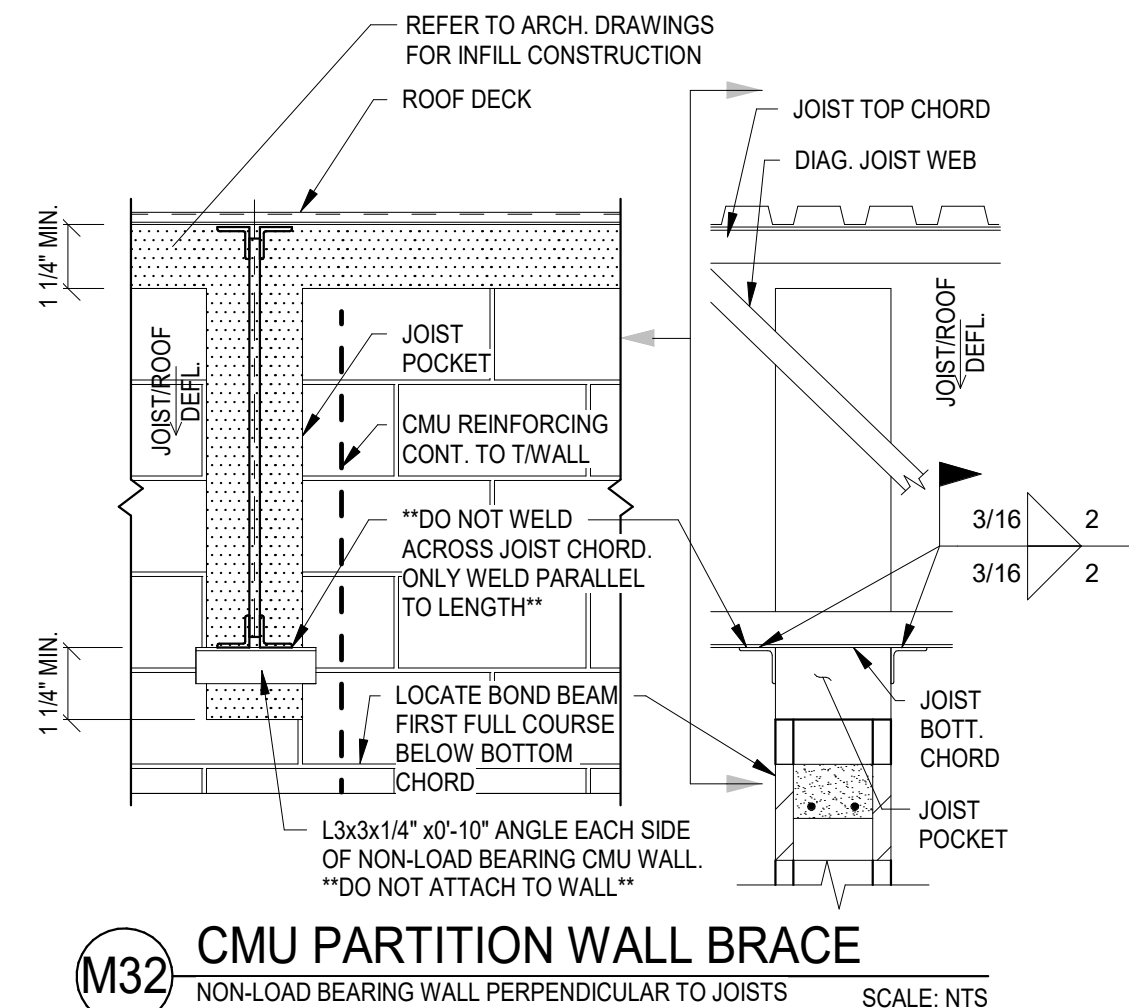
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2202 S PATTERSON BLVD
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EMAIL@SHELLANDMEYER.COM

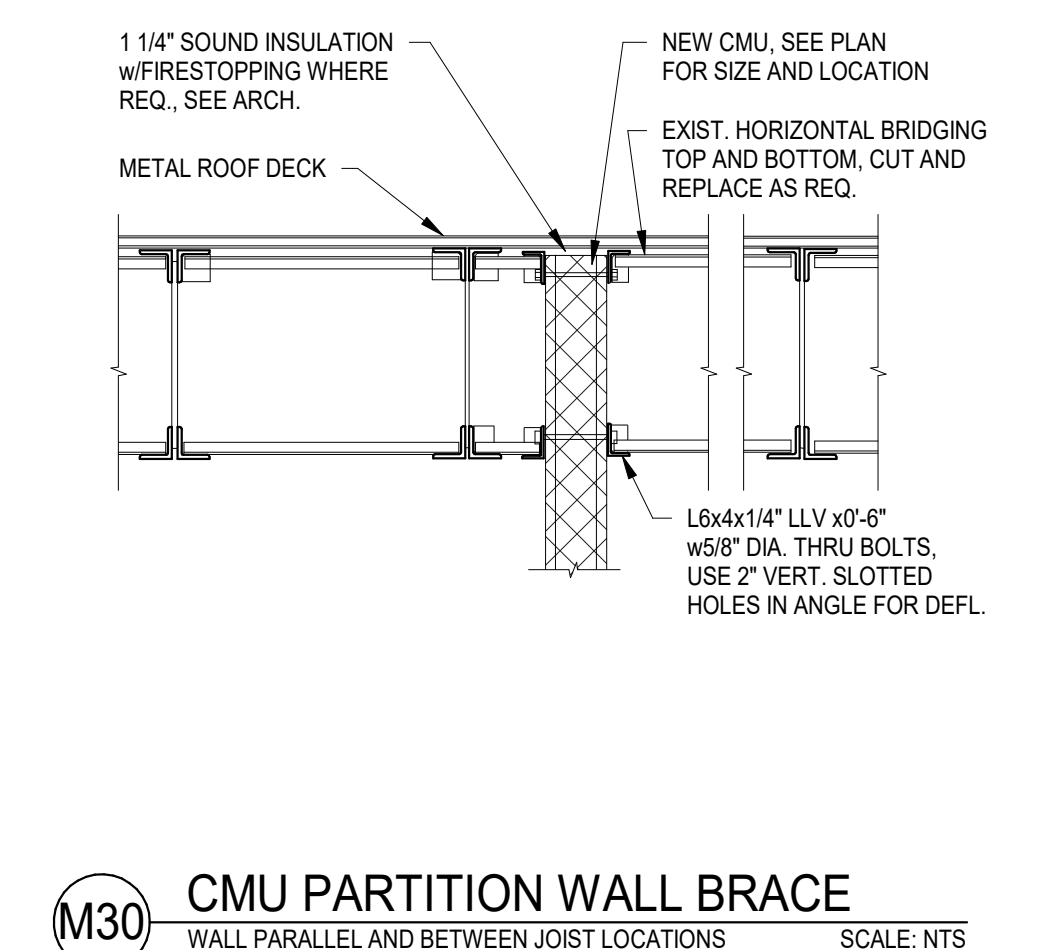
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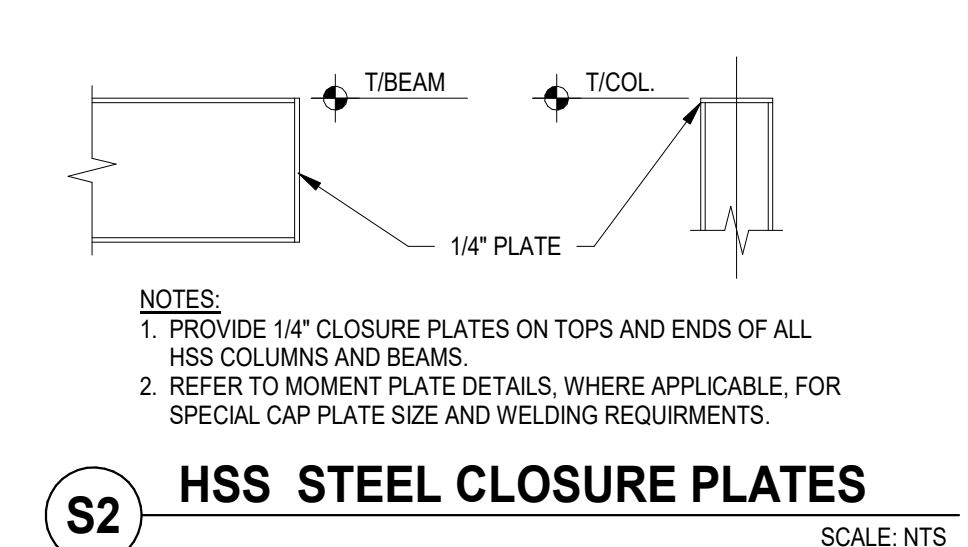
J1 JOIST REINFORCING DETAIL
FOR CONCENTRATED OR HANGER LOADS
SCALE: NTS



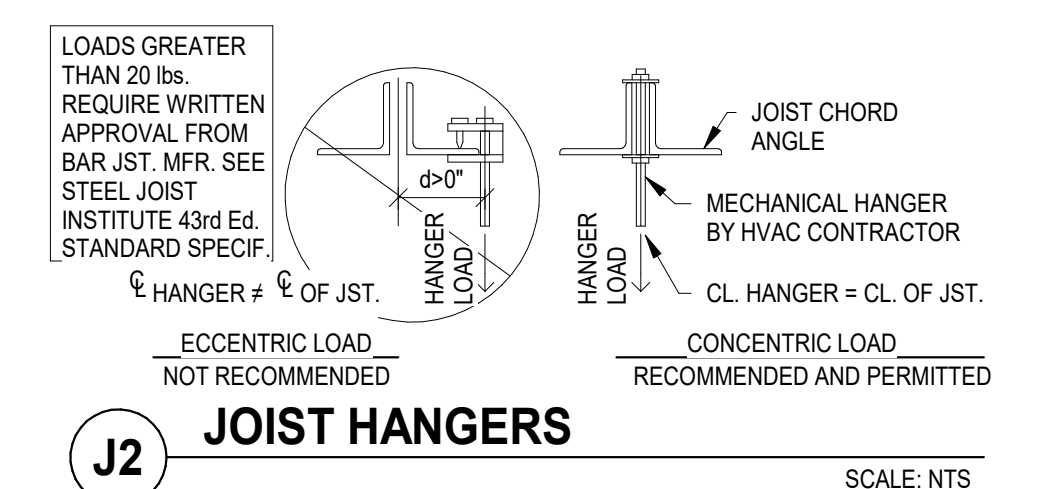
M32 CMU PARTITION WALL BRACE
NON-LOAD BEARING WALL PERPENDICULAR TO JOISTS
SCALE: NTS



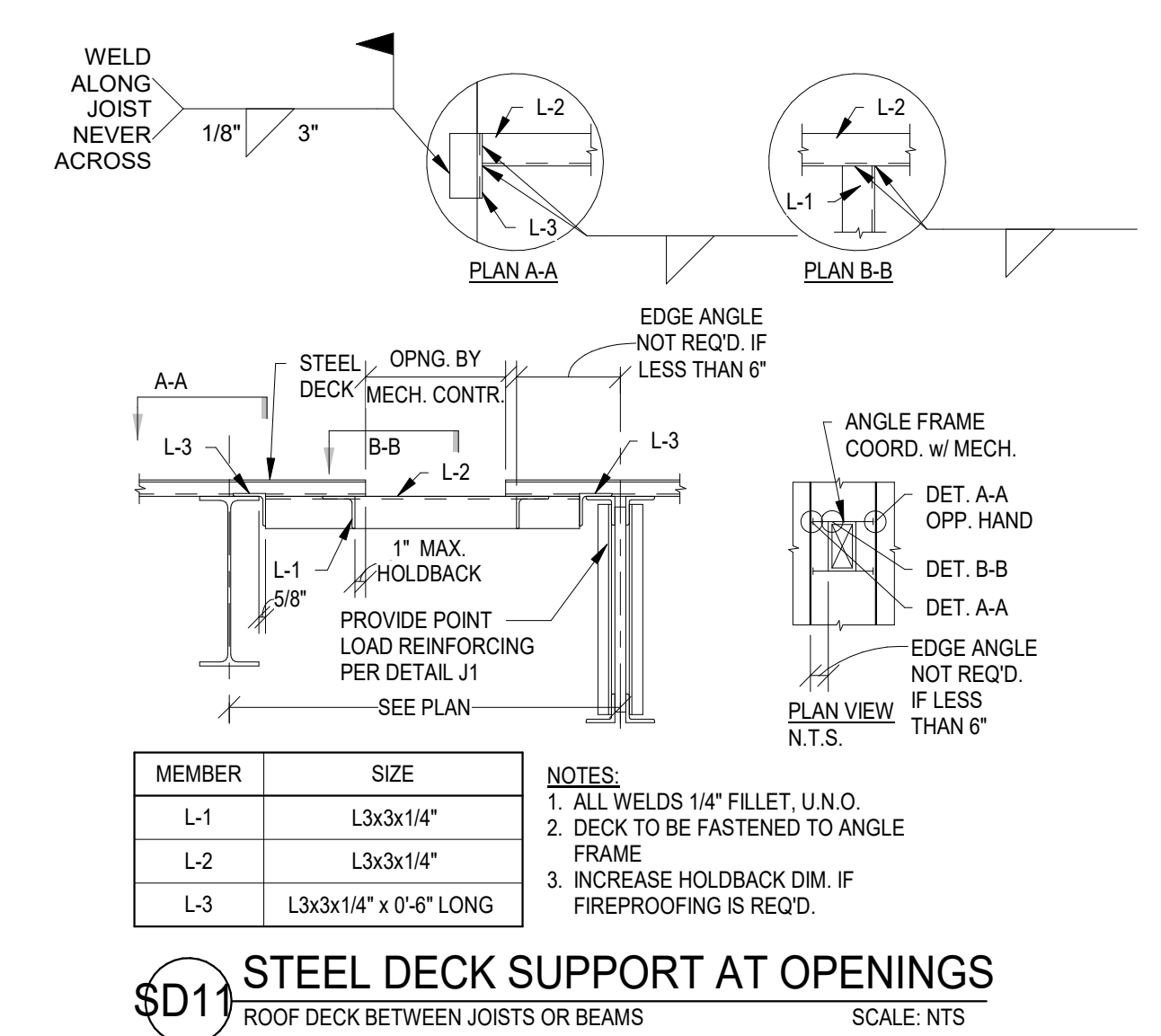
M30 CMU PARTITION WALL BRACE
WALL PARALLEL AND BETWEEN JOIST LOCATIONS
SCALE: NTS



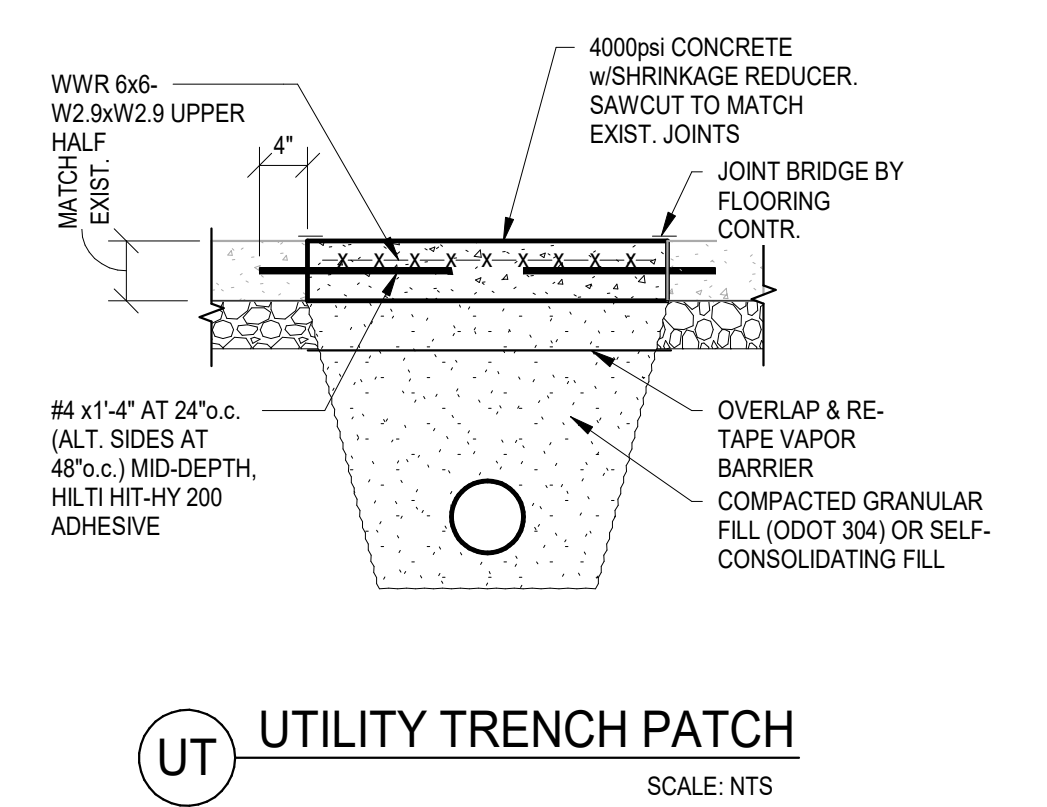
S2 HSS STEEL CLOSURE PLATES
SCALE: NTS



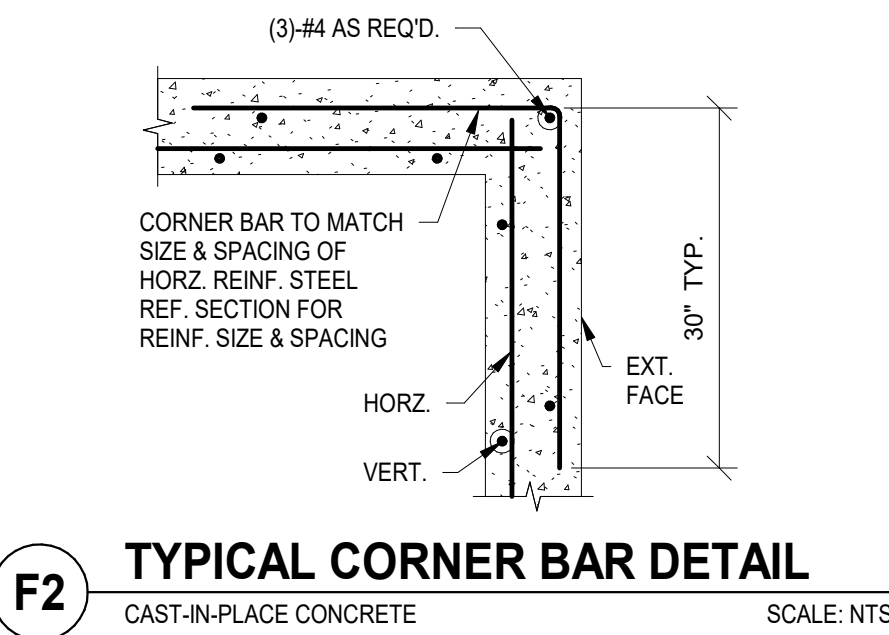
J2 JOIST HANGERS
SCALE: NTS



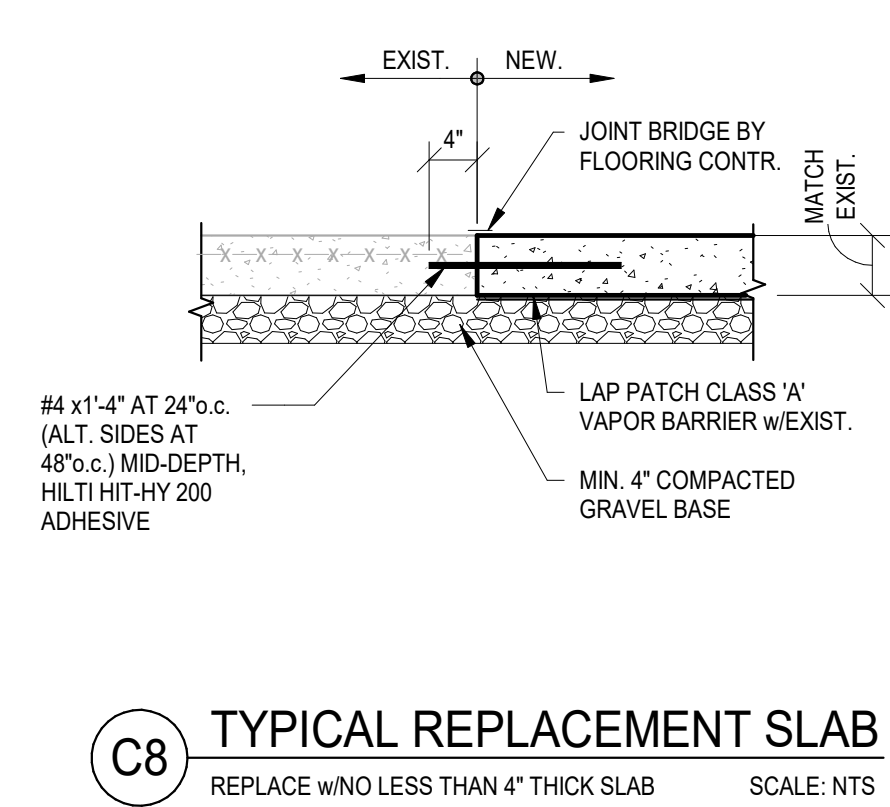
D1 STEEL DECK SUPPORT AT OPENINGS
ROOF DECK BETWEEN JOISTS OR BEAMS
SCALE: NTS



UT UTILITY TRENCH PATCH
SCALE: NTS



F2 TYPICAL CORNER BAR DETAIL
CAST-IN-PLACE CONCRETE
SCALE: NTS



C8 TYPICAL REPLACEMENT SLAB
REPLACE w/NO LESS THAN 4" THICK SLAB
SCALE: NTS

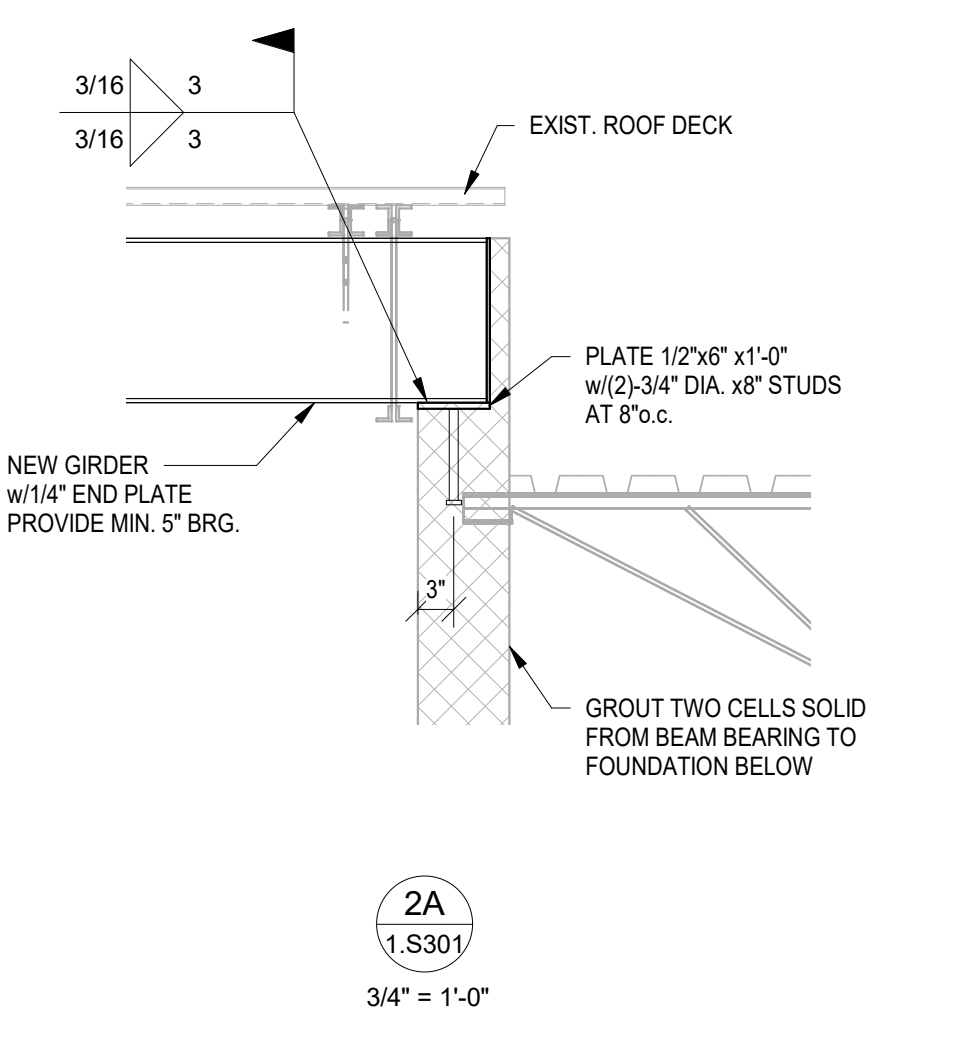
CASE	LOCATION	BAR SIZE	COVER (in.)
A	Concrete cast against and permanently exposed to earth ¹	ALL SIZES	3"
B	Concrete exposed to earth or weather	#5 & Smaller #6 thru #18	1 1/2" 2"
C	Concrete NOT exposed to weather or in contact with earth	#11 & Smaller	3/4"
<small>1 - All foundations cast against earth without using formwork shall use CASE 'A' for reinforcement clearances.</small>			

C2 CONCRETE REINFORCING COVER
SCALE: NTS

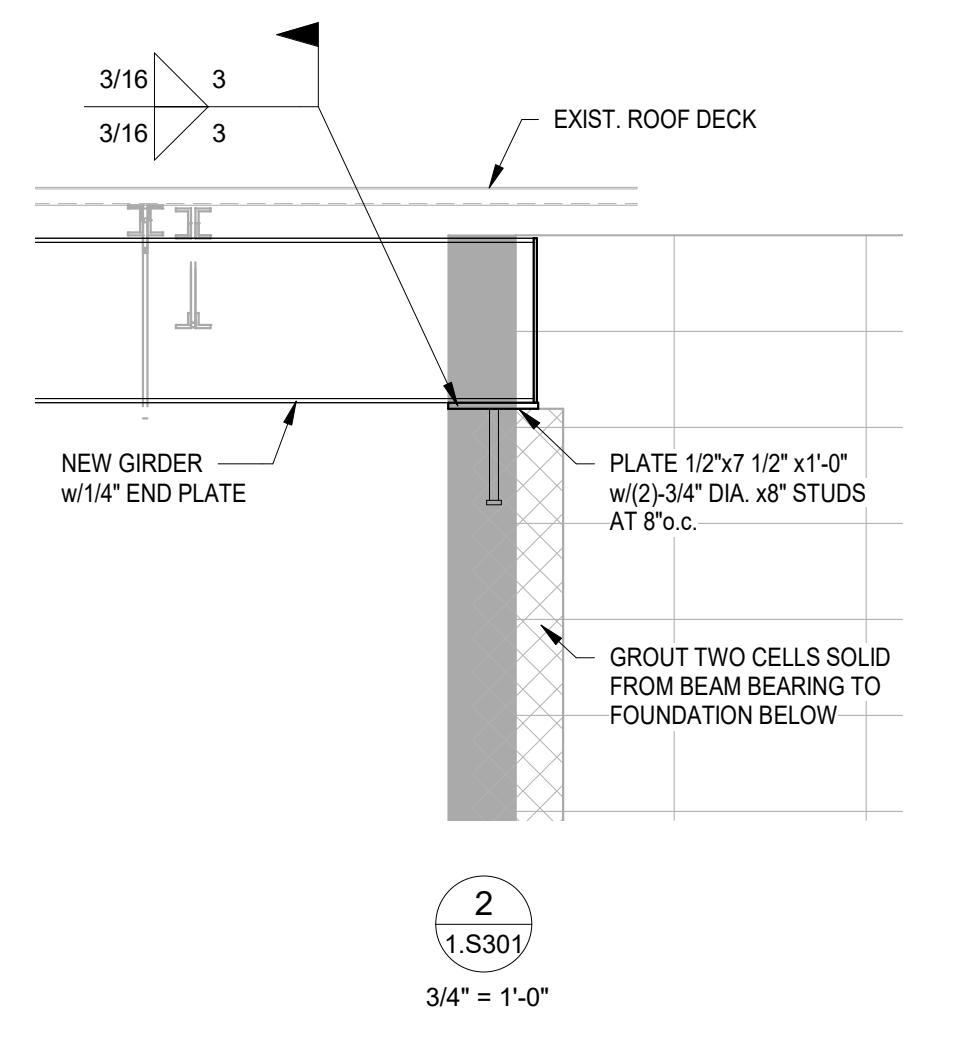
BAR SIZE	LAP LENGTH ^{1,2}
#3	32"
#4	43"
#5	54"
#6	64"

1 - Increase Lap Length by 33% for Epoxy Coated Reinforcing or Lightweight Concrete
2 - Based on minimum (L_c = 3000 psi)

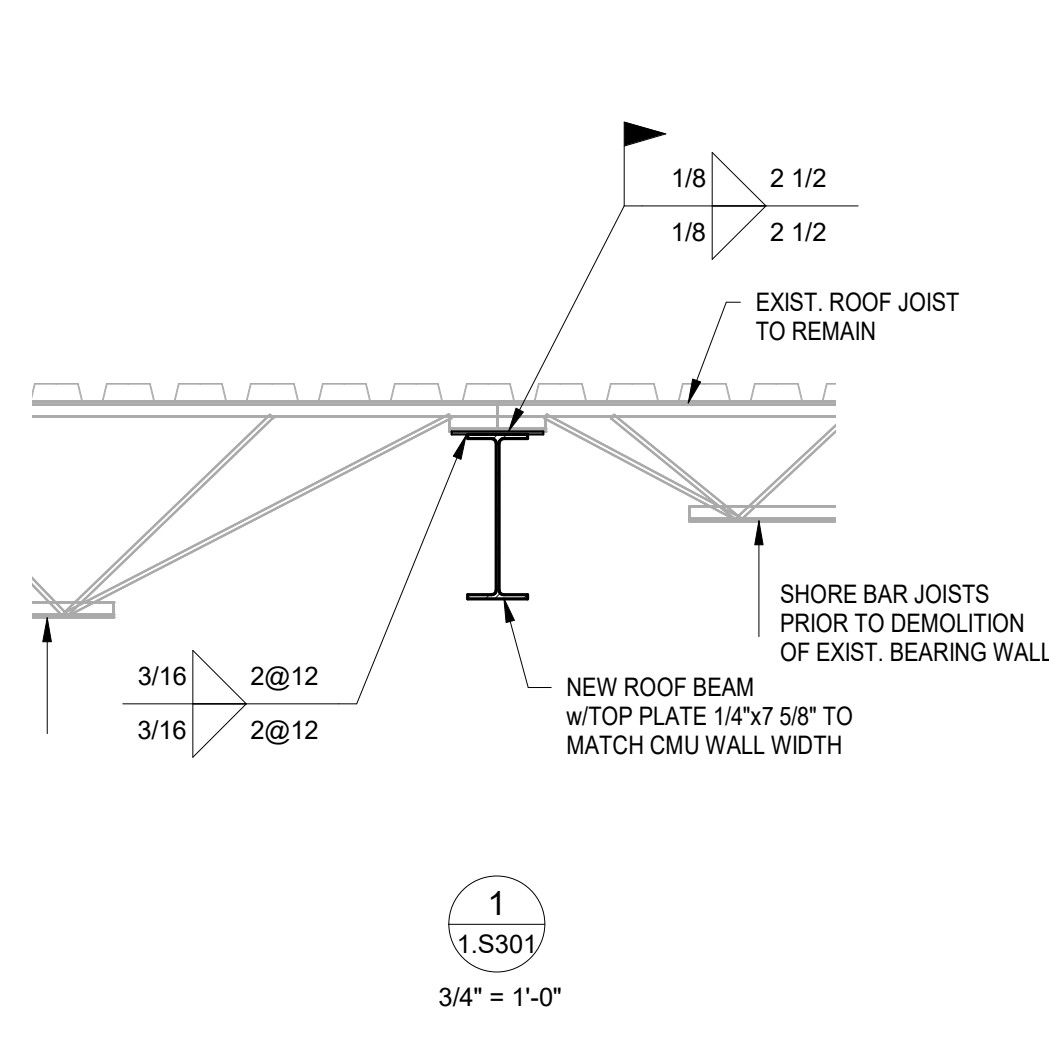
C1 CONCRETE REINFORCEMENT SPLICES
SCALE: NTS



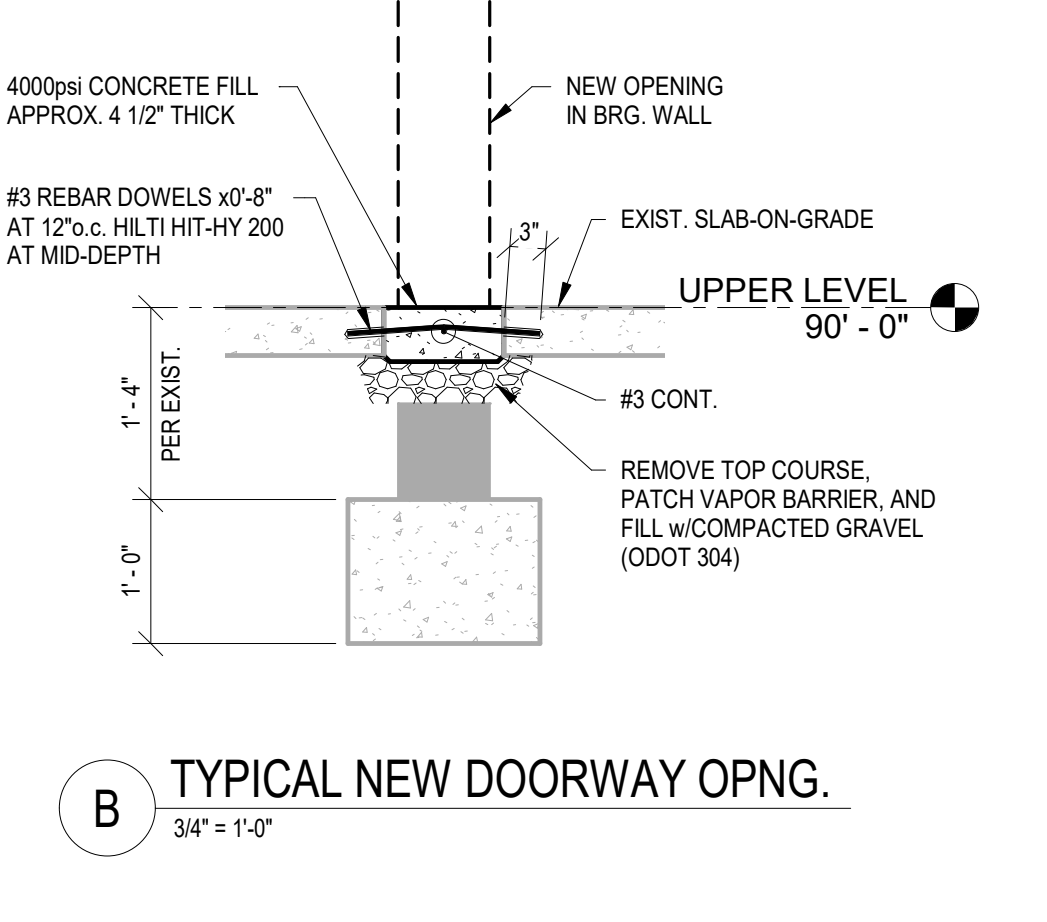
2A
1.S301
3/4" = 1'-0"



2
1.S301
3/4" = 1'-0"



1
1.S301
3/4" = 1'-0"



B
3/4" = 1'-0"

No.	Revisions / Submissions	Date

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434 East First Dayton, OH 937 223.65
216 East Main Street Dayton, IN 905 966.35
47374 46

CITY OF KETTERING
ROSEWOOD ARTS CENTER

INTERIOR RENNOVATION
PHASE 1

2655 OLSON DRIVE
KETTERING, OH 45420

STRUCTURAL DETAILS

Comm. No.	Date
20605.00	2021/04/30

Drawn	Drawing No.
JEY	1.S301

Checked	
BJV	

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SHELL + MEYER
ASSOCIATES INC
STRUCTURAL ENGINEERS
2202 S PATTERSON BLVD
DAYTON, OH 45409.1930
PH. 937.2938.4621
EMAIL@SHELLANDMEYER.COM

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2 DEMOLITION REFLECTED
CEILING PLAN
SCALE: 1/8" = 1'-0"

1 DEMOLITION FLOOR PLAN
SCALE: 1/8" = 1'-0"

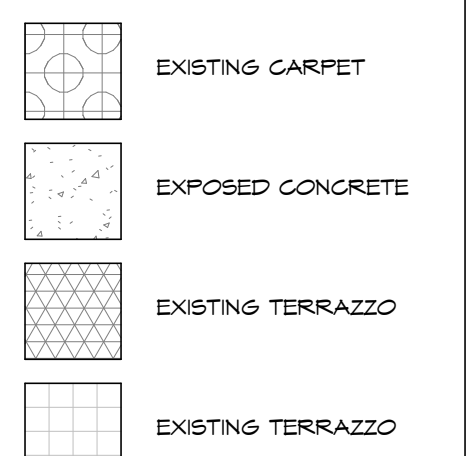
SHEET NOTES:

1. NOT USED
2. EXISTING FLOORING TO REMAIN.
3. REMOVE EXISTING CASEWORK, INCLUDING, BUT NOT LIMITED TO ASSOCIATED HARDWARE, EQUIPMENT, FIXTURES AND OTHER ACCESSORIES.
4. REMOVE EXISTING CEILING SYSTEM. REFER TO RELATED DRAWINGS FOR ADDITIONAL DEMOLITION SCOPE.
5. CEILING TO REMAIN. REFER TO RELATED DRAWINGS FOR POTENTIAL ADDITIONAL DEMOLITION SCOPE.
6. REMOVE EXISTING DRYWALL ASSOCIATED WITH FORMER SKYLIGHT AND HELL.
7. REMOVE EXISTING LOCKERS.
8. REMOVE EXISTING FLOORING.
9. REMOVE EXISTING HALL, IN ITS ENTIRETY, INCLUDING ANY CONDUIT, PIPING, WALL DEVICES, ECT.
10. REMOVE EXISTING DOOR & FRAME.
11. EXISTING WALL TO REMAIN.
12. REMOVE EXISTING PROJECTION SCREEN.
13. REMOVE EXISTING MECHANICAL UNIT. REFER TO RELATED DRAWINGS.
14. REMOVE EXISTING FAN.
15. REMOVE EXISTING STORAGE UNIT.
16. REMOVE EXISTING BENCH & WALL SHELVING.
17. REMOVE EXISTING ROOF DRAIN LEADER. PROVIDE TEMPORARY PIPING AS REQUIRED UNTIL NEW DRAIN IS IN PLACE. SAWCUT SLAB AS REQUIRED TO MAKE NEW DRAINAGE CONNECTION TO SUBSURFACE PIPING. REFER TO RELATED DRAWINGS.
18. EXISTING FIRE EXTINGUISHER CABINET TO REMAIN.
19. REMOVE PORTION OF EXISTING WALL FOR NEW OPENING. COORDINATE WITH NEW KERK PLANS.
20. SAWCUT EXISTING SLAB AND EXCAVATE AS REQUIRED. COORDINATE WITH NEW WORK PLANS.
21. REMOVE EXISTING PLUMBING FIXTURE.
22. REMOVE EXISTING PING PALL AND SHELVING.
23. REMOVE EXISTING EQUIPMENT AND TURN OVER TO OWNER.
24. REMOVE EXISTING TOILET PARTITION AND ASSOCIATED RESTROOM ACCESSORIES.
25. EXISTING ELECTRICAL PANEL TO REMAIN.
26. REMOVE EXISTING COUNTER AND BACKSPLASH.

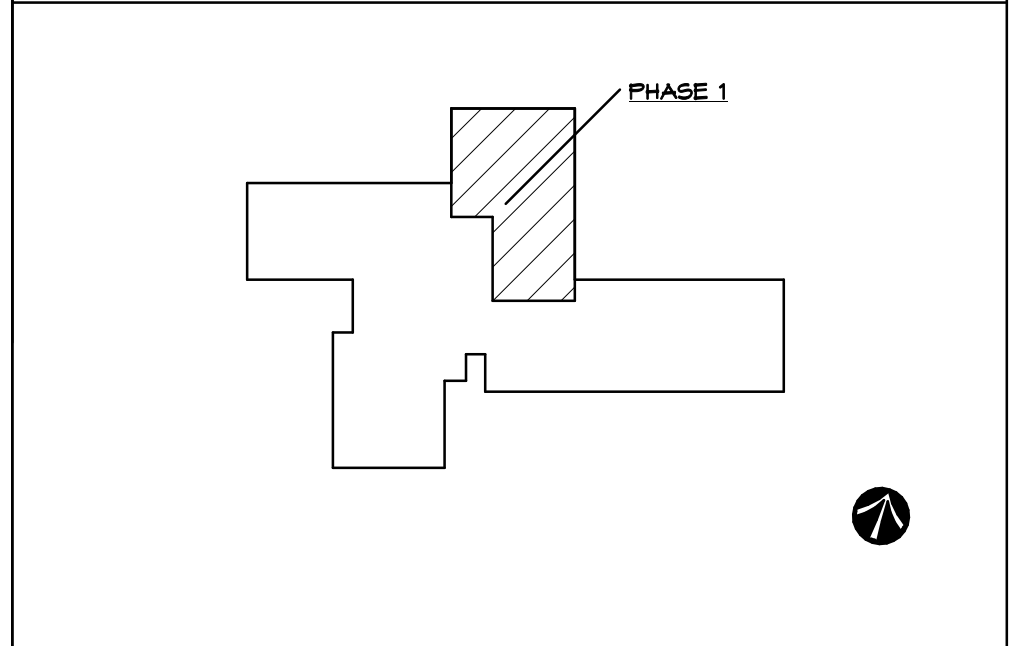
GENERAL NOTES:

- A. CONTRACTOR TO IDENTIFY, REPAIR, PATCH, AND PREP EXISTING WALLS WHERE IMPERFECTIONS OCCUR, INCLUDING BUT NOT LIMITED TO REMOVAL OF MOUNTING HARDWARE AND ASSOCIATED PENETRATIONS, MISC. GLUE AND/OR APPLIED ATTACHMENT MATERIALS.
- B. EXISTING ELECTRICAL / CONDUIT BOXES TO BE COVERED WITH PANT GRADE COVERPLATE. SEE MEP PLANS AND SPECIFICATIONS FOR SCOPE OF ADDITIONAL REQUIRED WORK.
- C. EXISTING WOOD DOORS/TRANSOMS TO REMAIN UNLESS NOTED OTHERWISE. PREP FOR REFINISHING AS PART OF NEW WORK.
- D. EXISTING GLAZED GWS TO REMAIN AS FINAL FINISH WHERE EXPOSED, UNLESS NOTED OTHERWISE. PROTECT DURING CONSTRUCTION.

FLOORING LEGEND



KEY PLAN:



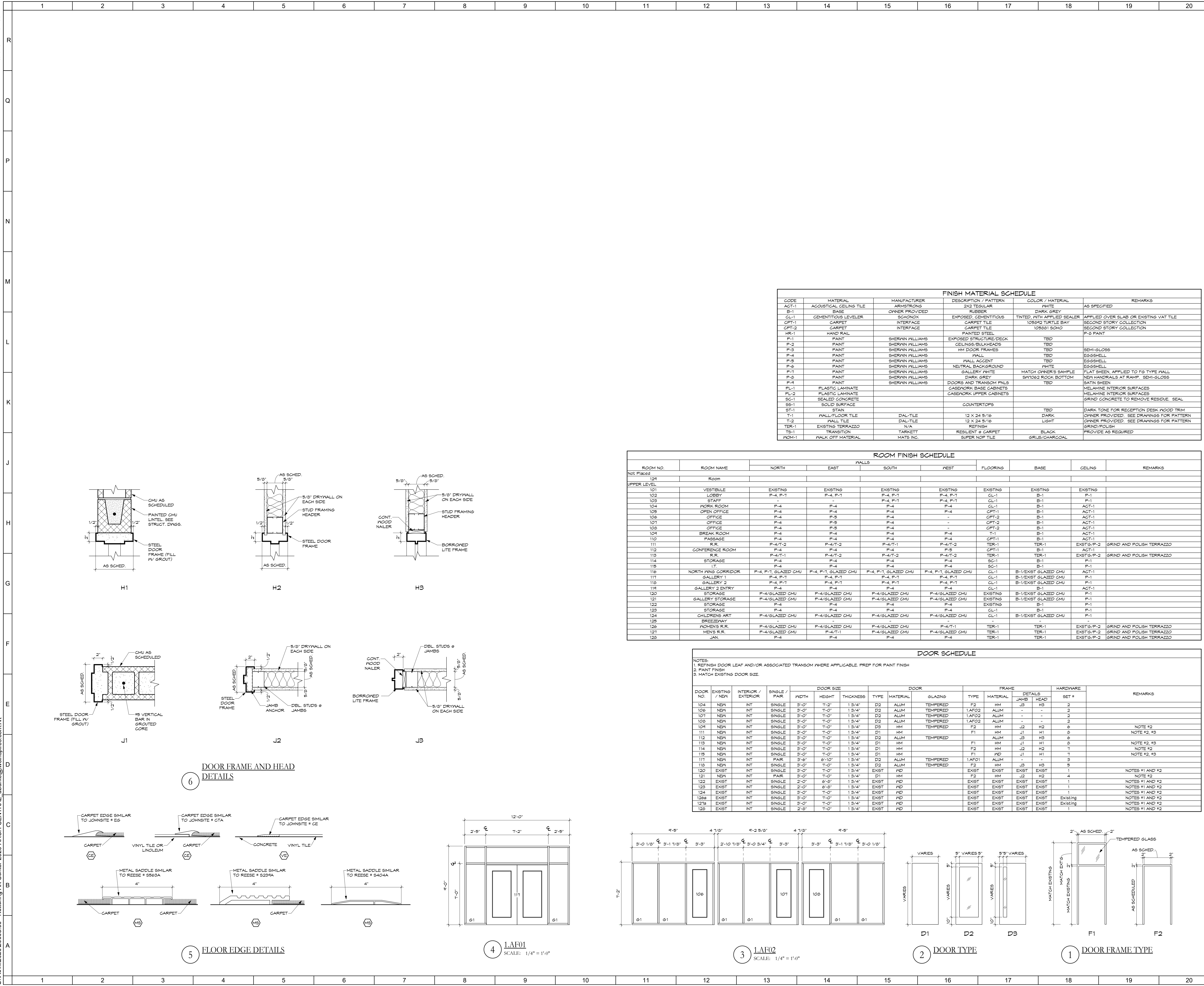
BID AND PERMIT SET		2021-04-30
No.	Revisions / Submissions	Date

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CITY OF KETTERING
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PHASE 1
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DEMOLITION PLANS	
Comm. No.	Date
20605.00	2020/04/30
Drawn	Drawing No.
DJB	1.AD101
Checked	WK
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SHEET NOTES:

GENERAL NOTES:

- EXISTING FLOOR SURFACE SHALL REMAIN IN MANY INSTANCES. CONTRACTOR SHALL INCLUDE NECESSARY FLOOR PREPARATIONS AS REQUIRED FOR THE NEW FINISH AS SPECIFIED.
- CONTRACTOR SHALL REPAIR CMU WALL SURFACES AS REQUIRED AFTER DEMOLITION OPERATIONS TO MATCH OWNERS MOQUPS FOR FINAL PAINT FINISH.
- EXISTING GLAZED CMU SHALL REMAIN AS THE FINAL FINISH IN ALL INSTANCES EXCEPT WHERE BEING COVERED BY ADDITIONAL WALL CONSTRUCTION OR OTHER FINISHES APPLIED OVERTOP.
- STANDARD CMU SHALL BE PAINTED UNLESS NOTED OTHERWISE.
- EXISTING AND NEW DOOR FRAMES SHALL BE PAINTED AS PER THE MATERIAL SCHEDULE.
- REPAIR ALL EXISTING MOOD DOORS AND MOOD TRANSOM PANELS IN PREPARATION FOR A NEW PAINT FINISH AS SPECIFIED.
- ALL NEW GLAZING IN NEW DOORS/SIDELITES/TRANSOMS SHALL BE TEMPERED. EXISTING GLAZING IN DOORS/SIDELITES/TRANSOMS TO REMAIN SHALL BE RETAINED AND DOES NOT REQUIRE REPLACEMENT. EXISTING DOORS ARE TYPICALLY HAVING LOCKSETS REPLACED TO PROVIDE A LEVER HANDLE. HINGES AND OTHER HARDWARE TYPICALLY WILL REMAIN. REFER TO DOOR SCHEDULE AND HARDWARE SPECIFICATION.

ROOM FINISH SCHEDULE

ROOM NO.	ROOM NAME	NORTH	EAST	WALLS	SOUTH	WEST	FLOORING	BASE	CEILING	REMARKS
101	VESTIBULE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	
102	LOBBY	P-4, P-7	P-4, P-7	P-4, P-7	P-4, P-7	CL-1	B-1	P-1		
103	STAFF	P-4	P-4	P-4, P-7	P-4, P-7	CL-1	B-1	P-1		
104	WORK ROOM	P-4	P-4	P-4	P-4	CL-1	B-1	ACT-1		
105	OPEN OFFICE	P-4	P-4	P-4	P-4	CFT-1	B-1	ACT-1		
106	OFFICE	P-4	P-5	P-4	P-4	CFT-2	B-1	ACT-1		
107	OFFICE	P-4	P-5	P-4	-	CFT-2	B-1	ACT-1		
108	OFFICE	P-4	P-5	P-4	-	CFT-2	B-1	ACT-1		
109	BREAK ROOM	P-4	P-4	P-4	P-4	F-1	B-1	ACT-1		
110	PASSAGE	P-4	P-4	P-4	P-4	CFT-1	B-1	ACT-1		
111	R.R.	P-4/T-2	P-4/T-2	P-4/T-1	P-4/T-1	TER-1	TER-1	EXIST/P-2	GRND AND POLISH TERRAZZO	
112	CONFERENCE ROOM	P-4	P-4	P-4	P-4	CFT-1	B-1	ACT-1		
113	R.R.	P-4/T-2	P-4/T-2	P-4/T-2	P-4/T-2	TER-1	TER-1	EXIST/P-2	GRND AND POLISH TERRAZZO	
114	STORAGE	P-4	P-4	P-4	P-4	CL-1	B-1	P-1		
115	STORAGE	P-4	P-4	P-4	P-4	CL-1	B-1	P-1		
116	NORTH WING CORRIDOR	P-4, P-1, GLAZED CMU	P-4, P-1, GLAZED CMU	P-4, P-1, GLAZED CMU	P-4, P-1, GLAZED CMU	CL-1	B-1, EXIST GLAZED CMU	ACT-1		
117	GALLERY 1	P-4, P-7	P-4, P-7	P-4, P-7	P-4, P-7	CL-1	B-1, EXIST GLAZED CMU	P-1		
118	GALLERY 2 ENTRY	P-4	P-4	P-4	P-4	CL-1	B-1, EXIST GLAZED CMU	ACT-1		
120	STORAGE	P-4/GLAZED CMU	P-4/GLAZED CMU	P-4/GLAZED CMU	P-4/GLAZED CMU	EXISTING	B-1, EXIST GLAZED CMU	P-1		
121	GALLERY STORAGE	P-4/GLAZED CMU	P-4/GLAZED CMU	P-4/GLAZED CMU	P-4/GLAZED CMU	EXISTING	B-1, EXIST GLAZED CMU	P-1		
122	STORAGE	P-4	P-4	P-4	P-4	CL-1	B-1	P-1		
123	STORAGE	P-4	P-4	P-4	P-4	CL-1	B-1	P-1		
124	CHILDREN ART	P-4/GLAZED CMU	P-4/GLAZED CMU	P-4/GLAZED CMU	P-4/GLAZED CMU	CL-1	B-1, EXIST GLAZED CMU	P-1		
125	BREEDWAY	-	-	-	-	-	-	-	-	
126	WOMEN'S R.R.	P-4/GLAZED CMU	P-4/GLAZED CMU	P-4/GLAZED CMU	P-4/T-1	TER-1	TER-1	EXIST/P-2	GRND AND POLISH TERRAZZO	
127	MEN'S R.R.	P-4/GLAZED CMU	P-4/T-1	P-4/GLAZED CMU	P-4/GLAZED CMU	TER-1	TER-1	EXIST/P-2	GRND AND POLISH TERRAZZO	
128	JAN.	P-4	P-4	P-4	P-4	TER-1	TER-1	EXIST/P-2	GRND AND POLISH TERRAZZO	

DOOR SCHEDULE

NOTES:
 1. REFINISH DOOR LEAF AND/OR ASSOCIATED TRANSOM WHERE APPLICABLE PREP FOR PAINT FINISH
 2. PAINT FINISH
 3. MATCH EXISTING DOOR SIZE.

DOOR NO.	EXISTING / NEW	INTERIOR / EXTERIOR	SINGLE / PAIR	DOOR SIZE	DOOR	FRAME	HARDWARE	REMARKS
104	NB	INT	SINGLE	3'-0" x 7'-2"	D2 ALUM TEMPERED	F2 HM	J3 H3	2
106	NB	INT	SINGLE	3'-0" x 7'-0"	D2 ALUM TEMPERED	1AFO2 ALUM	- -	2
107	NB	INT	SINGLE	3'-0" x 7'-0"	D2 ALUM TEMPERED	1AFO2 ALUM	- -	2
108	NB	INT	SINGLE	3'-0" x 7'-0"	D2 ALUM TEMPERED	1AFO2 ALUM	- -	2
109	NB	INT	SINGLE	3'-0" x 7'-0"	D1 HM	F2 HM	J2 H2	6
111	NB	INT	SINGLE	3'-0" x 7'-0"	D1 HM	F1 HM	J1 H1	6
112	NB	INT	SINGLE	3'-0" x 7'-0"	D2 ALUM TEMPERED	F1 HM	J3 H3	6
113	NB	INT	SINGLE	3'-0" x 7'-0"	D1 HM	F1 HM	J1 H1	6
114	NB	INT	SINGLE	3'-0" x 7'-0"	D1 HM	F2 HM	J2 H2	7
115	NB	INT	SINGLE	3'-0" x 7'-0"	P-4	F1 HM	J1 H1	7
117	NB	INT	PAIR	3'-6" x 10'-0"	D2 ALUM TEMPERED	1AFO1 ALUM	- -	3
118	NB	INT	SINGLE	3'-0" x 7'-0"	D2 ALUM TEMPERED	F2 HM	J3 H3	5
120	EXIST	INT	SINGLE	3'-0" x 7'-0"	EXIST	EXIST	EXIST	1
121	NB	INT	PAIR	3'-0" x 7'-0"	D1 HM	F2 HM	J3 H3	4
122	EXIST	INT	SINGLE	2'-0" x 6'-8"	EXIST	EXIST	EXIST	1
123	EXIST	INT	SINGLE	2'-0" x 6'-8"	EXIST	EXIST	EXIST	1
124	EXIST	INT	SINGLE	3'-0" x 7'-0"	EXIST	EXIST	EXIST	1
126a	EXIST	INT	SINGLE	3'-0" x 7'-0"	EXIST	EXIST	EXIST	Existing
127a	EXIST	INT	SINGLE	3'-0" x 7'-0"	EXIST	EXIST	EXIST	Existing
128	EXIST	INT	SINGLE	2'-0" x 7'-0"	EXIST	EXIST	EXIST	Existing

DOOR FRAME AND HEAD DETAILS

1. H1: CMU AS SCHEDULED, PAINTED CMU LINTEL, SEE STRUCT. DNOS. STEEL DOOR FRAME (FILL W/ GROUT), AS SCHED.

2. H2: 5/8" DRYWALL ON EACH SIDE, STUD FRAMING HEADER, STEEL DOOR FRAME, AS SCHED.

3. H3: CONT. WOOD NAILER, STUD FRAMING HEADER, BORROWED LITE FRAME, 5/8" DRYWALL ON EACH SIDE, AS SCHED.

FLOOR EDGE DETAILS

4. LAF01 SCALE: 1/4" = 1'-0"

5. LAF02 SCALE: 1/4" = 1'-0"

6. DOOR TYPE

7. DOOR FRAME TYPE

BID AND PERMIT SET 2021-04-30

No. Revisions / Submissions Date

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CITY OF KETTERING
ROSEWOOD ARTS CENTER

INTERIOR RENOVATION
PHASE 1

2655 OLSON DRIVE
 KETTERING, OH 45420

DOOR SCHEDULE & DETAILS

Comm. No. Date 20605.00 2020/04/30
 Drawn DJB
 Checked WK 1.A001

STATE OF OHIO
 JOHN CHARLES FABELLO
 011175
 REGISTERED ARCHITECT
 LICENSE ARC 9711799, EXPIRES: 12/31/21

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5/14/2021 7:54:13 AM



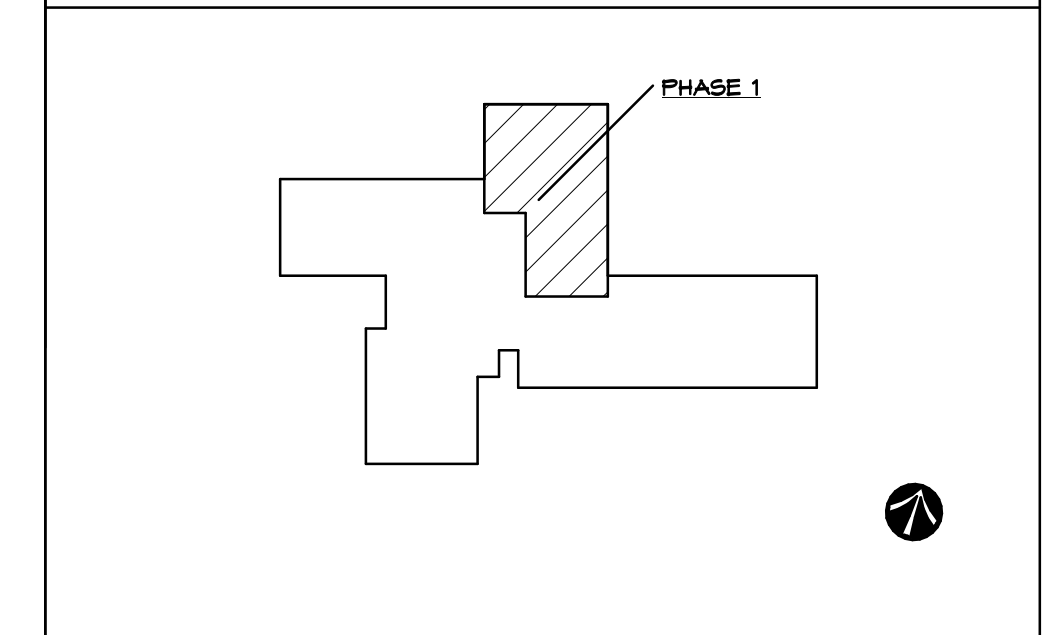
SHEET NOTES:

1. PROVIDE ADJUSTABLE SHELF STANDARDS @ HEIGHT PROVIDE (4) HIGH PRESSURE LAMINATE SHELVES PER INSTALLATION.
2. NEW CUSTOM CASEWORK: REFER TO RELATED DETAILS.
3. GALLERY WALL TREATMENT AS SPECIFIED & DETAILED.
4. ALIGN NEW WALL WITH FACE OF EXISTING.
5. NEW WALL MOUNTED HANDRAIL @ EXISTING RAMP.
6. SLAB FILL AND REPAIR AS REQUIRED AREAS WHERE EXISTING CONSTRUCTION WAS REMOVED. REPAIR TO MEET REQUIREMENTS FOR NEW FLOOR FINISH AS SPECIFIED.
7. SYSTEMS FURNITURE / LOOSE FURNITURE FOR REFERENCE & COORDINATION NOT IN CONTRACT.
8. CASSED OPENINGS IN EXISTING WALL.
9. EQUIPMENT PROVIDED BY OWNER. PROVIDE BLOCKING IN WALL FOR ANY WALL MOUNTED ITEMS.
10. REPAIR EXISTING DOOR / FRAME AS REQUIRED. PAINT FRAME AS SPECIFIED.
11. PROTECT EXISTING DOOR / FRAME.
12. MFRM DRYWALL THROUGH OPENING TO EACH SIDE.
13. EXTEND MASONRY PARTITION TO DECK. MATCH MASONRY WIDTH AT TOP OF WALL. COMPLETELY SEAL GAP BETWEEN CMU AND DECK WITH MINERAL WOOL. REFER TO DETAIL SHEET 0001.

GENERAL NOTES:

- A. EXISTING FLOOR SURFACE SHALL REMAIN IN MANY INSTANCES. CONTRACTOR SHALL INCLUDE NECESSARY FLOOR PREPARATIONS AS REQUIRED FOR THE NEW FINISH AS SPECIFIED.
- B. CONTRACTOR SHALL REPAIR CMU WALL SURFACES AS REQUIRED AFTER DEMOLITION OPERATIONS TO MATCH OWNERS MOGUPS FOR FINAL PAINT FINISH.
- C. EXISTING GLAZED CMU SHALL REMAIN AS THE FINAL FINISH IN ALL INSTANCES EXCEPT WHERE BEING COVERED BY ADDITIONAL WALL CONSTRUCTION OR OTHER FINISHES APPLIED OVERTOP.
- D. STANDARD CMU SHALL BE PAINTED UNLESS NOTED OTHERWISE.
- E. EXISTING AND NEW DOOR FRAMES SHALL BE PAINTED AS PER THE MATERIAL SCHEDULE.
- F. REPAIR ALL EXISTING WOOD DOORS AND WOOD TRANSOM PANELS IN PREPARATION FOR A NEW PAINT FINISH AS SPECIFIED.
- G. ALL NEW GLAZING IN NEW DOORS/SWELTETS/TRANSOMS SHALL BE TEMPERED. EXISTING GLAZING IN DOORS/SWELTETS/TRANSOMS TO REMAIN SHALL BE RETAINED AND DOES NOT REQUIRE REPLACEMENT.
- H. EXISTING DOORS ARE TYPICALLY HAVING LOCKSETS REPLACED TO PROVIDE A LEVER HANDLE. HINGES AND OTHER HARDWARE TYPICALLY WILL REMAIN. REFER TO DOOR SCHEDULE AND HARDWARE SPECIFICATION.

KEY PLAN:



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**CITY OF KETTERING
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**INTERIOR RENOVATION
PHASE 1**

2655 OLSON DRIVE
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NEW WORK FLOOR PLAN

	Comm. No.	Date
	20605.00	2020/04/30
	Drawn	Drawing No.
	DJB	1.A101
Checked	WK	
<small>JOHN C. FABELO LICENSE ARC 9711799, EXPIRES: 12/31/21</small>		

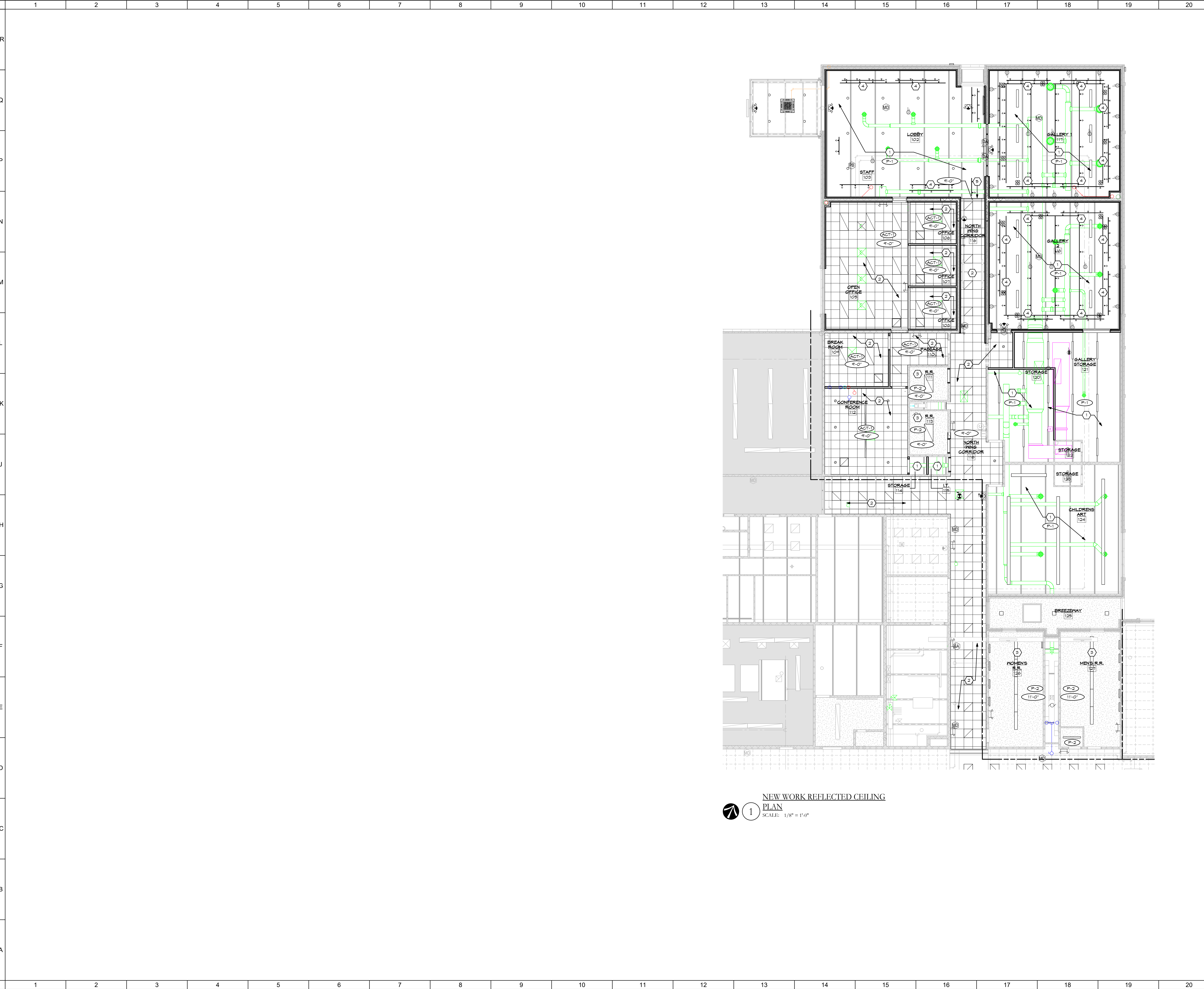
2 PARTIAL NEW FLOOR FINISHES
SCALE: 1/8" = 1'-0"

1 PARTIAL NEW FLOOR PLAN
SCALE: 1/8" = 1'-0"

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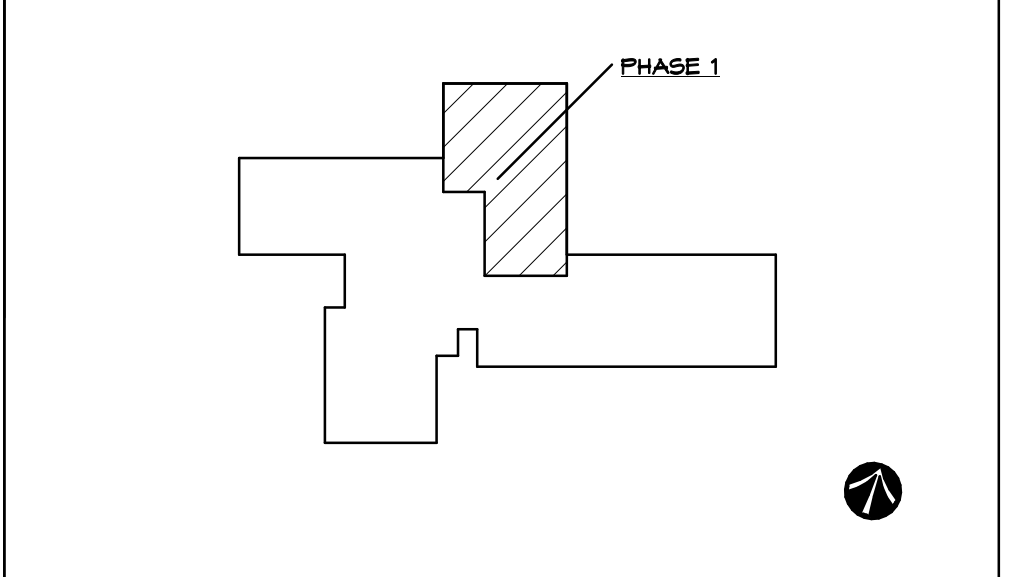
NEW WORK REFLECTED CEILING PLAN
 SCALE: 1/8" = 1'-0"

SHEET NOTES:

1. EXPOSED METAL DECK AND STRUCTURE. PREP FOR NEW FINISH AS SPECIFIED.
2. ACUSTIC CEILING SYSTEM AS SPECIFIED AND SCHEDULED.
3. DRYWALL CEILING WITH FINISH AS SCHEDULED.
4. ADJUSTABLE LIGHTING FIXTURE. REFER TO ELECTRICAL DRAWINGS.
5. COORDINATE FINAL LOCATION IN THE FIELD WITH ARCHITECT.
6. DRYWALL BULKHEAD ALIGNED WITH WALL FACE. TERMINATE ACT INTO THE BACKSIDE OF THE BULKHEAD.

GENERAL NOTES:

KEY PLAN:



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No.	Revisions / Submissions	Date

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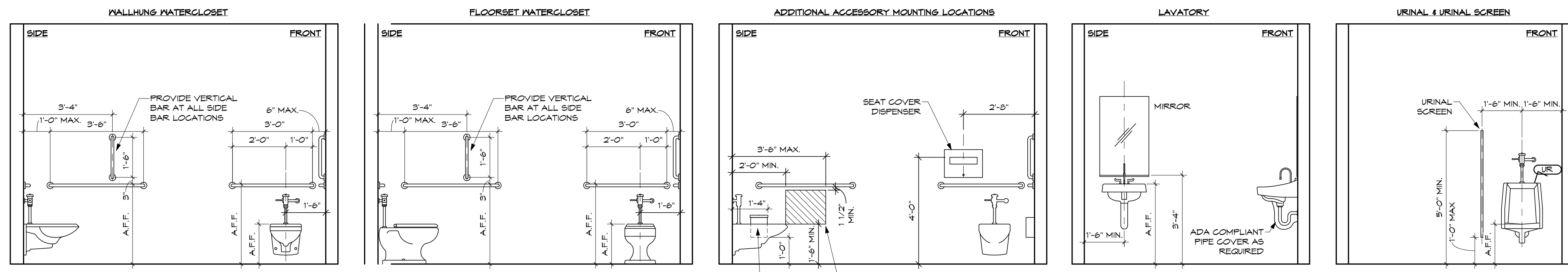
**INTERIOR RENOVATION
 PHASE 1**

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NEW WORK REFLECTED CEILING PLAN

	Comm. No.	Date
	20605.00	2020/04/30
	Drawn	Drawing No.
Checked	DJB	1.A201
	WK	

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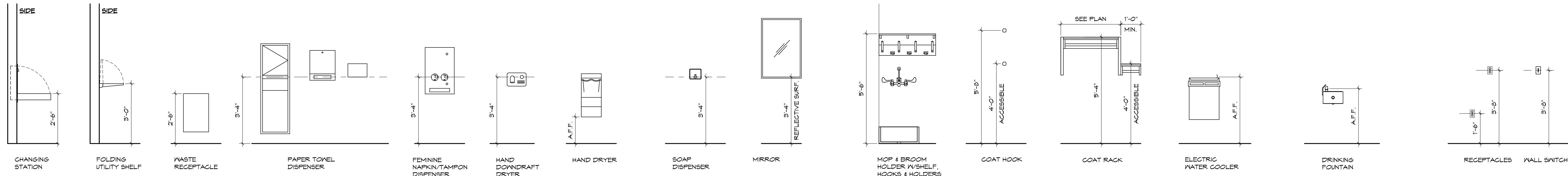


GENERAL NOTES:
 A. NOT ALL ITEMS SHOWN MAY BE APPLICABLE TO THIS PROJECT.
 B. ALL ACCESSIBLE REACH AND MOUNTING DIMENSIONS SHALL CONFORM TO THE '02 ADA 111.1, 2004 VERSION STANDARDS.
 C. PROJECT SPECIFIC ITEMS NOT SHOWN, OR THAT REQUIRE SELECTIVE ALTERATIONS TO LOCATION, MOUNTING, ETC., SHALL BE COORDINATED WITH ARCHITECT PRIOR TO INSTALLATION.
 D. ALL DIMENSIONS ARE TO FINISH FACE. COORDINATE FINAL FINISH MATERIALS AND THICKNESS.
 E. ALL DIMENSIONS ARE TO INCLUDE ACCESS TO OPERABLE LEVERS, CONTROLS, BUTTONS, CONSOLES, AND/OR OTHER ITEMS THAT MAY REQUIRE INTERACTION BY A PATRON.

DESCRIPTION	A.F.F.	SB A.F.F.
ADULT NON-ADA	1'-3"	-
ADULT ADA	1'-6"	3'-0"

A.F.F.	DESCRIPTION
3'-0"	ADULT NON-ADA
2'-10"	ADULT ADA

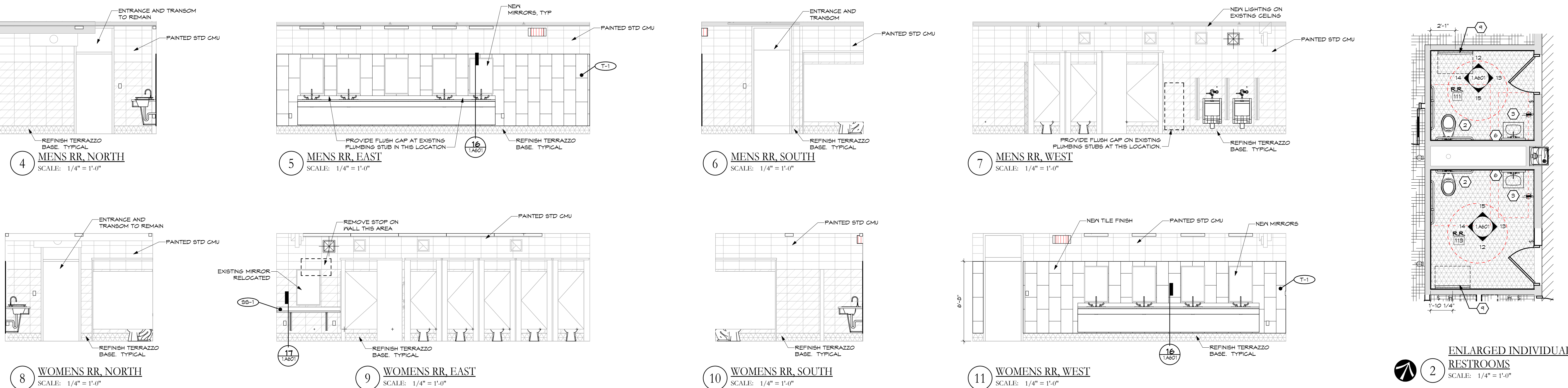
A.F.F.	DESCRIPTION
2'-0"	ADULT NON-ADA
1'-8"	ADULT ADA



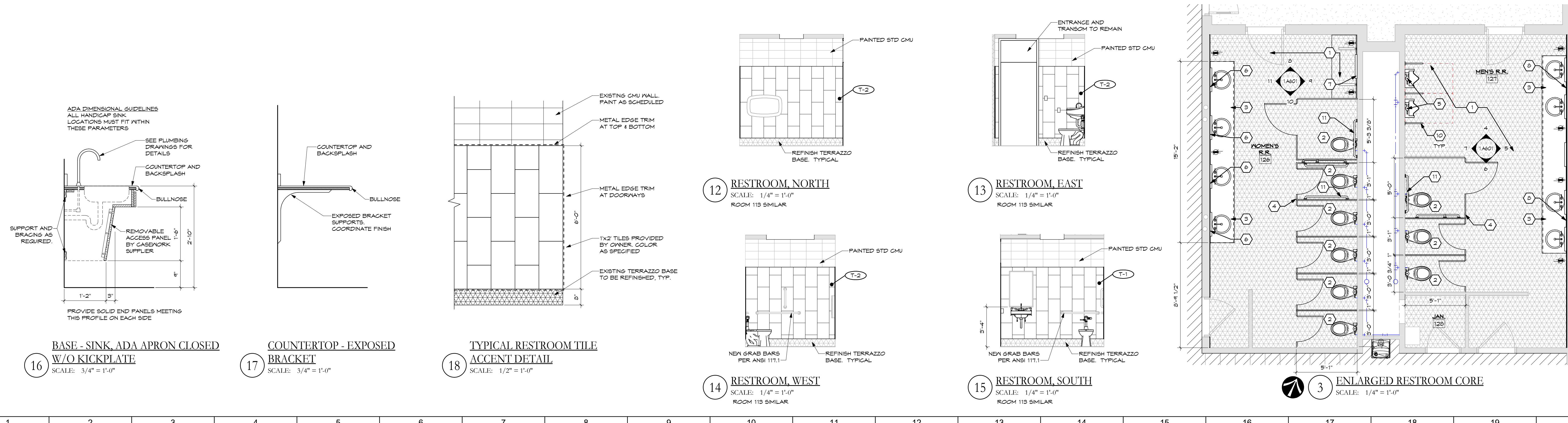
DESCRIPTION	A.F.F.
ADULT NON-ADA	3'-4"
ADULT ADA	3'-0"

DESCRIPTION	A.F.F.
ADULT NON-ADA	3'-4"
ADULT ADA	3'-0"

1 TYPICAL MOUNTING HEIGHTS
 SCALE: 3/8" = 1'-0"



2 ENLARGED INDIVIDUAL RESTROOMS
 SCALE: 1/4" = 1'-0"



16 BASE - SINK, ADA APRON CLOSED W/O KICKPLATE
 SCALE: 3/4" = 1'-0"

17 COUNTERTOP - EXPOSED BRACKET
 SCALE: 3/4" = 1'-0"

18 TYPICAL RESTROOM TILE ACCENT DETAIL
 SCALE: 1/2" = 1'-0"

3 ENLARGED RESTROOM CORE
 SCALE: 1/4" = 1'-0"

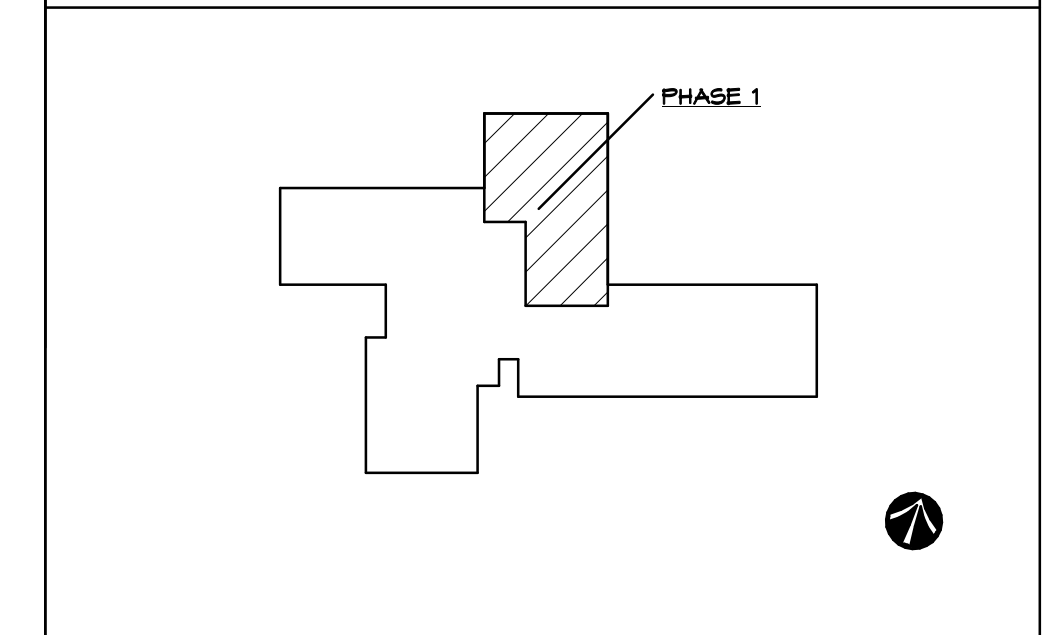
SHEET NOTES:

- REFINISH EXISTING TERRAZZO AS SPECIFIED.
- NEW TOILET FIXTURE AT ORIGINAL LOCATION. REFER TO DETAILS.
- NEW LAVATORY AND COUNTER/SKIRT INSTALLATION. REFER TO DETAILS.
- NEW RESTROOM PARTITION SYSTEM AS SPECIFIED.
- NEW URINAL AS SPECIFIED.
- NEW WALL MOUNTED MIRROR.
- EXISTING WALL MOUNTED MIRROR TO REMAIN. RELOCATED EXISTING WALL MOUNTED MIRROR.
- WALL MOUNTED BABY CHANGING STATION.
- NEW URINAL SCREEN AS SPECIFIED.
- NEW ANSI 111.1 COMPLIANT GRAB BARS.

GENERAL NOTES:

- FIELD VERIFY EXISTING CONDITION DIMENSIONS PRIOR TO COMMENCING WORK. NEW WORK MODIFICATIONS UTILIZE MANY EXISTING CONDITION ELEMENTS. DIMENSIONAL VARIATION FROM THE PLANS MAY REQUIRE ADJUSTMENTS BY THE DESIGN TEAM. EXISTING GLAZED CMU SHALL REMAIN AS FINISH UNLESS OTHERWISE INDICATED.
- STANDARD CMU SHALL BE PREPARED FOR NEW PAINT FINISH AS SPECIFIED.
- PATCH EXISTING WALLS WHERE ELEMENTS ARE REMOVED OR PROVIDE STAINLESS STEEL FLUSH MOUNTED CAP IF ACCEPTABLE TO THE OWNER.
- OWNER SHALL PROVIDE THE FOLLOWING RESTROOM ACCESSORIES. CONTRACTOR SHALL INSTALL:
 - PAPER TOWEL DISPENSER
 - TOILET TISSUE DISPENSER
 - LOOSE TRASH RECEPTACLE
 - SOAP DISPENSER

KEY PLAN:



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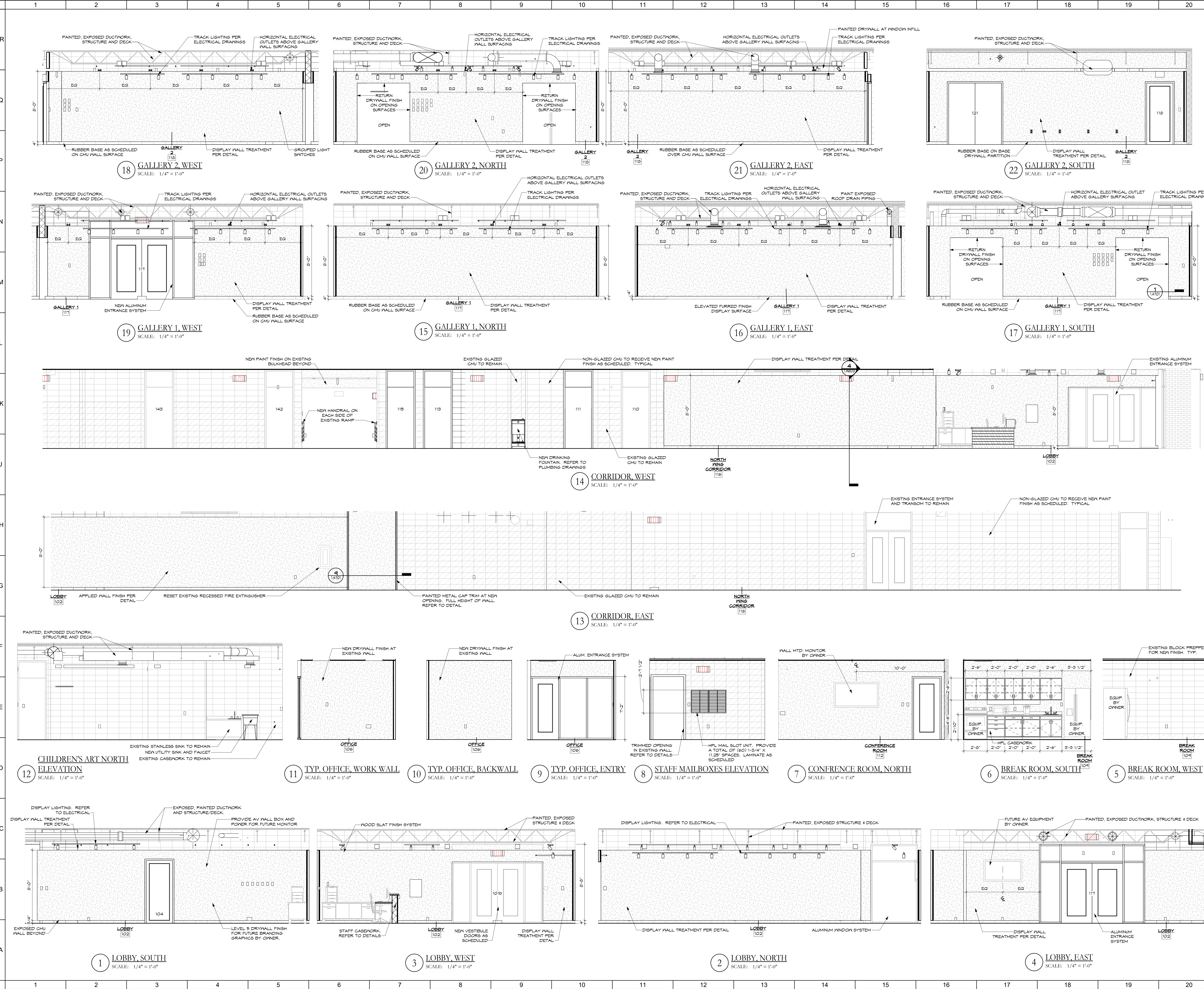
**INTERIOR RENOVATION
 PHASE 1**

2655 OLSON DRIVE
 KETTERING, OH 45420

ELEVATIONS, SECTIONS, & DETAILS

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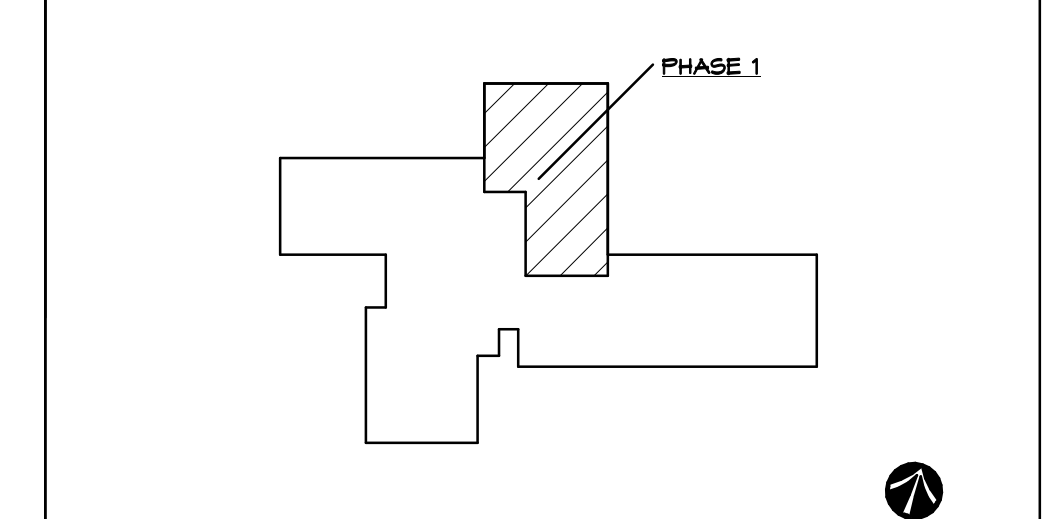
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INTERIOR RENOVATION PHASE 1

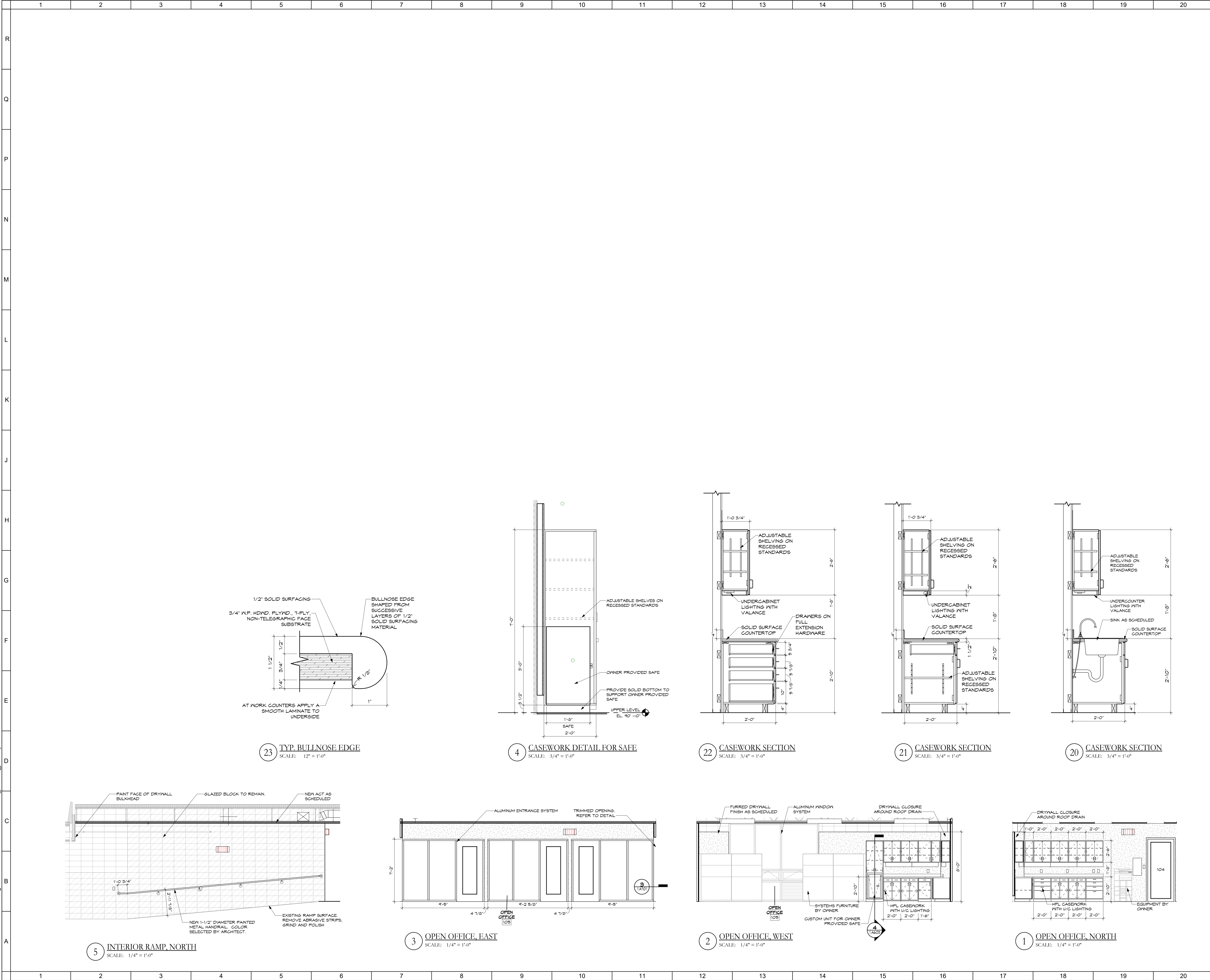
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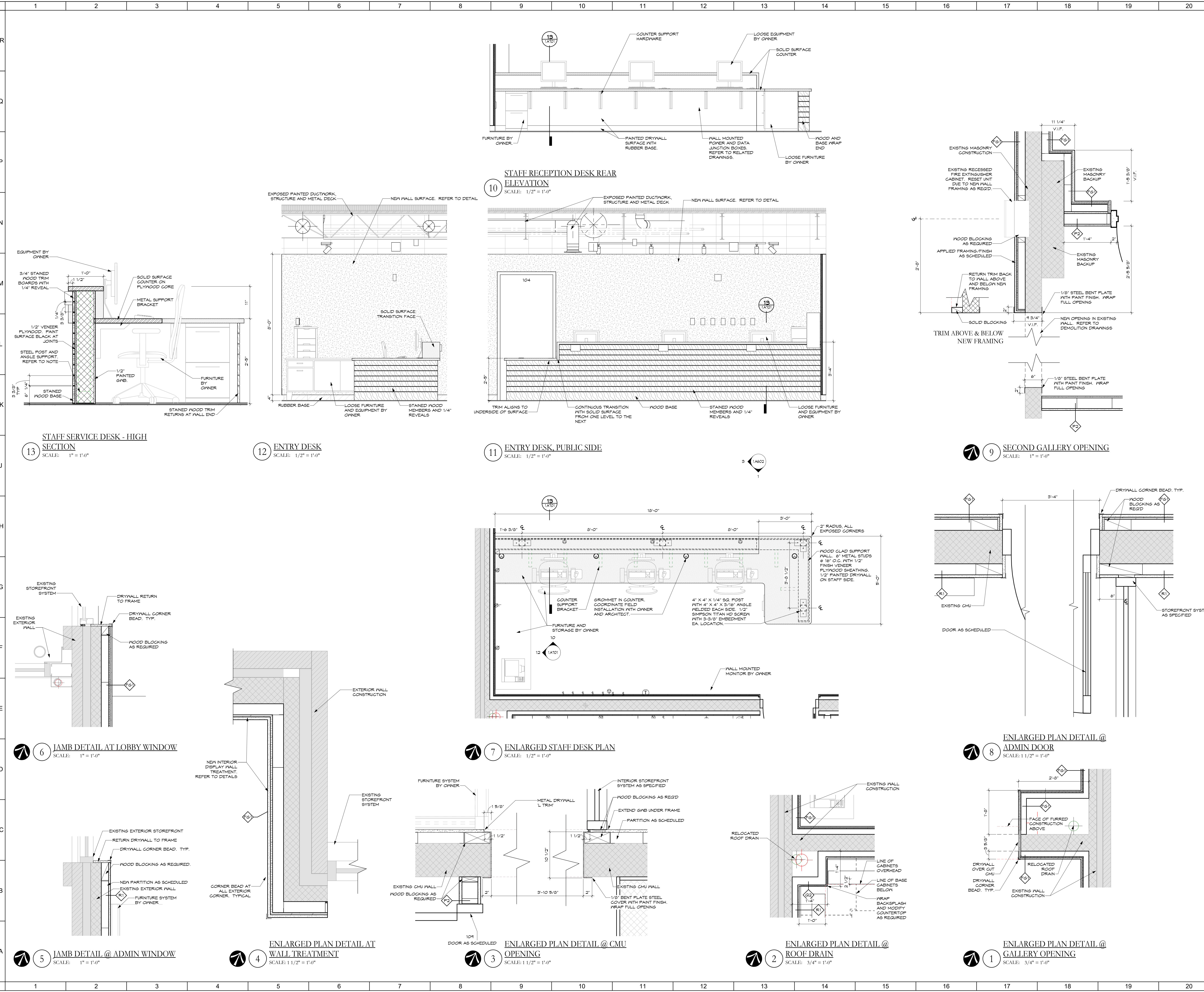
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STATE OF OHIO
JOHN CHARLES FABELO
11178
REGISTERED ARCHITECT
JOHN C. FABELO
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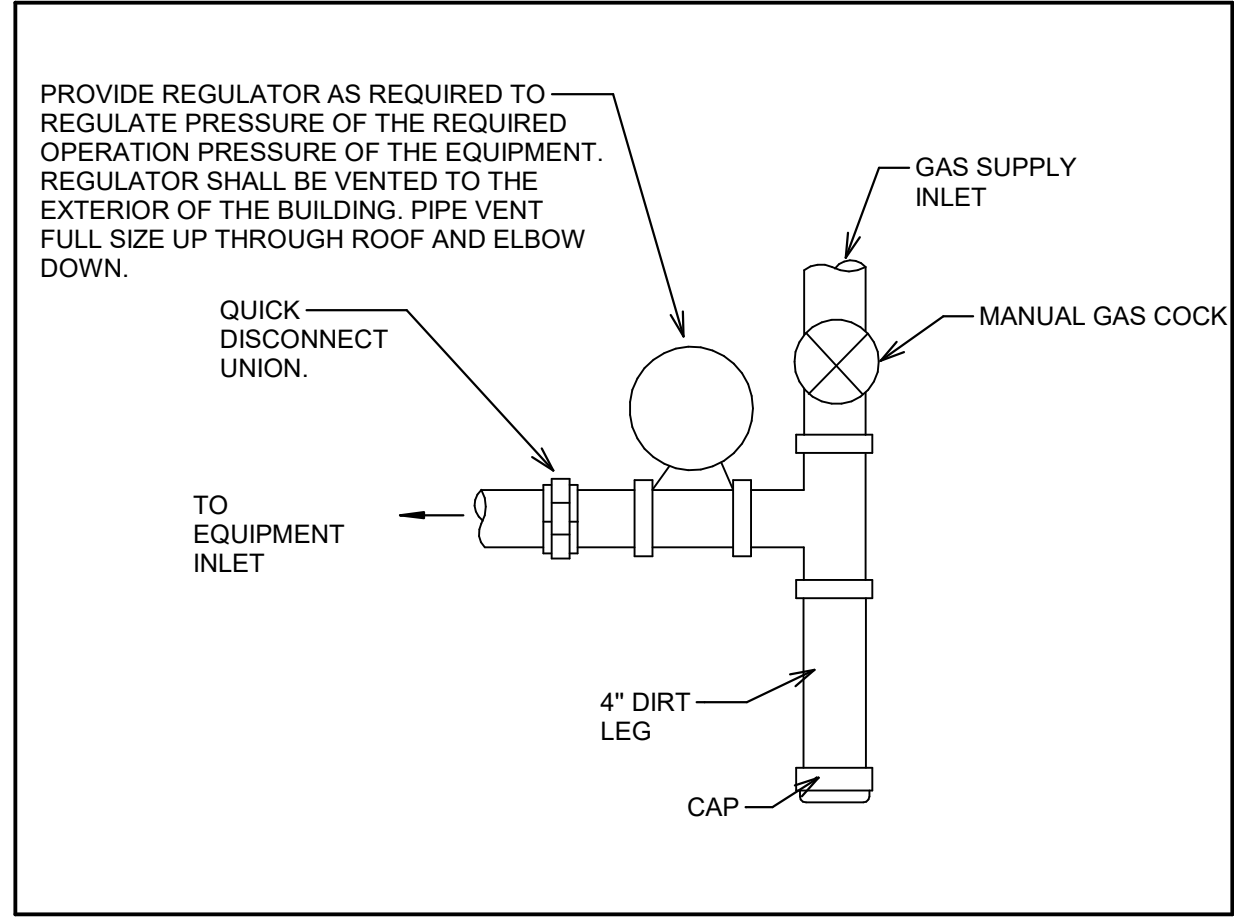
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PLUMBING FIXTURE SCHEDULE - PHASE 1											
MARK	DESCRIPTION	MANUFACTURER	MODEL	FAUCET/VALVE MANUFACTURER	FAUCET/VALVE MODEL	CW	HW	SAN	VENT	ACCESSORIES	
P-1A	LAVATORY	AMERICAN STANDARD	0495.221	MOEN	7594-ESRS	1/2"	1/2"	2"	1 1/2"	UNDERMOUNT LAVATORY, ADA COMPLIANT, VITREOUS CHINA, FRONT OVERFLOW, 1.2 GPM MANUAL FAUCET.	
P-1B	LAVATORY	AMERICAN STANDARD	0356.421	SLOAN	EAF-150-BAT-CP-0.35GPM-MLM-IR-IG-FCT	1/2"	1/2"	2"	1 1/2"	WALL-HUNG LAVATORY, ADA COMPLIANT, VITREOUS CHINA, FRONT OVERFLOW, FAUCET LEDGE WITH PEDESTAL SPOUT ON SINGLE CENTER HOLE, 0.5 GPM, MANUAL BALL FAUCET.	
P-2A	ADA WATER CLOSET	KOHLER	K96057-0	SLOAN	ROYAL 111-1.28	1 1/4"	---	3"	2"	FLOOR SET MANUAL FLUSH VALVE TOILET, ADA COMPLIANT, VITREOUS CHINA, 1.28 GPF SIPHON JET.	
P-2B	STANDARD WATER CLOSET	KOHLER	K96053-0	SLOAN	ROYAL 111-1.28	1 1/4"	---	3"	2"	FLOOR SET MANUAL FLUSH VALVE TOILET, VITREOUS CHINA, 1.28 GPF SIPHON JET.	
P-3	URINAL	KOHLER	K-4991-ET-0	SLOAN	ROYAL 186-0.5	3/4"	---	2"	1 1/2"	WALL-HUNG URINAL, ADA COMPLIANT, VITREOUS CHINA, 0.5 GPF WASHOUT, MANUAL FLUSHVALVE.	
P-4A	SINGLE UTILITY SINK	MUSTEE	18F	CHICAGO FAUCET	895-ABCP	1/2"	1/2"	2"	1 1/2"	FLOOR MOUNT SINGLE COMPARTMENT UTILITY SINK, PVC DRAIN BODY, SWING GOOSENECK SPOUT, 2.2 GPM AERATOR.	
P-5	BREAKROOM SINK	ELKAY	DCFU2115	MOEN	7594-ESRS	1/2"	1/2"	2"	1 1/2"	UNDERMOUNT ONE COMPARTMENT SINK WITH GARBAGE DISPOSAL, TYPE 304 STAINLESS STEEL, SWING GOOSENECK SPOUT WITH PULL DOWN SPRAYER, 1.5 GPM AERATOR.	
P-6	DRINKING FOUNTAIN W/ BOTTLE FILLER	ELKAY	EZ58WSLK	---	---	1/2"	---	1 1/2"	1 1/2"	WALL-HUNG WATER COOLER WITH BOTTLE FILLING STATION, ADA COMPLIANT, NON-FILTERED 8.0 GPM CHILLER.	

NATURAL GAS SCHEDULE - PHASE 1

EQUIPMENT TAG	DESCRIPTION	CONDITION	LOAD	PRESSURE	CONNECTION SIZE
RTU-1	ROOFTOP AIR HANDLING UNIT	NEW	176 CFH	4.5 - 14.0 IN WG	3/4" NPT
WH	DOMESTIC WATER HEATER	EXISTING	75.5 CFH	5.0 - 14.0 IN WG	3/4" NPT
BOILER	HVAC BOILER	EXISTING	1225 CFH	7.0 IN WG	3" NPT
KILN	GAS POWERED KILN	EXISTING	220 CFH	9.0 - 11.0 IN WG	1-1/2" NPT
TOTAL	NEW BUILDING TOTAL	---	1696.5 CFH	---	---



1 TYPICAL GAS CONNECTION DETAIL
SCALE: NONE

PLUMBING GENERAL NOTES:

- A. COORDINATE THE LOCATION OF DRAIN, GAS OUTLETS, ETC., WITH ALL CASEWORK EQUIPMENT, MECHANICAL ROOM EQUIPMENT, ETC. PRIOR TO COMMENCING INSTALLATION. WORK NOT SO COORDINATED SHALL BE REMOVED AND PROPERLY INSTALLED AT THE EXPENSE OF THE CONTRACTOR.
- B. THE CONTRACTOR SHALL EXERCISE EXTREME CARE IN THE COURSE OF THEIR WORK SO AS TO ENSURE THAT THEY DO NOT INTERFERE WITH ANY EXISTING SERVICES. FOR SAFETY PURPOSES, PAY PARTICULAR ATTENTION TO THIS PRECAUTION RELATIVE TO NATURAL GAS AND ELECTRICAL LINES. VERIFY THE LOCATION, SIZE, TYPE, ETC., OF EACH UNDERGROUND OR OVERHEAD UTILITY. ALL WORK SHALL BE PERFORMED IN ACCORD WITH ALL FEDERAL, STATE AND/OR LOCAL RULES, REGULATIONS, STANDARD AND SAFETY REQUIREMENTS. UTILITIES SHALL BE INSTALLED IN ACCORD WITH THE APPLICABLE MUNICIPALITY OR UTILITY COMPANY STANDARDS. IN ALL CASES, THE MOST STRINGENT REQUIREMENT SHALL APPLY.
- C. WHERE WORK IS REQUIRED ABOVE EXISTING LAY-IN PLASTER OR GYPSUM BOARD CEILINGS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND REINSTALLATION (OR REPLACEMENT, IF DAMAGED) OF ALL CEILING OR TILE AND GRID MEMBERS NECESSARY TO PERFORM HIS WORK. NEW TILE AND GRID SHALL MATCH THE SURROUNDING AREAS. ALL PATCHING WORK SHALL MATCH ADJACENT SURFACES.
- D. ALL NEW WORK SHALL BE HUNG FROM STRUCTURE, NOT FROM THE WORK OF OTHER TRADES, WHETHER EXISTING OR NEW. COORDINATE ALL WORK WITH PROJECT PHASING REQUIREMENTS.
- E. PATCH, REPAIR AND PAINT OR PROVIDE WALL COVERING FOR (TO OWNERS' STANDARDS) EXISTING WALLS, CEILINGS, ETC., THAT ARE TO REMAIN IF DAMAGED DURING CONSTRUCTION. REPAIRS SHALL MATCH ADJACENT SURFACES TO THE SATISFACTION OF THE ARCHITECT AND OWNER.
- F. OBSERVE ALL APPLICABLE CODES, RULES AND REGULATIONS THAT MAY APPLY TO THE WORK UNDER THIS CONTRACT. CITY, COUNTY, LOCAL, FEDERAL, MUNICIPALITY, UTILITY COMPANY, STATE, ETC.
- G. CONTRACTOR SHALL BE AWARE OF UNSEEN PLUMBING WORK DURING DEMOLITION. IF ITEMS ARE UNCOVERED DURING DEMOLITION THEN FIELD VERIFY THE USE OF THE ITEMS AND PLAN AN ALTERNATE ROUTE TO RUN THESE ITEMS. THEN CONTACT THE ENGINEERS TO REVIEW THE ROUTING.
- H. WHERE FIRE PROOFING IS SPRAYED ON EXISTING STRUCTURE ALL EXISTING CONDUITS, WATER, HYDRONIC, STEAM, CHILLED WATER, FIRE PROTECTION LINES, MED GAS, ETC. SHALL BE LOWERED TO BE BELOW FULL THICKNESS OF FIRE PROOFING WITH NO INTERFERENCE.
- I. ALL PENETRATIONS OF FIRE AND SMOKE RATED ASSEMBLIES SHALL BE APPROPRIATELY FIRE STOPPED PER AN APPROVED U.L. LISTED STANDARD. CONTRACTOR SHALL PAY PARTICULAR ATTENTION TO INSULATED PIPING PENETRATIONS.
- J. ALL WORK REQUIRING DOWNTIME OF ANY AREA IN THE BUILDING SHALL BE SCHEDULED 2 WEEKS IN ADVANCE, AND SHALL COMPLY WITH INTERIM LIFE SAFETY MEASURES.
- K. ALL PIPING IN ROOMS WITH CEILINGS SHALL BE ABOVE CEILING EXCEPT AS NOTED.
- L. LOCATIONS OF PIPING AND EQUIPMENT ARE APPROXIMATE AND SUBJECT TO MINOR ADJUSTMENTS IN THE FIELD. DO NOT SCALE THE DRAWINGS.
- M. ALL OFFSETS IN PIPING ARE NOT NECESSARILY SHOWN. PROVIDE ADDITIONAL OFFSETS WHERE NECESSARY.
- N. THE CONTRACTOR IS RESPONSIBLE FOR ALL UTILITY COMPANY FEES OR OTHER COSTS THAT ANY UTILITY COMPANY MAY REQUIRE TO COMPLETE THEIR WORK (GAS, SEWER, WATER, ETC.).
- O. WHERE MOUNTING HEIGHTS ARE NOT INDICATED OR ARE IN CONFLICT WITH ANY OTHER BUILDING SYSTEM, CONTACT THE ENGINEERS BEFORE INSTALLATION. REFER ALSO TO ARCHITECTURAL WALL INTERIOR AND EXTERIOR WALL ELEVATIONS, CEILING HEIGHTS AND OTHER DETAIL OF THESE DOCUMENTS.
- P. ANY VIBRATING, OSCILLATING OR OTHER NOISE OR MOTION PRODUCING EQUIPMENT SHALL BE ISOLATED FROM SURROUNDING SYSTEMS IN AN APPROVED MANNER. NOISY OR STRUCTURALLY DAMAGING INSTALLATIONS SHALL BE SATISFACTORILY REPLACED OR REPAIRED AT THE INSTALLING CONTRACTOR'S EXPENSE. THE FINAL DECISION ON THE SUITABILITY OF A PARTICULAR INSTALLATION'S ACCEPTABILITY SHALL BE THAT OF THE ENGINEER.
- Q. DEVIATIONS IN SIZE, CAPACITIES, FIT, FINISH, ETC. FOR EQUIPMENT FROM THAT USED AS BASIS OF DESIGN SHALL BE THE RESPONSIBILITY OF THE PURCHASER OF THAT EQUIPMENT. ANY PROVISIONS REQUIRED TO ACCOMMODATE A DEVIATION, WHETHER APPROVED BY THE ENGINEERS OR NOT, SHALL BE THE RESPONSIBILITY OF THE PURCHASER.
- R. VALVES OR ANY MECHANICAL/ELECTRICAL ITEM REQUIRING ACCESS SHALL NOT BE LOCATED ABOVE A HARD CEILING. IF THIS IS NOT POSSIBLE, THEN AN APPROPRIATELY SIZED ACCESS DOOR SHALL BE PLACED UNDER THE ITEM TO ALLOW EASY MAINTENANCE AND ADJUSTMENT. ADDITIONALLY ALL SUCH ITEMS SHALL NOT BE LOCATED AN UNREASONABLE DISTANCE ABOVE THE CEILINGS. IN GENERAL ALL SUCH ITEMS UNLESS INDICATED OTHERWISE SHALL BE MOUNTED SIX TO TWELVE INCHES ABOVE THE CEILING. IF IN DOUBT, CONTACT ENGINEER PRIOR TO INSTALLING.

PLUMBING DEMOLITION NOTES:

- A. THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR AREAS IN WHICH THE CEILING IS REMAINING. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING THE EXISTING CEILING AS REQUIRED AND REINSTALLATION. TEMPORARILY SUPPORT LIGHTS, DIFFUSERS, CEILING ETC. REPLACE BROKEN CEILING TILES WITH NEW AT NO ADDITIONAL COST TO OWNER. FIELD VERIFY EXACT REQUIREMENTS.
- B. ALL OUTAGES SHALL BE SCHEDULED THROUGH THE PROJECT REPRESENTATIVE FOR PROPER COORDINATION. A REQUEST FOR AN OUTAGE SHALL BE SUBMITTED IN WRITING A MINIMUM OF TWO WEEKS IN ADVANCE.
- C. DURING SPRINKLER SYSTEM OUTAGES THE CONTRACTORS SHALL PROVIDE FIRE WATCH OF AREAS WITH OUTAGES.
- D. ALL WALLS AND FLOOR SLABS SHALL BE REPAIRED TO MATCH EXISTING AND TO A LIKE NEW CONDITION. ALL RATED WALLS AND FLOOR SLABS SHALL BE PATCHED AND REPAIRED TO MAINTAIN RATING.
- E. ALL EXISTING BUILDING FINISHES SHALL BE PROTECTED DURING THE DEMOLITION PHASE.
- F. HEAVY DASHED LINES INDICATE ITEMS FOR REMOVAL (U O N) AND LIGHT SOLID LINES INDICATE EXISTING ITEMS TO REMAIN.
- G. COORDINATE DISPOSAL OF ALL FIXTURES, DEVICES, ETC. (INDICATED FOR DEMOLITION) WITH THE OWNER.

PHASING NOTE:

- A. THIS PROJECT INTERFACES EXTENSIVELY WITH EXISTING BUILDING SERVICES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE AND PHASE ALL TIE-INS AND INTERRUPTIONS OF EXISTING SERVICES TO MINIMIZE OR ELIMINATE DOWNTIME. AS AN EXAMPLE, MAIN GAS SERVICE, WATER SERVICE, ELECTRICAL SERVICE, HVAC SERVICES, STEAM GENERATION, ETC., WILL BE AFFECTED AND REPLACED OR MOVED DURING THIS PROJECT. THE CONTRACTOR SHALL INSTALL ALL NEW SERVICES AND EQUIPMENT AND HAVE THEM TESTED AND FULLY AND RELIABLY FUNCTIONAL PRIOR TO INTERRUPTING, RELOCATING OR REMOVING ANY EXISTING SERVICES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO BARE ANY AND ALL COSTS ASSOCIATED WITH THIS PHASING, INCLUDING TEMPORARY SERVICES, TEMPORARY RELOCATION, PREMIUM TIME WORK, ETC. CONTRACTOR SHALL COORDINATE ALL SAID WORK WITH THE OWNER AND APPLICABLE UTILITIES PER THE CONTRACT DOCUMENTS.

SYMBOLS & ABBREVIATIONS

AFF	ABOVE FINISHED FLOOR		POINT OF CONNECTION
CW	DOMESTIC COLD WATER		LIMIT OF DEMOLITION
DN	DOWN		PIPE ELBOW TURNING UP/TURNING DOWN
FPWH	FREEZE PROOF WALL HYDRANT		PIPE TEE TURNING UP/TURNING DOWN
HB	HOSE BIBB		FIRE PROTECTION LINE
HW	DOMESTIC HOT WATER		GAS LINE
NTS	NOT TO SCALE		ROOF LEADER PIPING
ORL	OVERFLOW ROOF LEADER		SANITARY WASTE PIPING
PSI	POUNDS PER SQUARE INCH		VENT PIPING
RHW	DOMESTIC RECIRCULATING HOT WATER		EXISTING PIPING (THIN LINE)
RL	ROOF LEADER		ABANDONED EXISTING PIPING (THIN LINE)
SCW	SOFT DOMESTIC COLD WATER		DOMESTIC COLD WATER PIPING
TYP	TYPICAL		DOMESTIC HOT WATER SUPPLY
VTR	VENT THRU ROOF		DOMESTIC RECIRCULATING HOT WATER
P-#	PLUMBING FIXTURE DESIGNATOR		BALANCING VALVE
RD-#	ROOF DRAIN DESIGNATOR		BALL VALVE
(X)	TAGGED NOTE DESIGNATOR		SAFETY RELIEF VALVE
(A)	REVISION DESIGNATOR		SAFETY RELIEF VALVE
			PRESSURE REDUCING VALVE
			STRAINER
			CHECK VALVE
			DOUBLE CHECK VALVE ASSEMBLY
			PIPING UNION
			THERMOMETER
			HOSE BIB

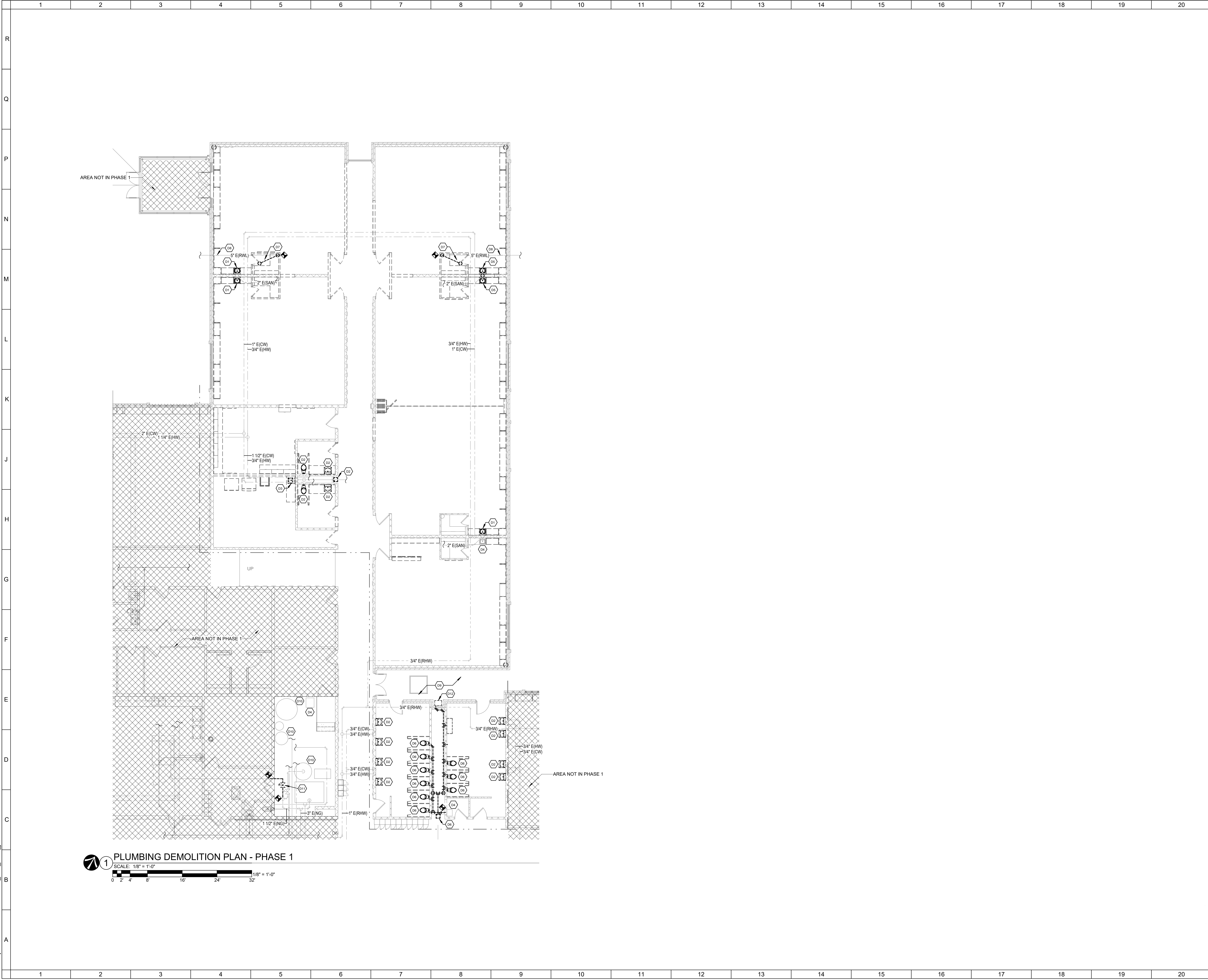
Sheet List - Plumbing - Phase 1

SHEET #	SHEET NAME
1.P001	PLUMBING LEGEND - PHASE 1
1.PD101	PLUMBING DEMOLITION PLAN - PHASE 1
1.P101	PLUMBING PLAN - PHASE 1

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PLUMBING LEGEND - PHASE 1		
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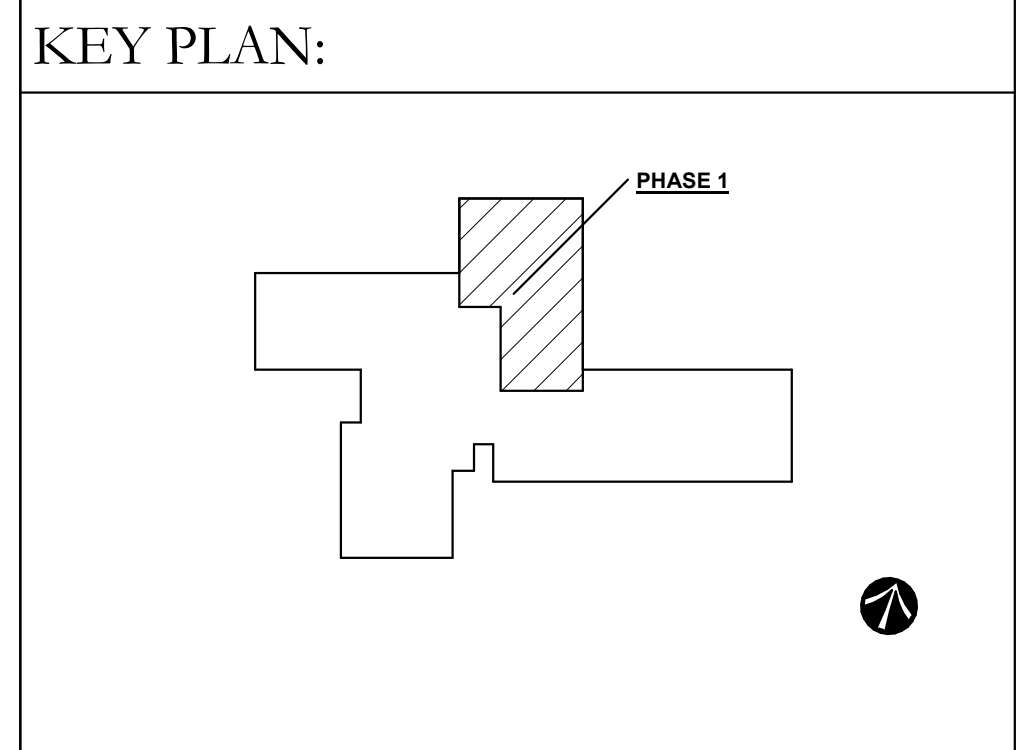
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1 PLUMBING DEMOLITION PLAN - PHASE 1
 SCALE: 1/8" = 1'-0"
 0 2' 4' 8' 16' 24' 32' 1/8" = 1'-0"

- SHEET NOTES:
- D1 DEMO EXISTING PLUMBING FIXTURE. DEMO PIPING TO WALL AND CAP.
 - D2 DEMO EXISTING PLUMBING FIXTURE. MAINTAIN PIPING FOR NEW FIXTURE TO BE INSTALLED IN ITS PLACE.
 - D3 DEMO EXISTING SINK. DEMO PIPING TO ADJACENT CHASE AND CAP.
 - D4 EXISTING PLUMBING FIXTURE TO REMAIN.
 - D5 DEMO EXISTING PLUMBING FIXTURE. DEMO PIPING FOR NEW WALL OPENING. CAP SANITARY PIPE BELOW SLAB. CAP DOMESTIC PIPING AT MAIN. DEMO EXISTING VENT THROUGH ROOF AND PATCH ROOF.
 - D6 DEMO EXISTING PLUMBING FIXTURE. MAINTAIN SANITARY PLUMBING FOR NEW PIPING FIXTURE. DEMO EXISTING DOMESTIC COLD PIPING AS SHOWN.
 - D7 DEMO EXISTING ROOF LEADER PIPING FROM ROOF DRAIN TO BELOW SLAB. CAP PLUMBING BELOW SLAB. MAINTAIN EXISTING ROOF DRAIN FOR RECONNECTION.
 - D8 DEMO EXISTING ROOF LEADER BELOW SLAB FOR NEW CONNECTION. CAP SECTION BELOW SLAB FOR ABANDONMENT AS SHOWN ON SHEET 1.P101.
 - D9 VERIFY THAT NO DOMESTIC WATER PIPING GOES THROUGH THE EXISTING BREEZEWAY CEILING AT RISK OF FREEZING. RELOCATE ANY EXISTING PLUMBING TO THE INTERIOR IF APPLICABLE.
 - D10 EXISTING HOT WATER HEATER, STORAGE TANK, AND WATER SOFTENER TO REMAIN.
 - D11 DEMO EXISTING PRESSURE REGULATOR TO EXISTING GAS KILN. MAINTAIN GAS PLUMBING FOR RECONNECTION.
 - D12 DEMO EXISTING EXTERIOR DRINKING FOUNTAIN. DEMO EXISTING SANITARY PIPING TO INTERIOR OF PLUMBING CHASE AND CAP. DEMO EXISTING DOMESTIC COLD PIPING AS SHOWN.



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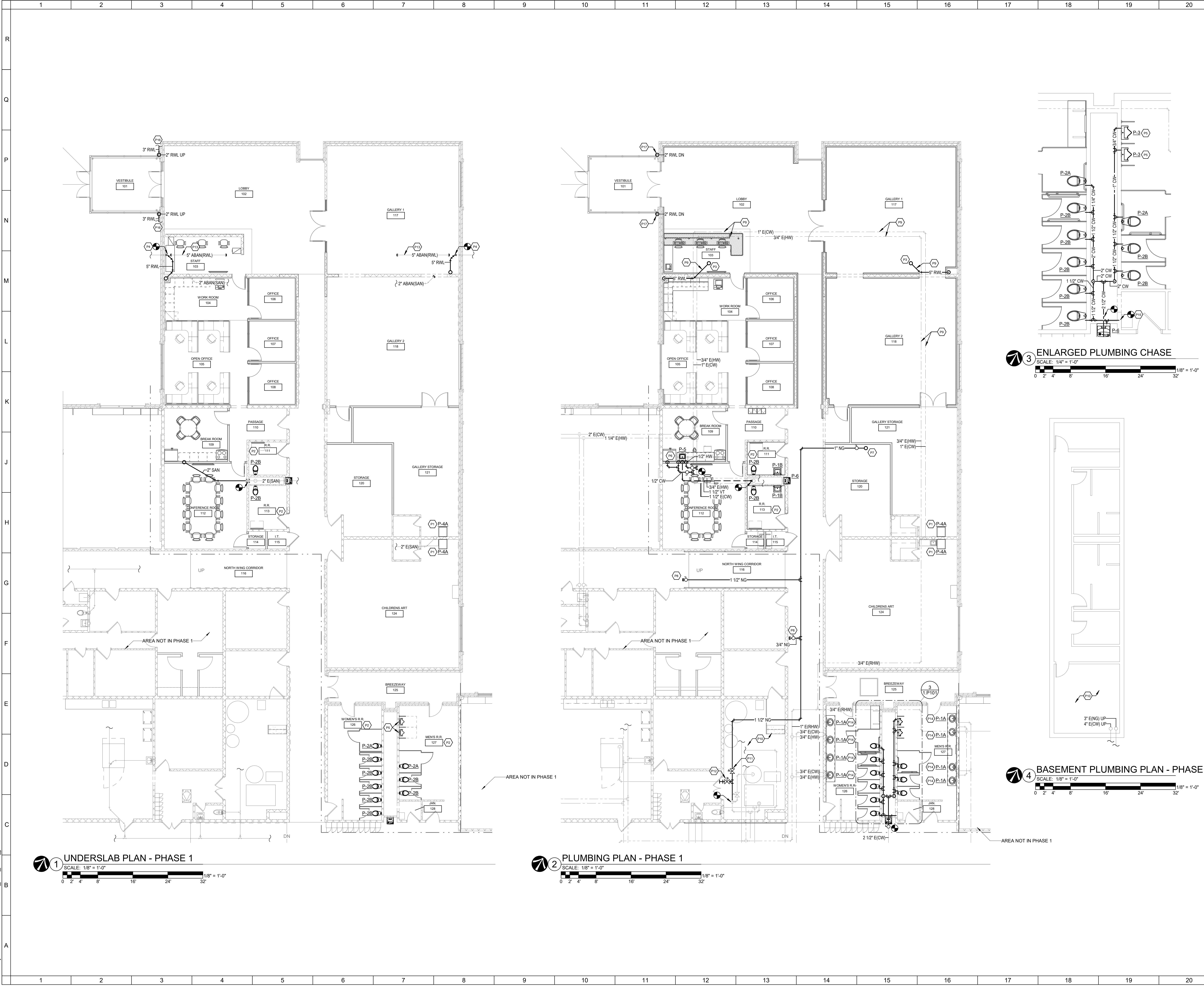
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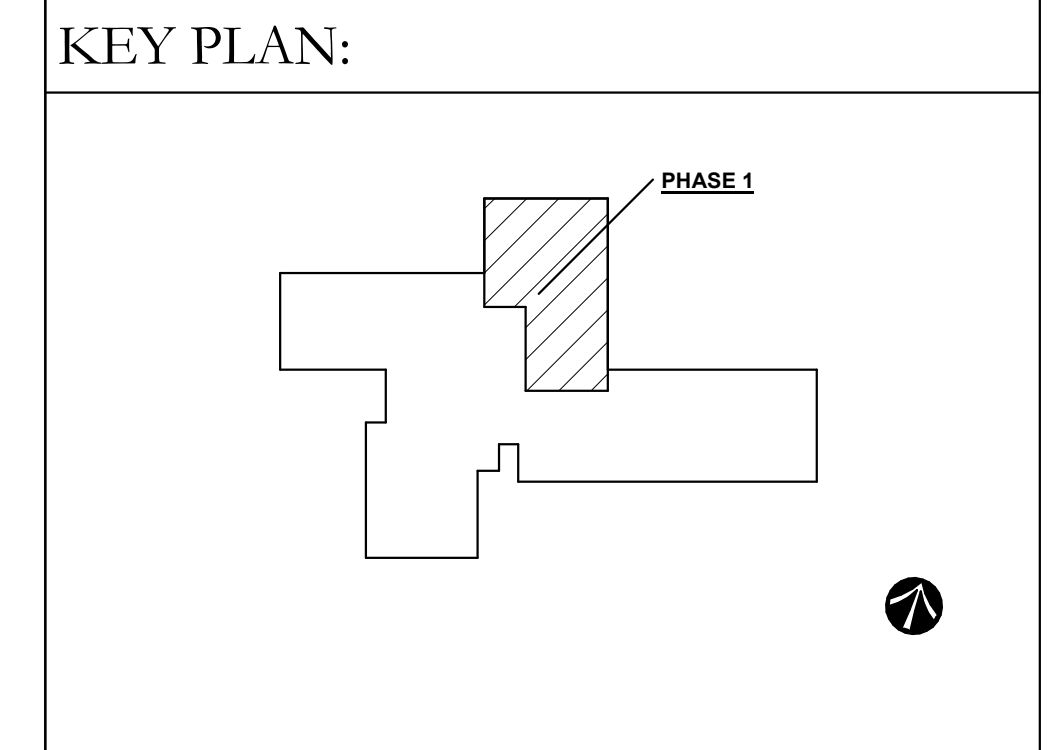
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- SHEET NOTES:**
- P1 CONNECT NEW PLUMBING FIXTURE TO EXISTING PLUMBING WITHIN WALL.
 - P2 CONNECT NEW PLUMBING FIXTURE IN THIS ROOM TO EXISTING PLUMBING WITHIN CHASE WALL.
 - P3 CONNECT NEW 5" ROOF LEADER TO EXISTING ROOF DRAIN. RUN HORIZONTAL ROOF LEADERS WITHIN EXISTING JOIST SPACE.
 - P4 CONNECT NEW 5" ROOF LEADER TO EXISTING 5" PIPE BELOW SLAB. CAP AND ABANDON PIPE NOT IN USE.
 - P5 MODIFY EXISTING SANITARY AND VENT IN THE CHASE TO CONNECT NEW URINALS. PROVIDE STAINLESS STEEL CLEANOUT COVERPLATES TO PATCH EXISTING PIPE PENETRATIONS.
 - P6 PROVIDE 1/2" DOMESTIC COLD FOR ICE MAKER CONNECTION.
 - P7 CONNECT NEW GAS PIPING TO ROOFTOP UNIT. REFER TO MECHANICAL DRAWINGS FOR EXACT LOCATION.
 - P8 PROVIDE CAPPED GAS PIPING TO FUTURE RTUS.
 - P9 ALL EXPOSED PLUMBING IN GALLERIES 117 & 118 AND LOBBY 102 ARE TO BE PAINTED TO MATCH THE STRUCTURE.
 - P10 PROVIDE TAMPER AND FLOW SWITCH OFF THE DOMESTIC MAIN TO THE LIMITED AREA SYSTEM WITHIN THIS ROOM.
 - P11 PROVIDE NEW PRESSURE REGULATOR TO NEW RTUS. SET REGULATOR IN A RANGE OF 10 - 12 IN WC. CONNECT NEW REGULATOR TO EXISTING VENT PIPING IN MECHANICAL ROOM.
 - P12 PROVIDE NEW PRESSURE REGULATOR TO EXISTING GAS KILN. SET REGULATOR AT 10 IN WC. CONNECT NEW REGULATOR TO EXISTING VENT PIPING IN MECHANICAL ROOM.
 - P13 FILL ABANDONED PIPE WITH GROUT AND CAP AT BOTH ENDS AS SHOWN.
 - P14 CONNECT NEW LAVATORY TO EXISTING PLUMBING WITHIN WALL.
 - P15 RECONNECT EXISTING JANITOR SINK TO NEW DOMESTIC COLD PIPE.
 - P16 SEE CIVIL DRAWINGS FOR CONTINUATION.
 - P17 2" ROOF LEADER TO VESTIBULE ROOF DRAIN. REFER TO ARCHITECTURAL DRAWINGS FOR MORE DETAILS.



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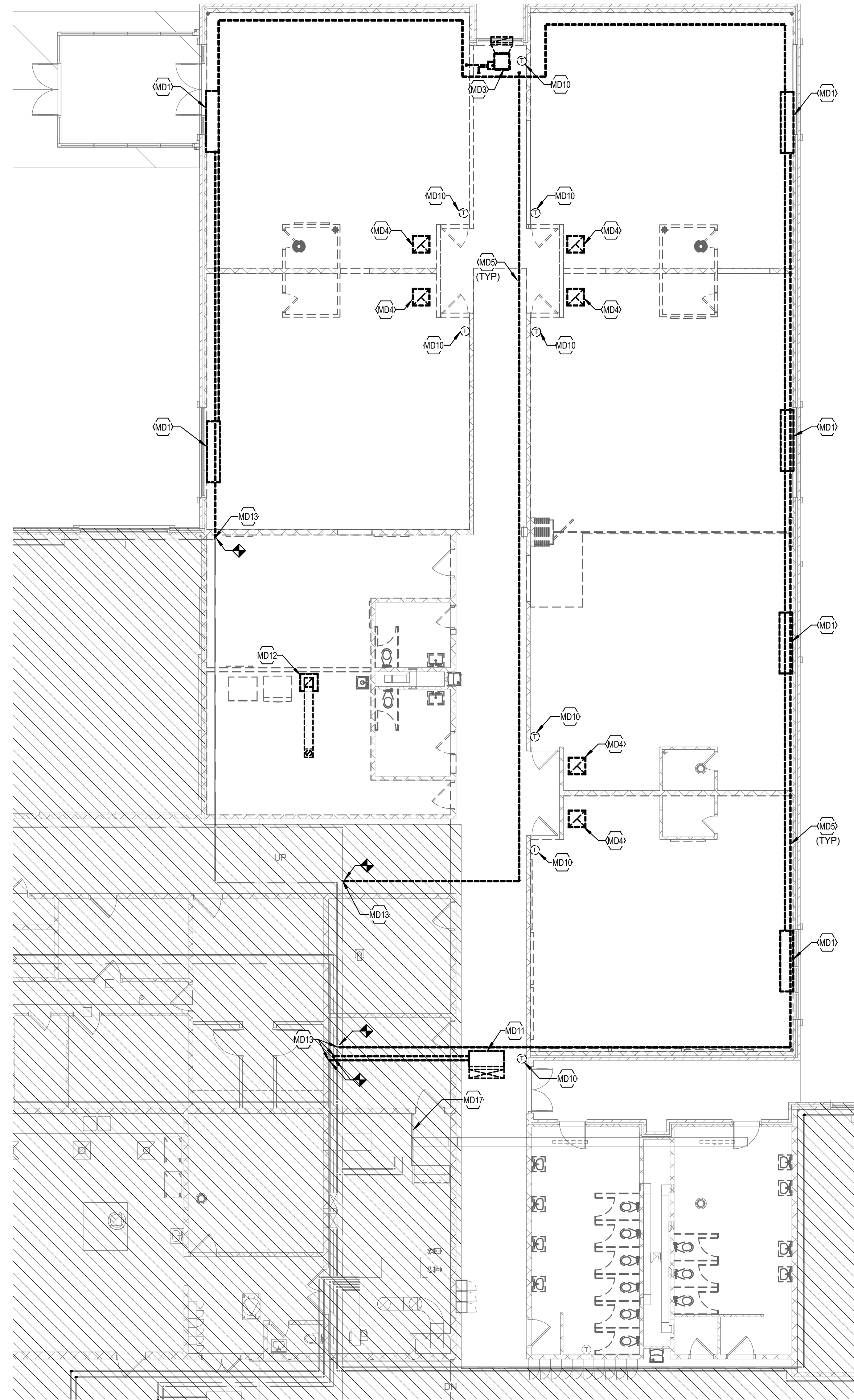
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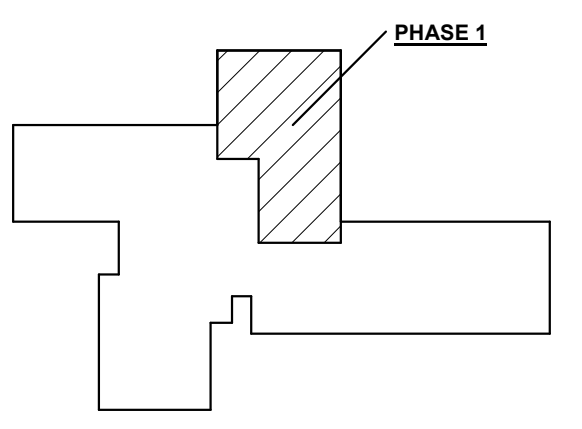


1 - MECHANICAL DEMOLITION
 PLAN - PHASE 1
 SCALE: 1/8" = 1'-0"

SHEET NOTES:

- TAGGED NOTES**
- MD1 REMOVE EXISTING UNIT VENTILATOR AND ALL ASSOCIATED HOT WATER PIPING BACK TO MAIN AND CAP EXISTING THROUGH WALL LOUVER TO BE PATCHED PER ARCHITECTS PLANS.
 - MD3 REMOVE EXISTING FAN COIL UNIT AND ASSOCIATED DUCTWORK AND DIFFUSERS IN THIS LOCATION. ASSOCIATED HOT WATER PIPER TO BE REMOVED.
 - MD4 REMOVED EXISTING AIR DEVICE AND ANY ASSOCIATED DUCTWORK IN THIS LOCATION.
 - MD5 REMOVE EXISTING HOT WATER PIPING IN THIS LOCATION BACK TO POINT OF DEMOLITION.
 - MD10 REMOVE EXISTING THERMOSTAT AND ASSOCIATED PNEUMATIC TUBING BACK TO MAIN IN THIS LOCATION.
 - MD11 REMOVE EXISTING UNIT HEATER AND ASSOCIATED HOT WATER PIPING IN THIS LOCATION.
 - MD12 REMOVE EXISTING SPLIT SYSTEM INDOOR UNIT AND ALL ASSOCIATED DUCTWORK IN THIS LOCATION.
 - MD13 CAP HOT WATER PIPING IN THIS LOCATION.
 - MD17 EXISTING HEATING ONLY FAN COIL UNIT AND ASSOCIATED DUCTWORK TO REMAIN IN PLACE.

KEY PLAN:



No.	Revisions / Submissions	Date
1	BID AND PERMIT SET	2021-04-30

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CITY OF KETTERING
ROSEWOOD ARTS CENTER

INTERIOR RENOVATION
PHASE 1

2655 OLSON DRIVE
KETTERING, OH 45420

MECHANICAL DEMOLITION PLAN - PHASE 1

	Comm. No.	Date
	20605.00	04/30/2021
	Drawn	CRH
Checked	BKR	1.MD101

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MECHANICAL ROOF DEMO PLAN PHASE 1
 SCALE: 1" = 10'-0"
 1/8" = 1'-0"

○ SHEET NOTES:

TAGGED NOTES

MD6 REMOVE EXISTING EXHAUST FAN IN THIS LOCATION. EXISTING DUCTWORK AND PENETRATION TO BE REUSED FOR FUTURE USE.

MD8 REMOVE EXISTING CONDENSING UNIT ON ROOF IN THIS LOCATION. PATCH REFRIGERANT ROOF PENETRATIONS AIR AND WATER TIGHT.

KEY PLAN:

1 BID AND PERMIT SET		2021-04-30
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**CITY OF KETTERING
 ROSEWOOD ARTS CENTER**

**INTERIOR RENOVATION
 PHASE 1**

2655 OLSON DRIVE
 KETTERING, OH 45420

**MECHANICAL ROOF DEMOLITION PLAN -
 PHASE 1**

	Comm. No.	Date
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SHEET NOTES:

TAGGED NOTES

- M11 PROVIDE RUSKIN MODEL CD35 CONTROL DAMPER OR EQUAL IN THIS LOCATION. SEE DUCT AND BYPASS DESIGN DETAIL ON SHEET M200 FOR MORE DETAILS.
- M13 PROVIDE VENT-SURE DOWNDRAFT VENT KIT WITH VENT CONTROL (M-V-CNTL00) OPTION. REFER TO TYPICAL KILN EXHAUST DETAIL ON THIS SHEET FOR FURTHER DETAILS.
- M15 EXISTING DUCT UP TO NEW EF-5 LOCATED ON THE ROOF.
- M16 SHADED DUCTWORK TO BE INTERNALLY LINED.
- M27 DUCTWORK TO BE INSTALLED AS SHOWN TO BE INSTALLED IN FUTURE WORK.
- M28 CAP DUCTWORK IN THIS LOCATION.
- M29 EXPOSED DUCTS IN GALLERY 1 117 AND GALLERY 2 118 ARE TO BE PAINTED. EXACT COLOR TO BE SELECTED BY ARCHITECT.
- M40 PROVIDE SYSTEM INTERFACE MODULE FOR RTU-1 IN THIS LOCATION.
- M46 PROVIDE DUCT STATIC PRESSURE SENSOR IN THIS LOCATION.
- M47 PROVIDE NEW CEILING CASSETTE INDOOR UNIT IN THIS LOCATION. ROUTE REFRIGERANT LINES TO ASSOCIATED OUTDOOR UNIT PER MANUFACTURER'S INSTRUCTIONS. REFER TO SPLIT SYSTEM INDOOR UNIT SCHEDULE ON SHEET M200 FOR FURTHER DETAILS.
- M48 ROUTE CONDENSATE PIPING INSIDE OF FURRED OUT WALL AND DRAIN AT GRADE LEVEL.
- M49 ROUTE CONTROL WIRE IN FURR OUT OF WALL.
- M50 PROVIDE WIRE MOLD FOR CONTROL WIRING WHERE WALL IS NOT FURRED OUT.
- M51 PROVIDE MANUAL SHUT OFF DAMPER IN THIS LOCATION FOR FUTURE PHASE DISCONNECTION.

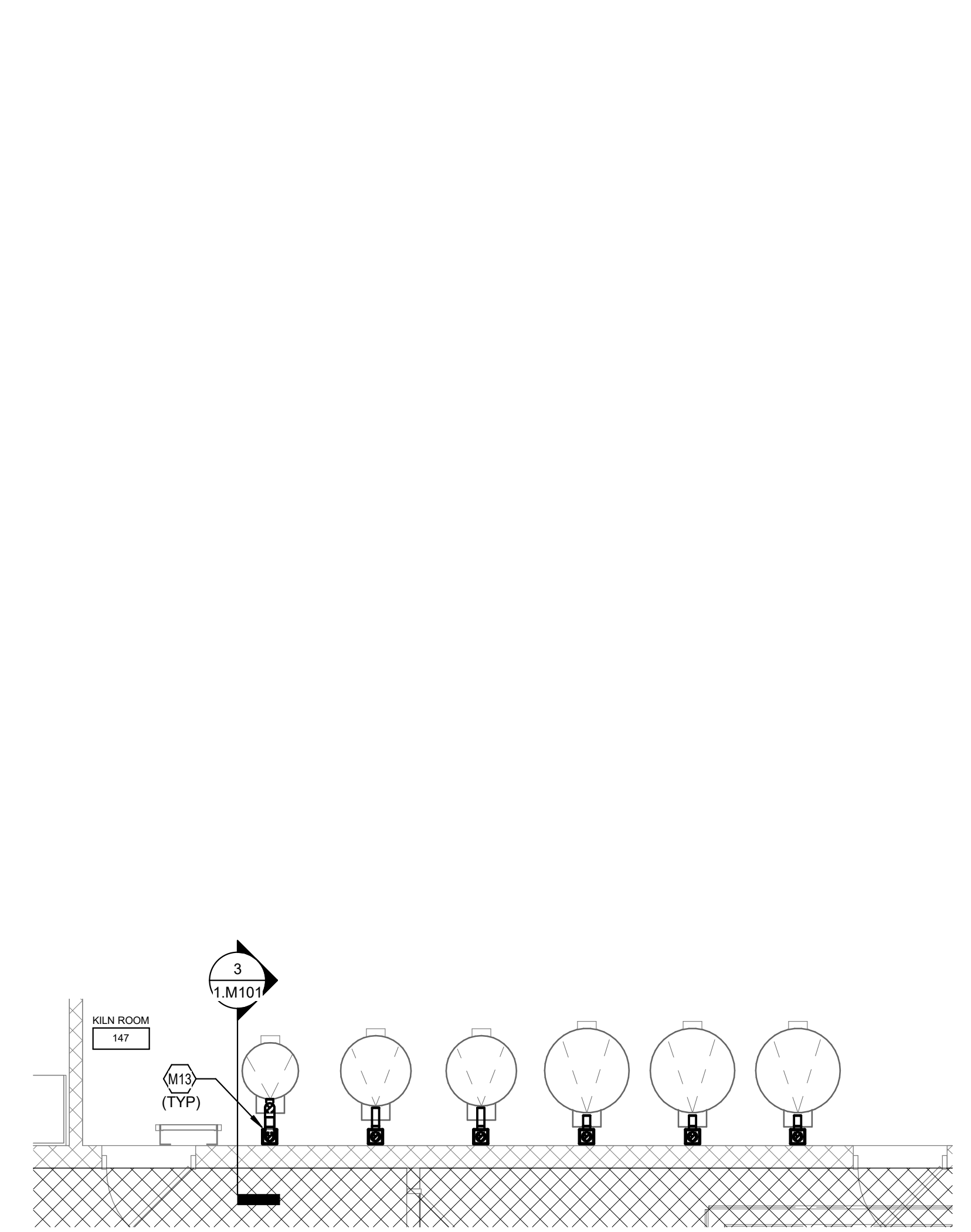
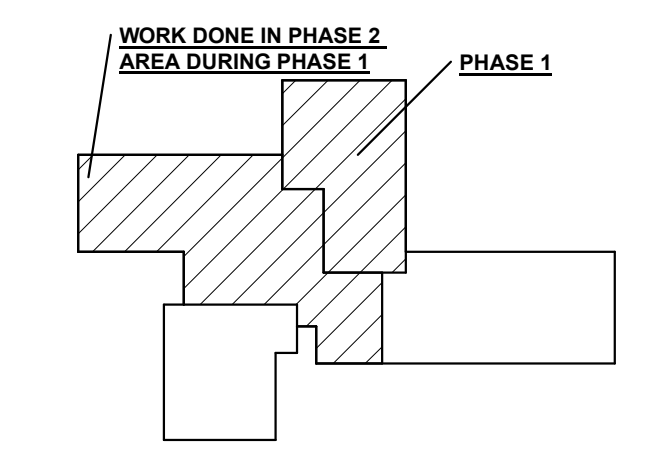
RGD RUNOUT SCHEDULE

MARK	DUCT INLET SIZE
R-4	NA
RD-1	6"
RD-2	8"
RD-3	10"
RD-4	10"
RD-5	14"
SD-1	6"
SD-2	8"
SD-3	10"
SD-4	10"x10"

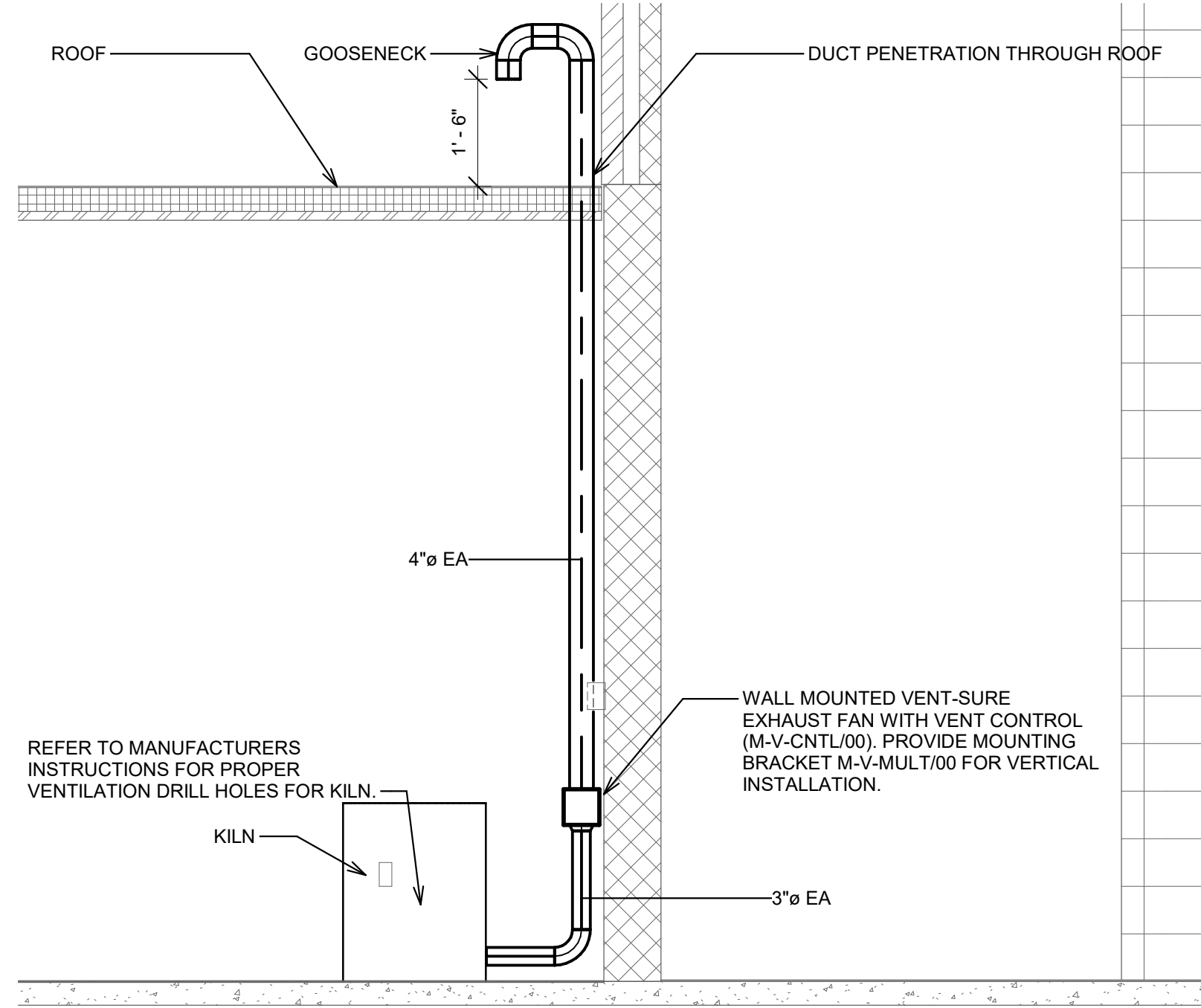
GENERAL NOTES:

- 1. ALL EXPOSED DUCTS ARE TO BE CLEAR COATED UNLESS OTHERWISE NOTED.
- INTERNALLY LINED DUCT. REFER TO SPEC SECTION 202200 PART 6.4 FOR MORE INFO.

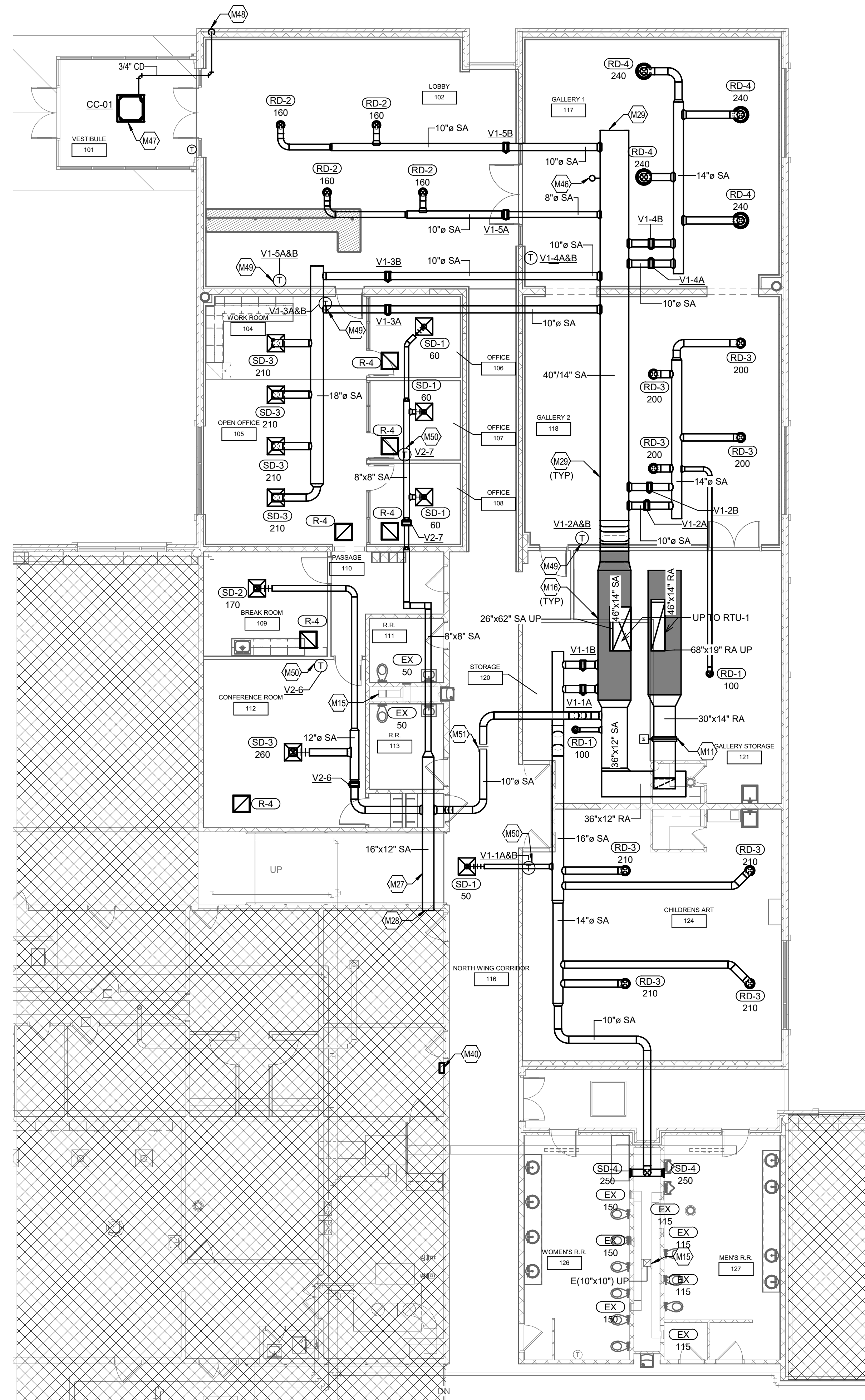
KEY PLAN:



2 ENLARGED MECHANICAL PLAN - KILN ROOM SOUTH WALL
SCALE: 1/4" = 1'-0"
1/8" = 1'-0"



3 TYPICAL KILN EXHAUST DETAIL
SCALE: 1/2" = 1'-0"
1/8" = 1'-0"



1 1 - MECHANICAL PLAN - PHASE 1
SCALE: 1/8" = 1'-0"

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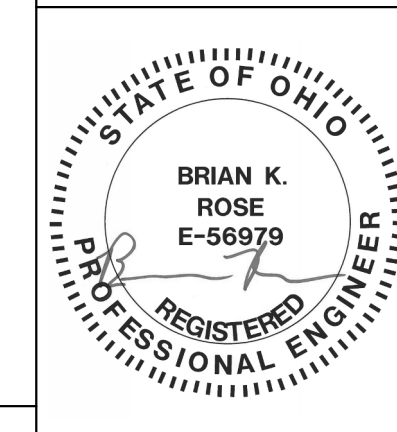
**INTERIOR RENOVATION
PHASE 1**

2655 OLSON DRIVE
KETTERING, OH 45420

MECHANICAL PLAN - PHASE 1

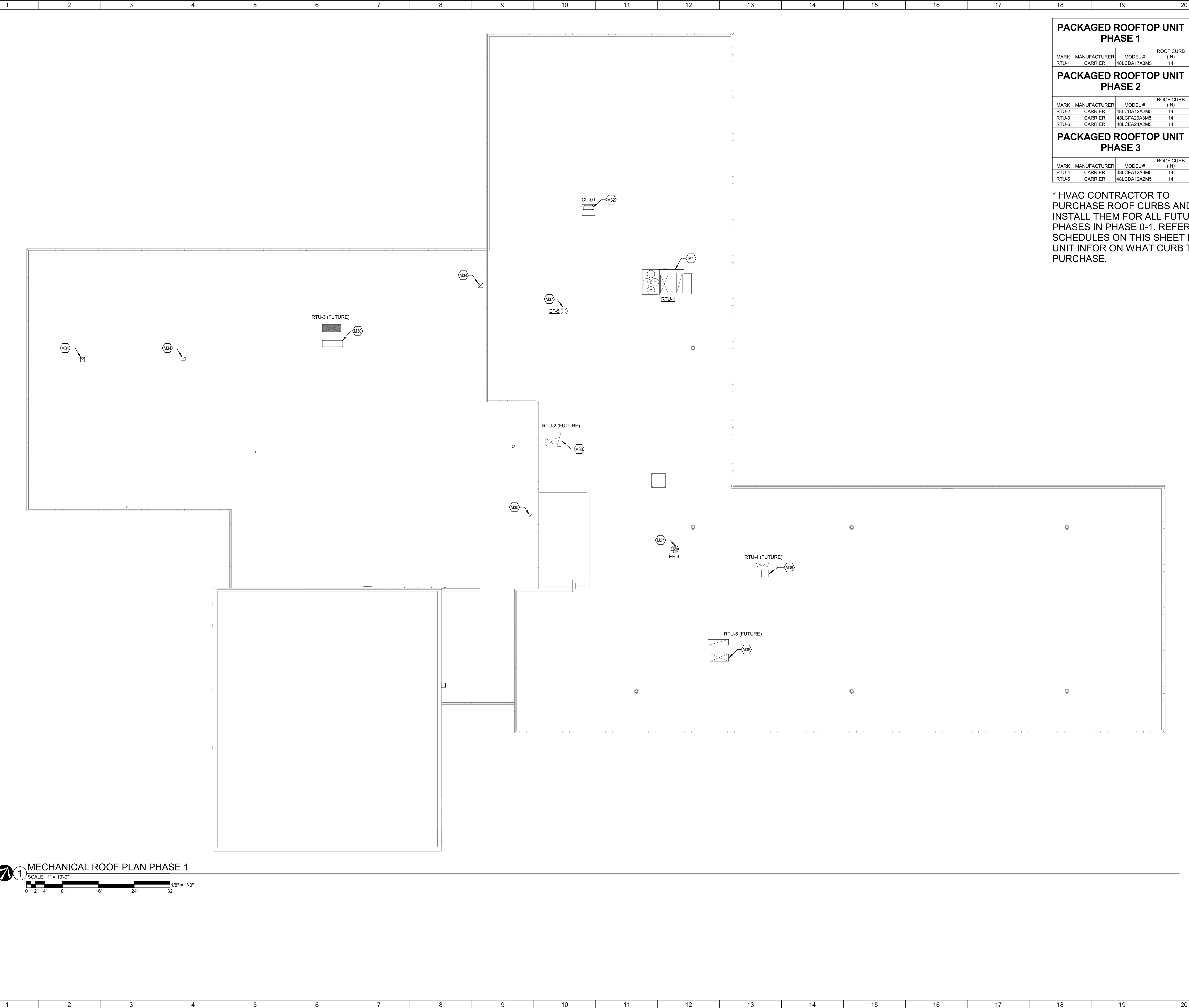
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PACKAGED ROOFTOP UNIT PHASE 1

MARK	MANUFACTURER	MODEL #	ROOF CURB (IN)
RTU-1	CARRIER	48LCD17A3M5	14

PACKAGED ROOFTOP UNIT PHASE 2

MARK	MANUFACTURER	MODEL #	ROOF CURB (IN)
RTU-2	CARRIER	48LCD12A2M5	14
RTU-3	CARRIER	48LCFA20A3M5	14
RTU-6	CARRIER	48LCEA24A2M5	14

PACKAGED ROOFTOP UNIT PHASE 3

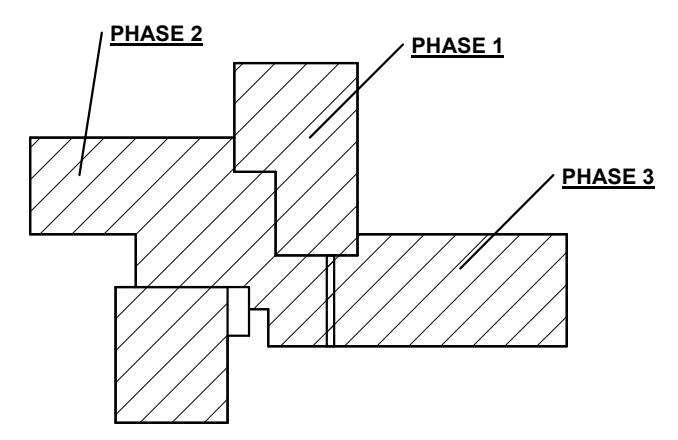
MARK	MANUFACTURER	MODEL #	ROOF CURB (IN)
RTU-4	CARRIER	48LCEA12A3M5	14
RTU-5	CARRIER	48LCD12A2M5	14

* HVAC CONTRACTOR TO PURCHASE ROOF CURBS AND INSTALL THEM FOR ALL FUTURE PHASES IN PHASE 0-1. REFER TO SCHEDULES ON THIS SHEET FOR UNIT INFO ON WHAT CURB TO PURCHASE.

○ SHEET NOTES:

- TAGGED NOTES**
- M1 PROVIDE NEW PACKAGE ROOFTOP UNIT IN THIS LOCATION. REFER TO PACKAGED ROOFTOP UNIT DETAIL ON SHEET M200 AND PACKAGED ROOFTOP UNIT SCHEDULE ON SHEET M300 FOR MORE INFORMATION.
 - M32 PROVIDE CONDENSING UNIT IN THIS LOCATION. REFER TO SPLIT SYSTEM OUTDOOR UNIT SCHEDULE ON SHEET M300 FOR FURTHER DETAILS.
 - M34 PROVIDE 14.5'X14.5' ROOF OPENING AND COVER WITH AND INSULATED ROOF CAP FOR FUTURE USE. REFER TO ROOF CURB CAP DETAIL ON SHEET M200 FOR FURTHER DETAILS.
 - M35 PROVIDE 12.5'X12.5' ROOF OPENING AND COVER WITH AND INSULATED ROOF CAP FOR FUTURE USE. REFER TO ROOF CURB CAP DETAIL ON SHEET M200 FOR FURTHER DETAILS.
 - M37 PROVIDE NEW EXHAUST FAN AND REUSE EXISTING PENETRATION IN THIS LOCATION. REFER TO EXHAUST FAN SCHEDULE ON SHEET M300 FOR MORE INFORMATION.
 - M38 PROVIDE INSULATED ROOF CAP FOR RTU PENETRATION IN THIS LOCATION. ENSURE PENETRATION IS SEALED AIR AND WATER TIGHT. REFER TO ROOF CURB CAP DETAIL ON SHEET M200 FOR FURTHER DETAILS.

KEY PLAN:



No.	Revisions / Submissions	Date
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INTERIOR RENOVATION PHASE 1

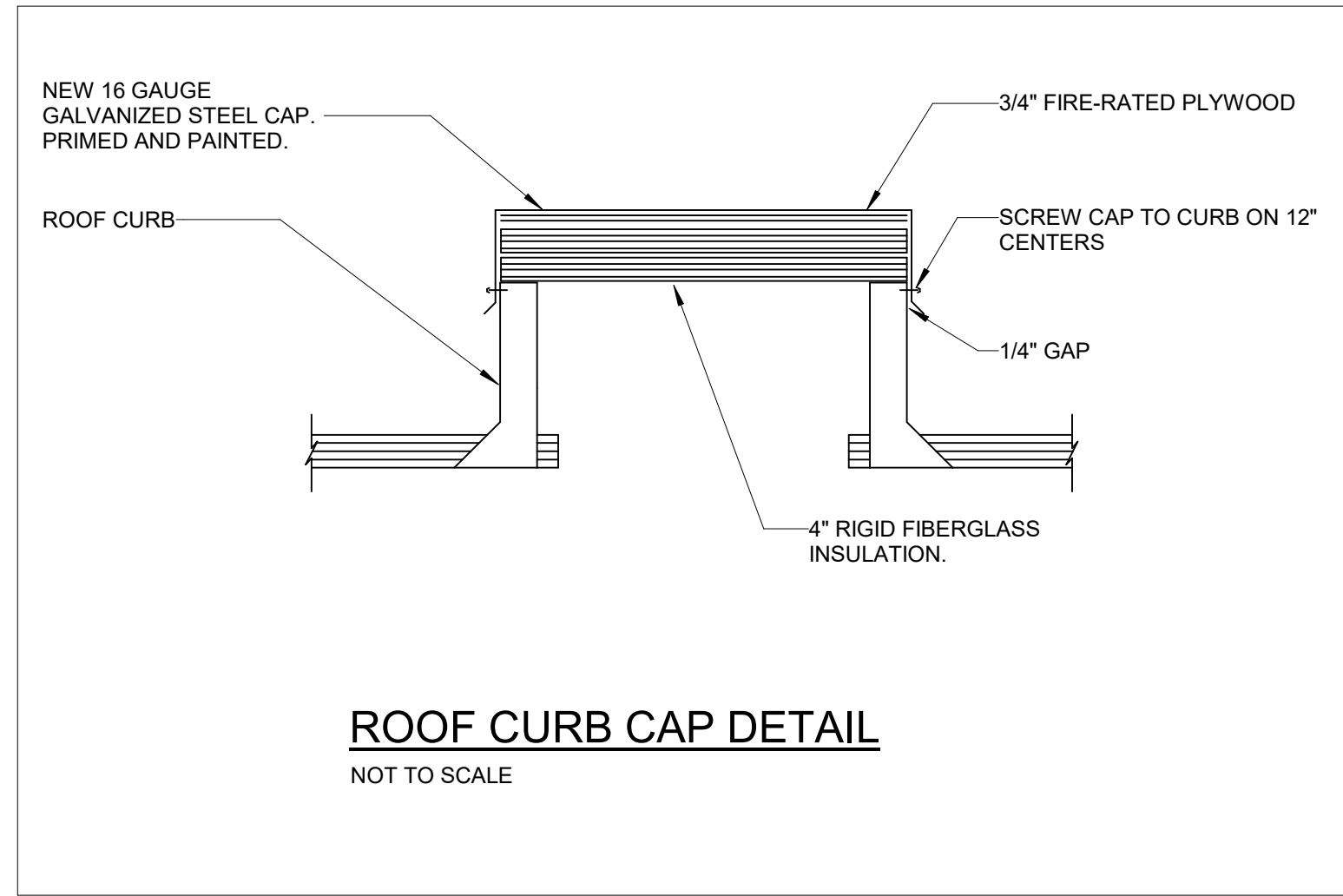
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MECHANICAL ROOF PLAN - PHASE 1

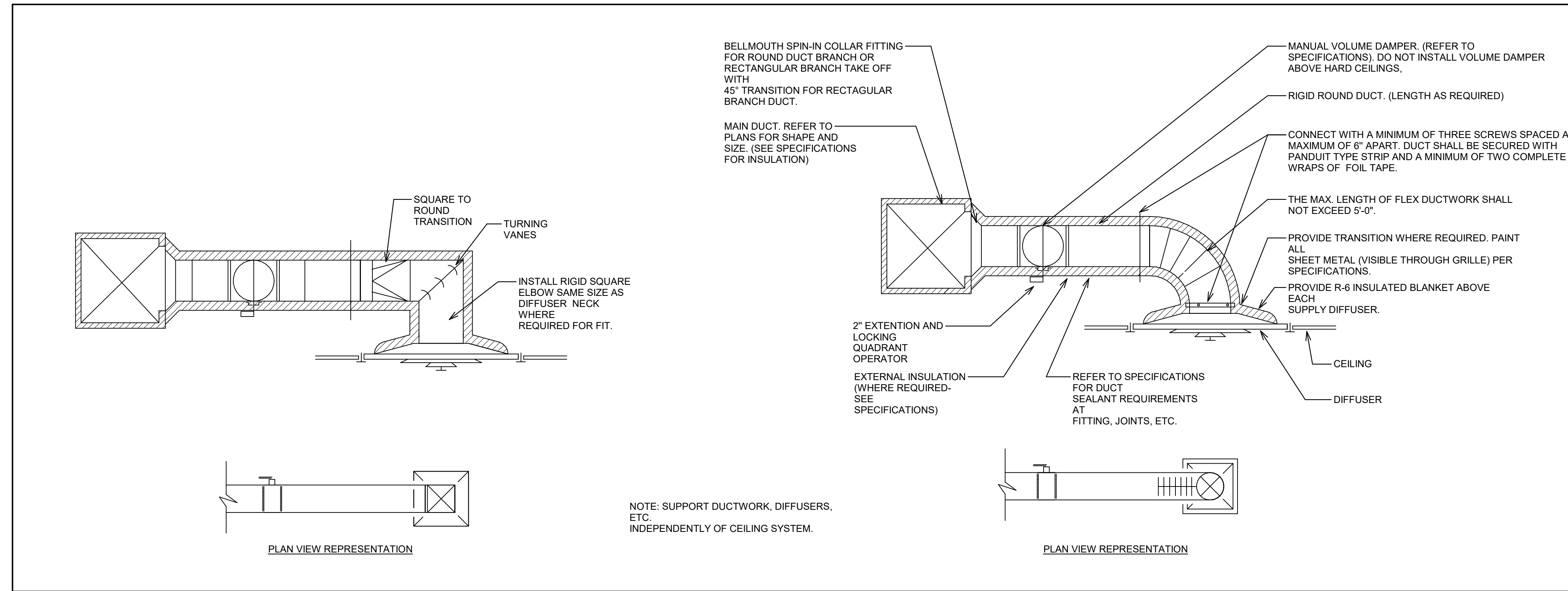
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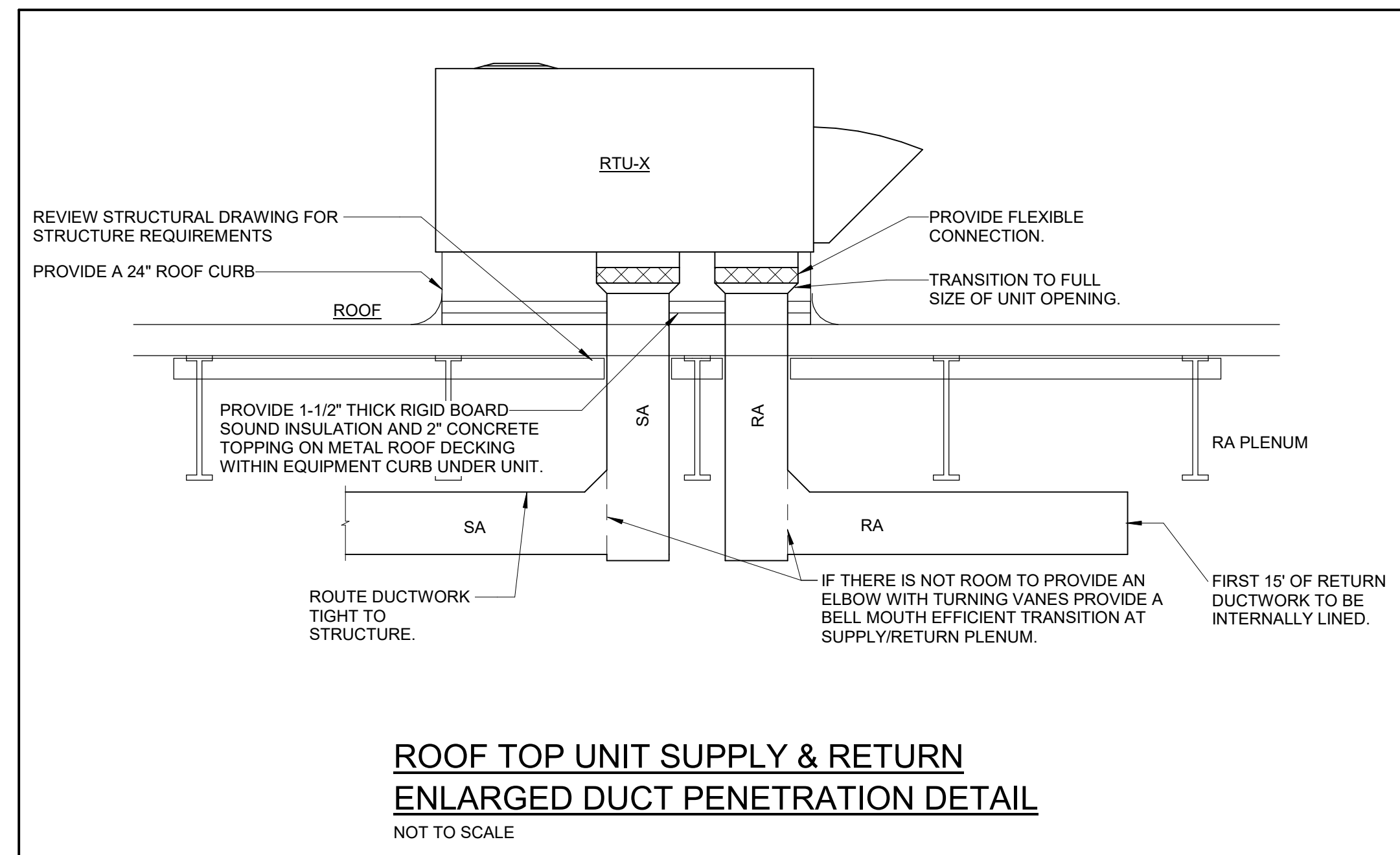
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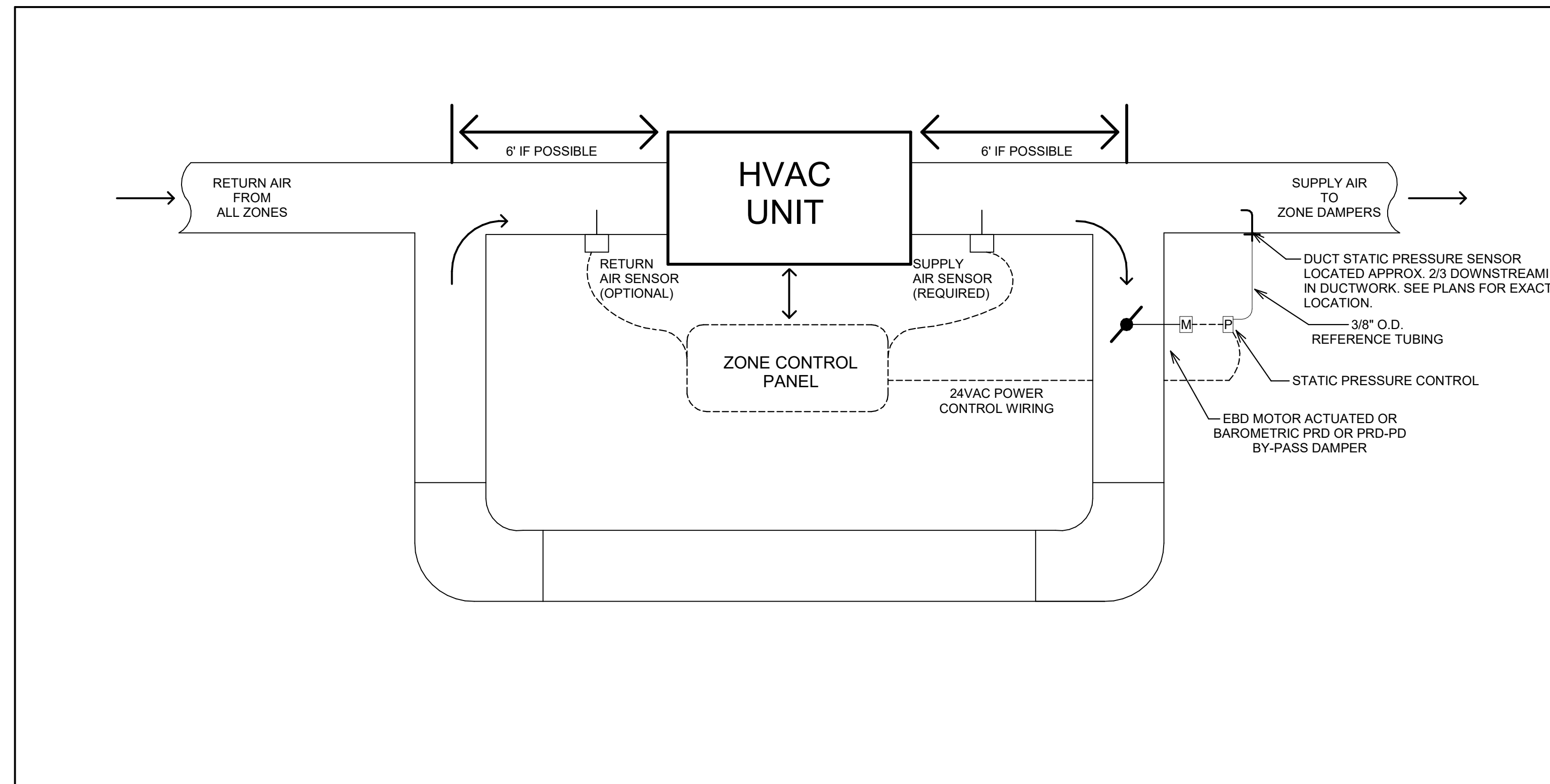
5 **ROOF CURB CAP DETAIL**
SCALE: N.T.S.



2 **TYPICAL BRANCH DUCT DETAIL (SUPPLY, RETURN, AND EXHAUST)**
SCALE: N.T.S.



4 **PACKAGED ROOFTOP UNIT DETAIL PHASE 1**
SCALE: N.T.S.



3 **DUCT AND BYPASS DESIGN DETAIL**
SCALE: N.T.S.

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**INTERIOR RENOVATION
PHASE 1**

2655 OLSON DRIVE
KETTERING, OH 45420

MECHANICAL DETAILS - PHASE 1

	Comm. No.	Date
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PACKAGED ROOFTOP UNIT SCHEDULE PHASE 1

MARK	MANUFACTURER	MODEL #	ROOF CURB (IN)	DIMENSIONS (IN)				COOLING PERFORMANCE										GAS HEATING				ELECTRICAL DATA				REMARKS									
				LENGTH	WIDTH	HEIGHT	WEIGHT (LBS)	SUPPLY FAN					DX COIL					HOT GAS REHEAT COIL				INPUT HEATING													
								MIN. OUTDOOR AIR (CFM)	AIRFLOW (CFM)	ESP (IN. WG)	MOTOR TYPE	BHP	REFRIGERANT	TOTAL (MBH)	SENSIBLE (MBH)	EAT DB (°F)	EAT WB (°F)	LAT DB (°F)	LAT WB (°F)	EER	TOTAL CAPACITY (MBH)	LAT (°F)	UNIT LAT (°F)	INPUT HEATING CAPACITY (MBH)	OUTPUT HEATING CAPACITY (MBH)		EAT (°F)	LAT (°F)	VOLTAGE	PHASE	HERTZ	MCA	MOCF	FLA	LRA
RTU-1	CARRIER	48LCD17A3M5	14	142	86	58	2882	1253	4500	1.38	ECM	2.64	R410A	180.4	119.7	80	67	54	54	12.5	76.4	59	73	176.0	142	50	88	208 V	3	60	87 A	100	92	484	1.2,3,4,5

- REMARKS:
1. PROVIDE SYSTEM VU CONTROLLER OR EQUAL.
 2. STANDARD 1 YEAR PARTS WARRANTY, 5 YEAR COMPRESSOR PARTS WARRANTY, 10 YEAR HEAT EXCHANGER WARRANTY.
 3. PROVIDE WITH ELECTRICAL DISCONNECT.
 4. UNIT TO HAVE A CONVENIENCE OUTLET.
 5. 2 COMPRESSORS WITH 3 STAGES OF COOLING.

EXHAUST FAN SCHEDULE PHASE 1

MARK	MANUFACTURER	MODEL #	TYPE	AIRFLOW (CFM)	E.S.P.	DRIVE	FAN HP	VOLTAGE	ELECTRICAL DATA			REMARKS
									PHASE	HZ	FLA	
EF-4	GREENHECK	G-099-A	DIRECT DRIVE CENTRIFUGAL ROOF EXHAUST FAN	900	0.63	DIRECT	0.25	120	1	60	60	1.2,3,5
EF-5	GREENHECK	G-080-D	DIRECT DRIVE CENTRIFUGAL ROOF EXHAUST FAN	161	0.58	DIRECT	0.05	120	1	60	60	1.2,3,5

- REMARKS:
1. PROVIDE GRAVITY BACKDRAFT DAMPER.
 2. EXHAUST FAN SHALL BE UL LISTED.
 3. NEMA-3R DISCONNECT TO BE PROVIDED.
 4. EXHAUST FAN TO BE CONTROLLED BY OCCUPANCY SENSOR.
 5. ACCEPTABLE MANUFACTURERS: GREENHECK, CAPTIVEAIRE, COOK, AND TWIN CITY.

REGISTERS, GRILLES, AND DIFFUSERS

MARK	MANUFACTURER	MODEL #	TYPE	GRILLE SIZE	DUCT INLET SIZE	DUCT BRANCH SIZE	NOISE CRITERIA	THROW (FT)	REMARKS
E-1	PRICE INDUSTRIES	630	ALUMINUM LOVERED GRILLE	16"X16"	NA	NA	25	NA	1.2
R-4	PRICE INDUSTRIES	630	ALUMINUM LOVERED GRILLE	22"X22"	NA	NA	15	NA	1.2
RD-1	PRICE INDUSTRIES	RCD	ROUND CONE DIFFUSER 6"	6"	6"	6"	15	NA	1.2
RD-2	PRICE INDUSTRIES	RCD	ROUND CONE DIFFUSER 8"	8"	8"	8"	15	NA	1.2
RD-3	PRICE INDUSTRIES	RCD	ROUND CONE DIFFUSER 10"	10"	10"	10"	15	NA	1.2
RD-4	PRICE INDUSTRIES	RPD	ROUND PLAQUE DIFFUSER 10"	10"	10"	10"	15	NA	1.2
RD-5	PRICE INDUSTRIES	RPD	ROUND PLAQUE DIFFUSER 14"	14"	14"	14"	15	NA	1.2
SD-1	PRICE INDUSTRIES	SPD	SQUARE PLAQUE DIFFUSER 6"	24"X24"	6"	6"	15	NA	1.2
SD-2	PRICE INDUSTRIES	SPD	SQUARE PLAQUE DIFFUSER 8"	24"X24"	8"	8"	15	NA	1.2
SD-3	PRICE INDUSTRIES	SPD	SQUARE PLAQUE DIFFUSER 10"	24"X24"	10"	10"	15	NA	1.2
SD-4	PRICE INDUSTRIES	610	ALUMINUM LOVERED GRILLE	10"X10"	10"X10"	10"X10"	25	NA	1.2

- REMARKS:
1. WHITE IN COLOR.
 2. REFER TO ARCHITECTURAL PLANS FOR MOUNTING TYPE.

ZONE DAMPER SCHEDULE PHASE 1

MARK	MANUFACTURER	MODEL #	DUCT CONNECTIONS (IN.)		MAX. CFM	MIN. CFM	REMARKS
			INLET SIZE	OUTLET SIZE			
V1-1A	CARRIER	OPNDR10ZC	10 Ø	10 Ø	660	440	
V1-1B	CARRIER	OPNDR10ZC	10 Ø	10 Ø	660	440	
V1-2A	CARRIER	OPNDR10ZC	10 Ø	10 Ø	660	440	
V1-2B	CARRIER	OPNDR10ZC	10 Ø	10 Ø	660	440	
V1-3A	CARRIER	OPNDR10ZC	10 Ø	10 Ø	660	440	
V1-3B	CARRIER	OPNDR10ZC	10 Ø	10 Ø	660	440	
V1-4A	CARRIER	OPNDR10ZC	10 Ø	10 Ø	660	440	
V1-4B	CARRIER	OPNDR10ZC	10 Ø	10 Ø	660	440	
V1-5A	CARRIER	OPNDR08ZC	8 Ø	8 Ø	420	280	
V1-5B	CARRIER	OPNDR10ZC	10 Ø	10 Ø	660	440	
V2-6	CARRIER	OPNDR10ZC	10 Ø	10 Ø	660	440	
V2-7	CARRIER	OPNDR08ZC	8 Ø	8 Ø	240	160	

SPLIT SYSTEM INDOOR UNIT SCHEDULE PHASE 1

MARK	MANUFACTURER	MODEL #	DIMENSIONS (IN.)				AIRFLOW (CFM)	ELECTRICAL			REMARKS
			LENGTH	WIDTH	HEIGHT	WEIGHT (LBS)		VOLTAGE	PHASE	FLA	
CC-01	CARRIER	40MBC12	22	22	10	36	400	230	1	1.2,3,4	

- REMARKS:
1. INTEGRAL CONDENSATE PUMP.
 2. UNIT TO BE POWERED FROM OUTDOOR UNIT.
 3. UNIT TO HAVE INTEGRAL CONDENSATE PUMP.
 4. ACCEPTABLE MANUFACTURERS: CARRIER, TRANE, DAIKIN.

SPLIT SYSTEM OUTDOOR UNIT SCHEDULE PHASE 1

MARK	MANUFACTURER	MODEL #	DIMENSIONS (IN.)			WEIGHT (LBS)	TOTAL COOLING (MBH)	MINIMUM SEER	ELECTRICAL				REMARKS
			LENGTH	WIDTH	HEIGHT				MCA	MOCF	VOLTAGE	PHASE	
CU-01	CARRIER	38MAQB12R	32	13	22	92	12.0	19.5	9 A	15	230	1	1

- REMARKS:
1. ACCEPTABLE MANUFACTURERS: CARRIER, TRANE, DAIKIN.

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<p>CITY OF KETTERING ROSEWOOD ARTS CENTER</p> <p>INTERIOR RENOVATION PHASE 1</p> <p>2655 OLSON DRIVE KETTERING, OH 45420</p>		
<p>MECHANICAL SCHEDULES - PHASE 1</p>		
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RESULTS		ZONES SERVED BY SYSTEM																																																																																																																																																																																																																																																																							
Vot	Minimum outdoor air intake, Vou/Ev, cfm	1305																																																																																																																																																																																																																																																																							
Pz	Percent outdoor air intake, Vou/Vps	29%																																																																																																																																																																																																																																																																							
Ev	System ventilation efficiency	0.80																																																																																																																																																																																																																																																																							
<table border="1"> <thead> <tr> <th>Zone</th> <th>101/102</th> <th>104</th> <th>105</th> <th>117</th> <th>118</th> <th>119/120</th> <th>124</th> <th>106/107/108</th> <th>109/110/112</th> <th></th> <th></th> <th></th> <th></th> </tr> </thead> <tbody> <tr> <td>Az</td> <td>1072</td> <td>186</td> <td>367</td> <td>885</td> <td>889</td> <td>779</td> <td>833</td> <td>312</td> <td>545</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>Pz</td> <td>10</td> <td>1</td> <td>4</td> <td>25</td> <td>25</td> <td>4</td> <td>10</td> <td>3</td> <td>1</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>Rp</td> <td>5</td> <td>5</td> <td>5</td> <td>7.5</td> <td>7.5</td> <td>5</td> <td>10</td> <td>5</td> <td>5</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>Ra</td> <td>0.06</td> <td>0.06</td> <td>0.06</td> <td>0.06</td> <td>0.06</td> <td>0.06</td> <td>0.18</td> <td>0.06</td> <td>0.06</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>PzRp</td> <td>50</td> <td>5</td> <td>20</td> <td>187.5</td> <td>187.5</td> <td>20</td> <td>100</td> <td>15</td> <td>5</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>ACFA</td> <td>64.3158</td> <td>11.1462</td> <td>22.0302</td> <td>53.3216</td> <td>53.3216</td> <td>48.7388</td> <td>149.8984</td> <td>19.72</td> <td>32.7</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>Vot</td> <td>142.895</td> <td>20.18275</td> <td>52.53775</td> <td>300.777</td> <td>301.0718</td> <td>83.4235</td> <td>312.49925</td> <td>42.15</td> <td>47.125</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>Vps</td> <td>940</td> <td>210</td> <td>630</td> <td>960</td> <td>800</td> <td>200</td> <td>790</td> <td>180</td> <td>430</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>Vot</td> <td>940</td> <td>210</td> <td>630</td> <td>960</td> <td>800</td> <td>200</td> <td>790</td> <td>180</td> <td>430</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>Vdm</td> <td>330</td> <td>50</td> <td>125</td> <td>705</td> <td>705</td> <td>195</td> <td>730</td> <td>100</td> <td>110</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>Zd</td> <td>0.43</td> <td>0.40</td> <td>0.42</td> <td>0.43</td> <td>0.43</td> <td>0.43</td> <td>0.43</td> <td>0.42</td> <td>0.43</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>Ep</td> <td>1.00</td> <td>1.00</td> <td>1.00</td> <td>1.00</td> <td>1.00</td> <td>1.00</td> <td>1.00</td> <td>1.00</td> <td>1.00</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>Er</td> <td>0.00</td> <td>0.00</td> <td>0.00</td> <td>0.00</td> <td>0.00</td> <td>0.00</td> <td>0.00</td> <td>0.00</td> <td>0.00</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>Er</td> <td>0.80</td> <td>0.80</td> <td>0.80</td> <td>0.80</td> <td>0.80</td> <td>0.80</td> <td>0.80</td> <td>0.80</td> <td>0.80</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>Fa</td> <td>1.00</td> <td>1.00</td> <td>1.00</td> <td>1.00</td> <td>1.00</td> <td>1.00</td> <td>1.00</td> <td>1.00</td> <td>1.00</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>Fb</td> <td>1.00</td> <td>1.00</td> <td>1.00</td> <td>1.00</td> <td>1.00</td> <td>1.00</td> <td>1.00</td> <td>1.00</td> <td>1.00</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>Fc</td> <td>1.00</td> <td>1.00</td> <td>1.00</td> <td>1.00</td> <td>1.00</td> <td>1.00</td> <td>1.00</td> <td>1.00</td> <td>1.00</td> <td></td> <td></td> <td></td> <td></td> </tr> </tbody> </table>														Zone	101/102	104	105	117	118	119/120	124	106/107/108	109/110/112					Az	1072	186	367	885	889	779	833	312	545					Pz	10	1	4	25	25	4	10	3	1					Rp	5	5	5	7.5	7.5	5	10	5	5					Ra	0.06	0.06	0.06	0.06	0.06	0.06	0.18	0.06	0.06					PzRp	50	5	20	187.5	187.5	20	100	15	5					ACFA	64.3158	11.1462	22.0302	53.3216	53.3216	48.7388	149.8984	19.72	32.7					Vot	142.895	20.18275	52.53775	300.777	301.0718	83.4235	312.49925	42.15	47.125					Vps	940	210	630	960	800	200	790	180	430					Vot	940	210	630	960	800	200	790	180	430					Vdm	330	50	125	705	705	195	730	100	110					Zd	0.43	0.40	0.42	0.43	0.43	0.43	0.43	0.42	0.43					Ep	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00					Er	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00					Er	0.80	0.80	0.80	0.80	0.80	0.80	0.80	0.80	0.80					Fa	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00					Fb	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00					Fc	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00				
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SYSTEM LEVEL Ps System population, maximum simultaneous # of occupants of space served by system: 79 D Occupant diversity, ratio of system peak occupancy to sum of space peak occupancies, = Pz/Pz: 1.00 Vou Uncorrected outdoor air intake, = D*Rp*Pz + Ra/Az: 1042 Vps Total system primary flow to all zones, = Vou/Vps: 450 Note: In VAV systems, Vps is equal to the fan airflow, and the formula in cell c40 needs to be replaced by this value. Xs Mixing ratio at primary air handler of uncorrected outdoor air intake to system primary flow, = Vou/Vps: 0.23 SYSTEM EFFICIENCY Evs Zone ventilation efficiency, (Fa + Xs*Fb - Z*Fc)/Fa: 0.80 Ev System ventilation efficiency, min(Evs): 0.80 Vot Minimum outdoor air intake, Vou/Ev, cfm: 1305																																																																																																																																																																																																																																																																									

PACKAGED ROOFTOP UNIT, RTU-1


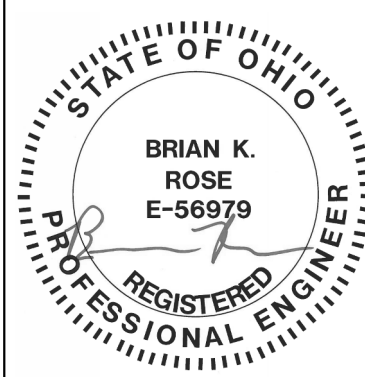
- VVT OVERVIEW:** Variable Volume & Temperature (VVT) is a zoning system that utilizes both cooling and heating from one central air source. The VVT System makes the decision to enter a system mode (heat or cool) based on the number of heating and cooling callers. The Zone Controller modulates individual zone dampers to maintain space temperature setpoint. A new System Touch Interface will be provided for monitoring and setpoint & time schedule adjustments. All setpoints shown in this sequence of operation may be adjusted through the System Touch Interface.
- OCCUPIED / UNOCCUPIED OPERATION:** Unit shall be scheduled for occupied/unoccupied 7-day and holiday operation. An unoccupied override pushbutton (on wall-mounted temperature sensor) will force that individual zone to occupied mode for 2 hours (adjustable). Occupied setpoints are preset at 74 °F for cooling and 70 °F for heating, adjustable for up to + / - 3 °F from a space temperature sensor sliderbar setpoint adjustment. Unoccupied setpoints are preset at 80 °F for cooling and 60 °F for heating. During the occupied mode, the fan is operational. During the unoccupied mode the unit fan shall cycle based on a call for unoccupied cooling or heating.
- SYSTEM MODE DETERMINATION:** This system mode (heat or cool) is chosen by calculating the average heat and cool demands between all zones (difference between setpoint & actual space temperature). NOTE: Each zone may be designated a priority level, which will allow for a "weighted" average demand for larger or more critical zones. When the average cooling demand rises to 0.7 °F above setpoint, the unit shall enter cooling mode. When the average heating demand falls to 0.7 °F below setpoint, the unit shall enter heating mode. If both average heating and cooling demands are above 0.7 °F, the highest demand will determine the mode. Once a mode is selected, it will remain in that mode until either the average zone demand reaches setpoint or the opposite mode demand is higher (after a minimum 30 minute run time).
- HVAC UNIT CONTROL:** Once a system mode is determined, the VVT System will communicate with the unit controller to enable heating or cooling. The controller will utilize PID logic to stage heating or cooling based on average demand. The unit will always maintain a minimum supply temperature of 50 °F during cooling mode and a maximum supply temperature of 140 °F during heating mode. Heating and/or cooling may be locked out based on outdoor temperature lockout setpoints if desired.
- OCCUPIED MODE COOLING:** Economizer mode shall be determined by comparing return & outdoor enthalpy sensors. When outdoor temp is not suitable (outdoor enthalpy > return enthalpy), economizer damper shall be set at minimum ventilation position and mechanical cooling will be staged to maintain occupied space temperature cooling setpoint. When outdoor temp is suitable, return air shall be exhausted and unit shall bring in additional outdoor air. If economizer reaches 100% open and space temperature setpoint cannot be met, damper will remain open and mechanical cooling will be enabled.
- OCCUPIED MODE HEATING:** Gas heat shall be enabled to maintain occupied space temperature heating setpoint.
- DEHUMIDIFICATION CONTROL:** Dehumidification cycle will be enabled whenever space humidity rises above 60% (adjustable)
- OUTDOOR VENTILATION DAMPER CONTROL:** 2-Position Outdoor Damper will be open during Occupied Mode and will remain closed during Unoccupied Mode.
- ZONE DAMPER CONTROL:** Each zone will have a minimum damper position for ventilation purposes. When a zone's temperature rises above its cooling setpoint and the overall system mode is cooling, the zone damper shall modulate to maintain cooling setpoint. If the zone's temperature is below its heating setpoint and the overall system mode is heating, the zone damper shall modulate to maintain heating setpoint. When no system mode is present and the supply air temperature is acceptable (65-75 °F), the zone damper will open beyond the minimum position to the ventilation position to provide additional ventilation to the space.
- UNOCCUPIED MODE:** During unoccupied mode, the fan will cycle on based on a call for unoccupied cooling or heating and remain off when satisfied. Unit will operate off of the unoccupied cooling & heating setpoints of 80 °F and 60 °F for all zones. System will run until space temperature lowers (cooling mode) or raises (heating mode) by 4 °F. Economizer damper will remain fully closed during unoccupied mode.

BACNET OBJECTS TO THE BAS	RTU POINTS LIST				TREND	ALARM
	ANALOG INPUT	ANALOG OUTPUT	DIGITAL INPUT	DIGITAL OUTPUT		
POINTS LIST						
OCCUPIED / UNOCCUPIED				X		STATUS DOES NOT MATCH COMMAND
UNIT STATUS			X		X	
MORNING WARM-UP STATUS			X		X	
COOLING STATUS / CAPACITY	X		X		X	
ECONOMIZER STATUS			X			ALARM
SUPPLY FAN STATUS / SPEED	X					
ECONOMIZER STATUS	X					
DISCHARGE AIR TEMPERATURE	X	X				HIGH TEMP LOW TEM
DISCHARGE AIR TEMPERATURE SETPOINT	X	X				
RETURN AIR TEMPERATURE	X					
OUTDOOR AIR TEMP	X					
SUPPLY AIR CFM	X					AIRFLOW MEASURING STATION
SUPPLY AIR CFM SETPOINT	X	X				
OUTSIDE AIR CFM	X					AIRFLOW MEASURING STATION
OUTSIDE AIR CFM SETPOINT	X	X				
ENTERING FAN / LEAVING COIL TEMP	X					
MIXED AIR TEMPERATURE	X					
DIRTY FILTER			X			

EXHAUST FANS (EF-4, EF-5)

- The TCC shall provide exhaust fan control. EF-4 and EF-5 to operate when the building is occupied.

POINTS LIST	EXHAUST FAN POINTS LIST				TREND	ALARM
	ANALOG INPUT	ANALOG OUTPUT	DIGITAL INPUT	DIGITAL OUTPUT		
OCCUPIED/UNOCCUPIED				X	X	STATUS DOES NOT MATCH COMMAND

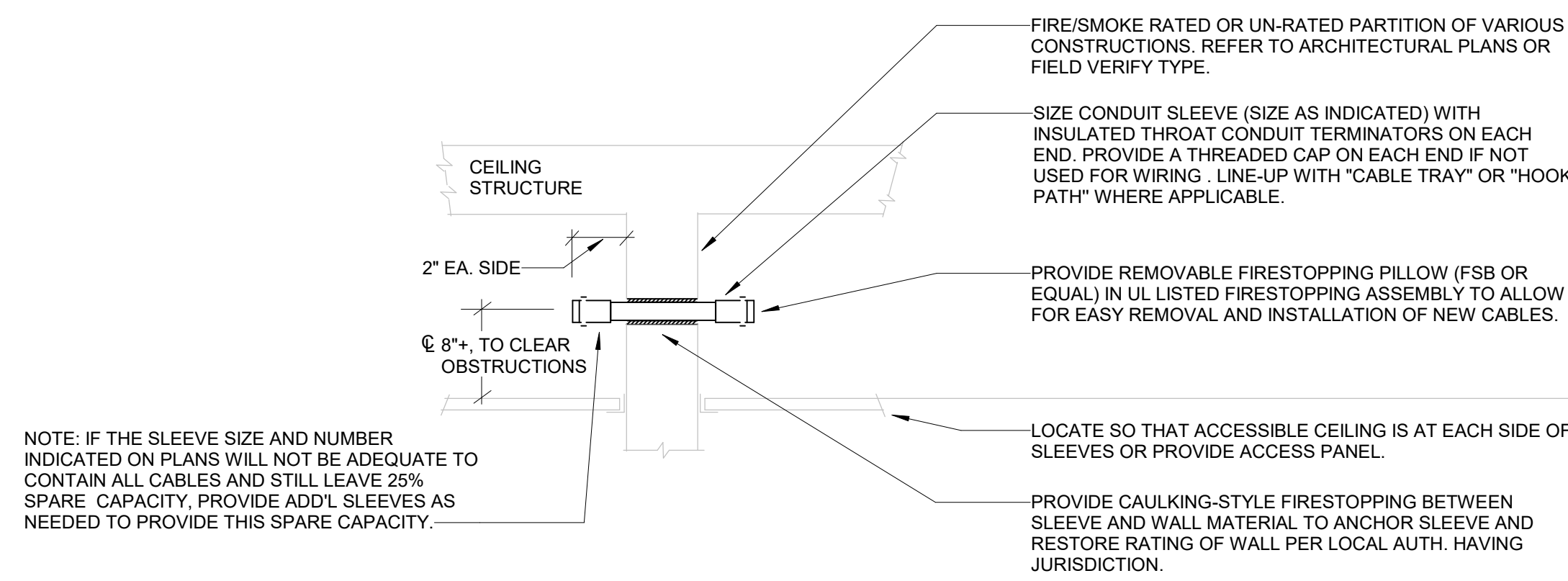
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No.	Revisions / Submissions	Date
 LWC INCORPORATED 434 East First Street Dayton, OH 45402 937.223.6500 712 East Main Street Richmond, IN 47374 765.966.3546		
CITY OF KETTERING ROSEWOOD ARTS CENTER		
INTERIOR RENOVATION PHASE 1		
2655 OLSON DRIVE KETTERING, OH 45420		
CONTROLS AND VENTILATION CALCULATIONS - PHASE 1		
Comm. No.	Date	
20605.00	04/30/2021	
Drawn	CRH	Drawing No.
Checked	BKR	1.M400
		
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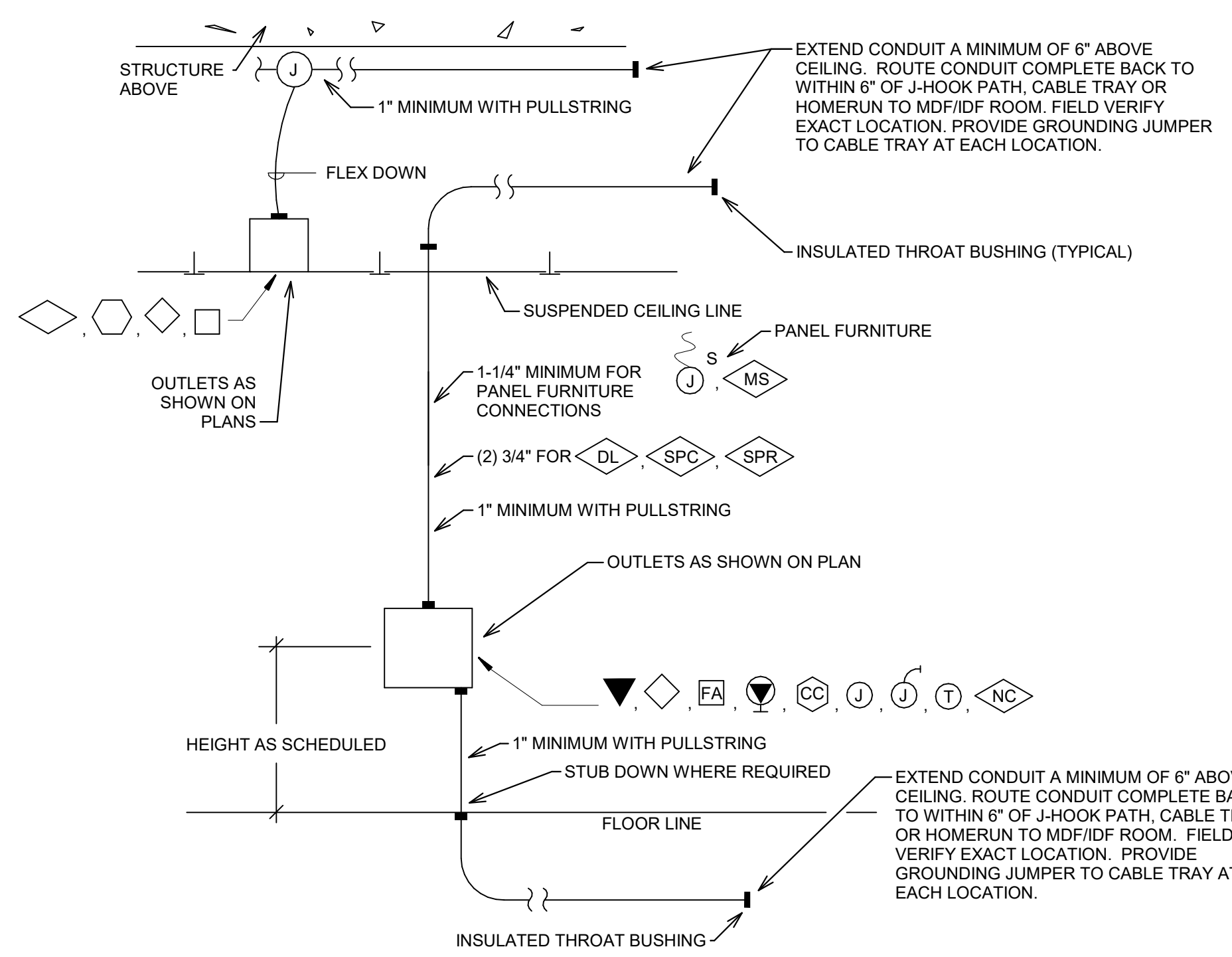
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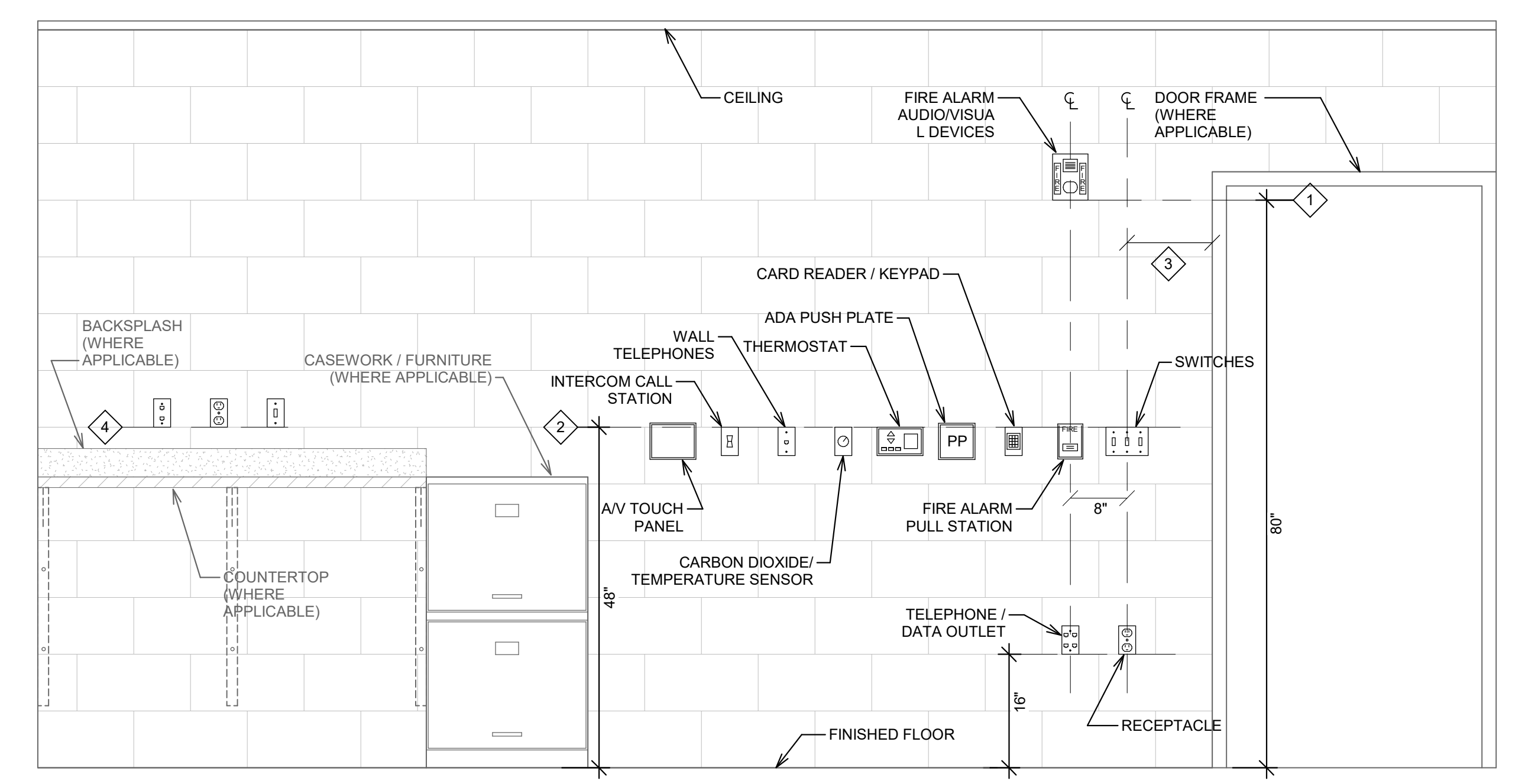
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A CONDUIT WALL SLEEVE INSTALLATION
SCALE: NONE

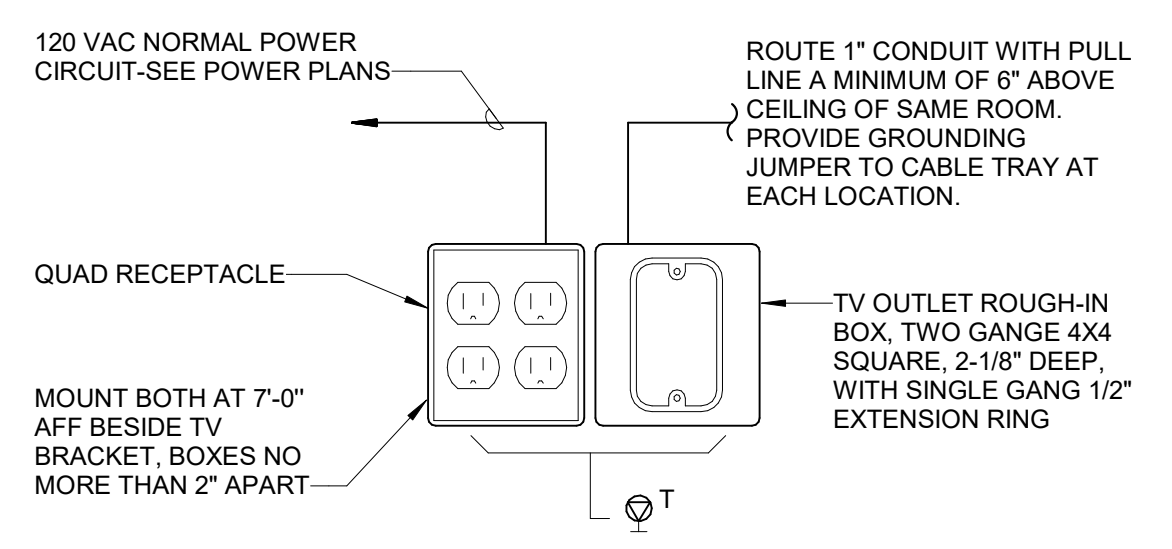


B ROUGH-IN DETAIL FOR STUB-OUTS
SCALE: NONE

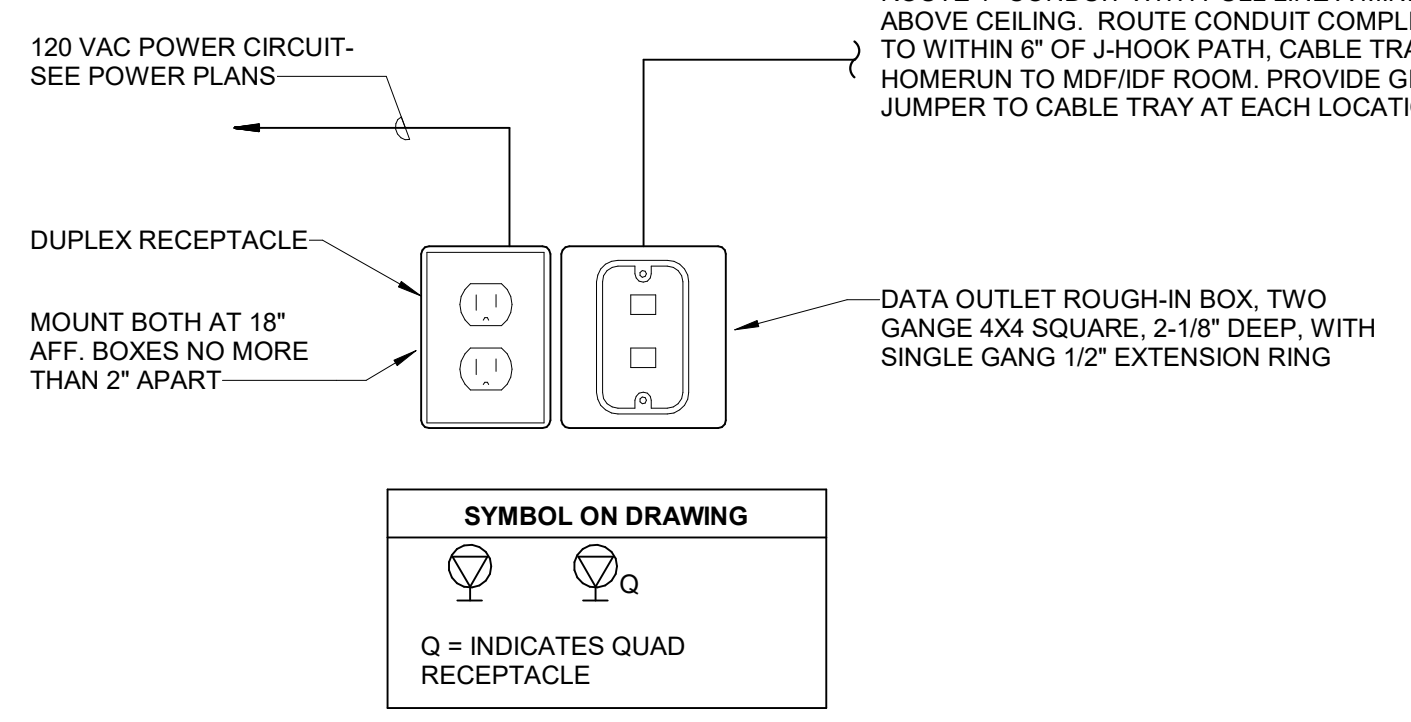


- DEVICE MOUNTING DETAIL - GENERAL NOTES:**
- WHERE DEVICES OF ANY DISCIPLINE ARE LOCATED IN THE SAME GENERAL AREA ON THE PLANS AND ARE SHOWN TO BE MOUNTED AT A SIMILAR HEIGHT, ALIGN HORIZONTALLY ALONG TOP OF DEVICE BACKBOX (AS SHOWN IN DETAIL AND DESCRIBED IN KEY NOTE #2).
 - WHERE DEVICES OF ANY DISCIPLINE ARE LOCATED IN THE SAME GENERAL AREA ON THE PLANS AND ARE SHOWN MOUNTED AT DIFFERENT HEIGHTS, ALIGN VERTICALLY ALONG THE CENTERLINE OF THE DEVICE BACKBOX (AS SHOWN IN DETAIL).
 - FOR ANY WALL OTHER THAN PAINTED GYPSUM BOARD OR CMU, DEVICE LOCATIONS MUST BE FIELD APPROVED BY ENGINEER OR ARCHITECT PRIOR TO INSTALLATION OF FINISHES.
- DEVICE MOUNTING DETAIL - KEY NOTES:**
- MOUNT VISUAL NOTIFICATION APPLIANCES SO THAT ENTIRE LENS IS BETWEEN 80" AND 96" AFF. IF CEILING IS TOO LOW FOR DEVICE TO BE MOUNTED ABOVE 80", MOUNT SO THAT THE LENS IS WITHIN 6" OF FINISHED CEILING.
 - ALIGN BACKBOXES OF DEVICES AT THE MOUNTING HEIGHT INDICATED. MEASURE TO THE TOP OF THE BACKBOX FOR STANDARD OUTLET BOXES. NON-STANDARD BACKBOXES ARE TO BE INSTALLED SUCH THAT THE FINISHED DEVICES ARE ALIGNED ALONG THEIR RESPECTIVE CENTERLINES.
 - MOUNTING HEIGHTS SHOWN ILLUSTRATE DESIGN INTENT AND ARE TO BE FOLLOWED UNLESS CONTRADICTED BY APPLICABLE CODE. WHERE DEVICES ARE SHOWN ADJACENT TO DOOR FRAMES ON PLANS INSTALL 12" FROM FRAME TO AVOID SLUSHED SECTIONS OR BRACING. SPECIFIC DEVICES ARE SHOWN IN RELATIVE ORDER FROM DOOR FRAME, WHERE THESE DEVICES ARE NOT PRESENT AT A PARTICULAR LOCATION, ADJUST LOCATIONS CLOSER TO DOOR ACCORDINGLY.
 - THE CONTRACTOR IS TO COORDINATE ALL ROUGH-INS WITH ANY COUNTERTOPS/BACKSPLASHES TO AVOID CONFLICT. ALIGN DEVICE BACKBOXES IN THE BOTTOM OF THE NEXT FULL BLOCK ABOVE THE BACKSPLASH AS SHOWN. FOR NON-BLOCK WALLS ALIGN BOTTOM OF DEVICE BACKBOXES 4" ABOVE BACKSPLASH. COORDINATE WORK WITH CASEWORK AND KITCHEN SHOP DRAWINGS ACCORDINGLY. IF CONFLICT STILL ARISES CONTACT THE ENGINEER FOR DIRECTION ON HOW TO PROCEED.

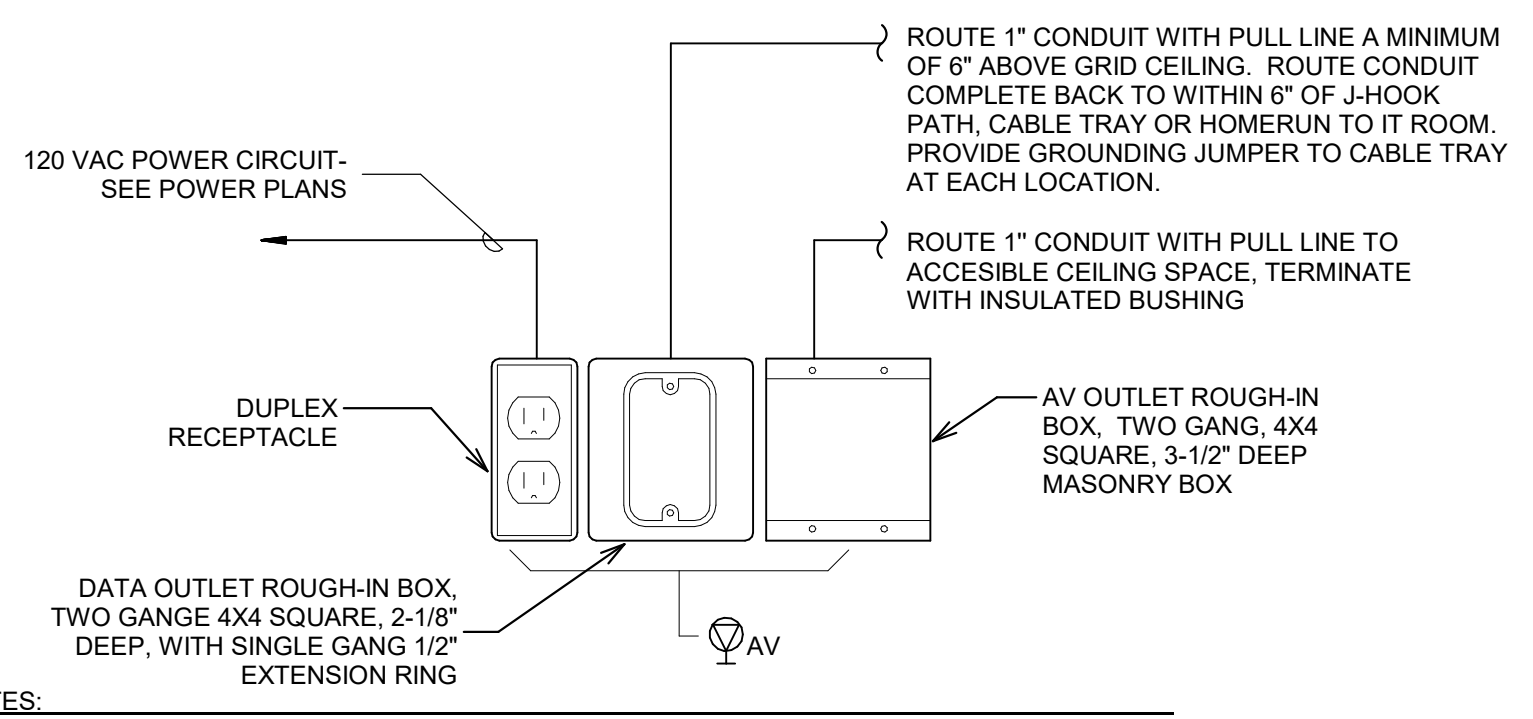
C TYPICAL WALL DEVICE MOUNTING DETAIL
SCALE: NONE



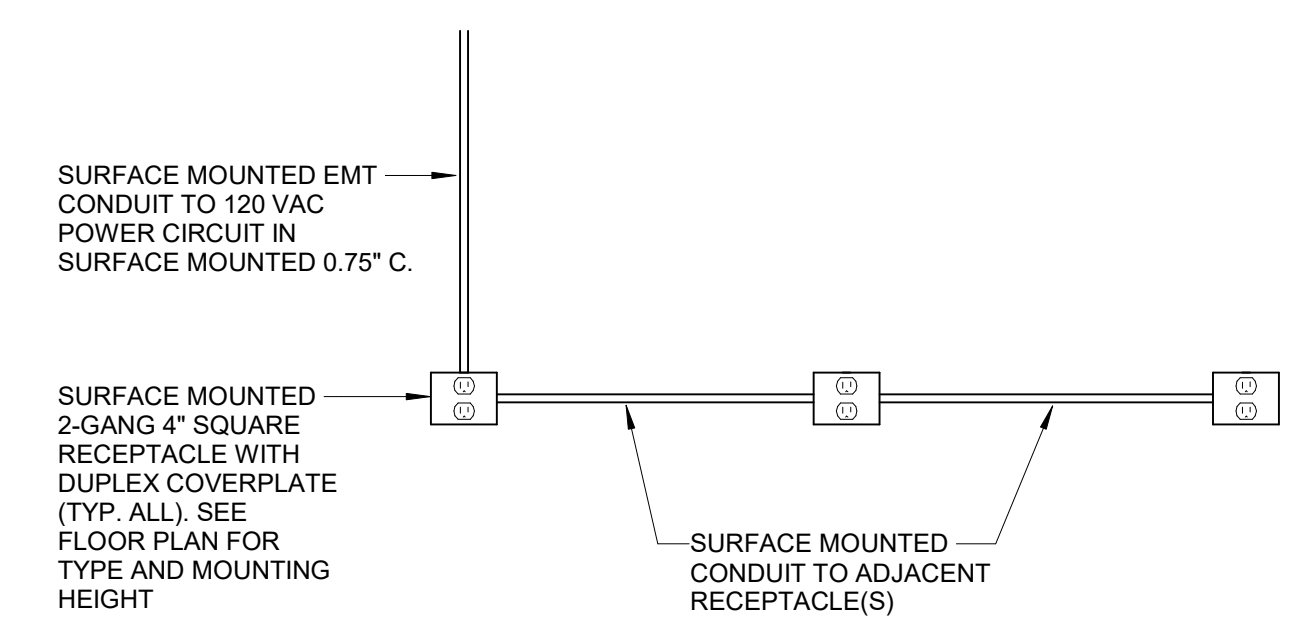
D TELEVISION OUTLET INSTALLATION DETAIL
SCALE: NONE



E POWER/DATA OUTLET BOX DETAIL
SCALE: NONE



F AV OUTLET BOX DETAIL
SCALE: NONE



G STUB DOWN RECEPTACLES DETAIL
SCALE: NONE

MULTISERVICE FLOORBOX SCHEDULE

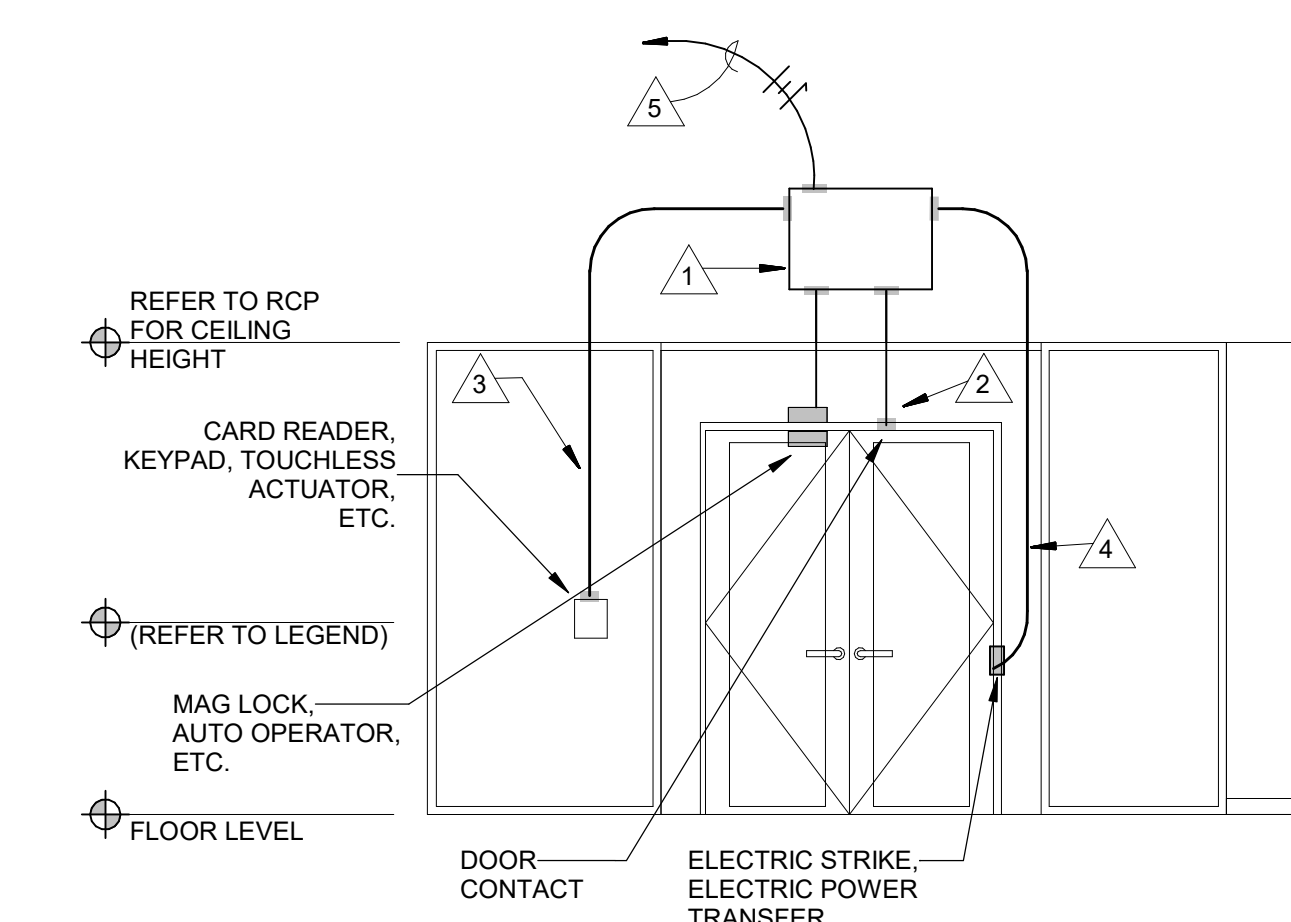
TAG	POWER REQUIREMENTS	DATA REQUIREMENTS	PART NUMBER
FB-A	(4) 5-20	NONE	LEGRAND RPSFB-03 LEGRAND RP4CTCXX (*)

NOTE:
(*) COLOR OF FLOORBOX TO MATCH INTERIOR FINISHES OF ROOM. COORDINATE FINAL COLOR WITH ARCHITECT PRIOR TO ORDERING.

1 BID AND PERMIT SET		2021-04-30
No.	Revisions / Submissions	Date
 LWC INCORPORATED 434 East First Street Dayton, OH 45402 937.223.6500 712 East Main Street Richmond, IN 47374 765.966.3546		
CITY OF KETTERING ROSEWOOD ARTS CENTER INTERIOR RENOVATION PHASE 1 2655 OLSON DRIVE KETTERING, OH 45420		
ELECTRICAL DETAILS AND SCHEDULES		
Comm. No.	Date	
20605.00	04/30/2021	
Drawn	NK	
Checked	JAE	
		1.E002
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LUMINAIRE SCHEDULE - PHASE 1

TYPE	DESCRIPTION	BASIS OF DESIGN	EQUAL MANUFACTURERS	MOUNTING	LAMPS / CCT	MINIMUM LUMENS	MAXIMUM WATTAGE	VOLTAGE	REMARKS
B1	12' LONG LINEAR RECESSED	FINELITE #HP-XR-D-12-H-840-F-120-SC-FC-10%-C2	LITECONTROL ARCHITECTURAL LIGHTING	RECESSED	LED / 4000K	9,630 LUMENS	77	120	
DL2	6" ROUND CIRCULAR DOWNLIGHT	LITHONIA #LDN6-40-20-L06-AR-LSS-MVOLT-GZ10	ALPHABET PRESCOLITE	RECESSED	LED / 4000K	2,000 LUMENS	23	120	
DL3	6" ROUND CIRCULAR DOWNLIGHT	LITHONIA #LDN6-40-15-L06-AR-LSS-MVOLT-GZ10	ALPHABET PRESCOLITE	RECESSED	LED / 4000K	1,500 LUMENS	16	120	
EM1	EMERGENCY WALL PACK	DUAL LITE #EV4-H2WAL	CHLORIDE, SURE-LITES	SURFACE ON WALL AT 8'-0" AFF	LED	500 LUMENS	4	120	PROVIDE SURFACE MOUNTED RACEWAY FOR ALL BLOCK WALL MOUNTING APPLICATIONS.
G	12"x12" SQUARE CANOPY CEILING LIGHT	ELUMINAIRE #CCS1-DP-45-40K-WH	ILP, TRACELITE	SURFACE ON CANOPY CEILING	LED / 4000K	4,500 LUMENS	36	120	FIXTURE FINISH TO BE SELECTED BY ARCHITECT.
H	18" DIAMETER QUARTER SPHERE OUTDOOR LIGHT	LITHONIA #WSOLED-P2-40K-SR4-MVOLT-E10WH-DOBXD	HUBBELL, COOPER	REPLACE EXISTING WALL MOUNTED FIXTURE	LED / 4000K	3,100 LUMENS	29	120	
K	4' LONG WRAPAROUND LIGHT	COLUMBIA #LAW-4-40-XW-E-U	LITHONIA, METALUX	SURFACE ON DRYWALL CEILING	LED / 4000K	2,400 LUMENS	19	120	
L	2' LONG RESTROOM VANITY FIXTURE	LITHONIA #FMVCCLS-24IN-MVOLT-30K35K40K-90CRI-TBD	HUBBELL, METALUX	SURFACE ON WALL AT 6" ABOVE MIRROR	LED / 4000K	1,850 LUMENS	18	120	ARCHITECT TO CONFIRM COLOR OF FIXTURE.
M3	4' LONG STRIP FIXTURE	LITHONIA #CLX-L48-3000LM-SEF-FDL-WD-MVOLT-GZ10-40K-80CRI-WH	HUBBELL, LUMAX	SURFACE ON CEILING / JOISTS	LED / 4000K	3,000 LUMENS	20	120	
M5	2' LONG STRIP FIXTURE	LITHONIA #CLX-L48-3000LM-SEF-FDL-WD-MVOLT-GZ10-40K-80CRI-WH	HUBBELL, LUMAX	SUSPENDED AT 8'-0" AFF	LED / 4000K	2,000 LUMENS	15	120	
P	6" ROUND CIRCULAR PENDANT	PRESCOLITE #LTC-6RD-P-30L-40K-8-WD-DM1-SS-WH	ALW, SSL	SUSPENDED AT 8'-6" AFF IN LOBBY	LED / 4000K	3,000 LUMENS	35	120	ARCHITECT TO CONFIRM COLOR OF FIXTURE.
P2	6" ROUND CIRCULAR PENDANT	PRESCOLITE #LTC-6RD-P-15L-40K-8-WD-DM1-SS-WH	ALW, SSL	SUSPENDED AT 7'-6" AFF IN VESTIBULE	LED / 4000K	1,500 LUMENS	19	120	ARCHITECT TO CONFIRM COLOR OF FIXTURE.
R	3" ADJUSTABLE BEAM TRACK HEAD	JUNO #R620L-40K-90CRI-PDIM-VBS-WH	BRUCK, PRESCOLITE	TRACK	LED / 4000K	1,100 LUMENS	15	120	ARCHITECT TO CONFIRM COLOR OF FIXTURE. ORDER WITH ACCESSORIES AND ACCESSORY HOLDER AS NECESSARY.
S1	20' LONG LINEAR INDIRECT / DIRECT	LITECONTROL #SAE-104-P-LPA-20-8-SOF-C1-40K-080-8D-D05-1C-UNV-FA2-L1	CORELITE, LEDALITE	SUSPENDED AT 9'-0" AFF	LED / 4000K	16,000 LUMENS	145	120	ORDER WITH SUSPENSION KIT AS NECESSARY.
S3	24' LONG LINEAR INDIRECT / DIRECT	LITECONTROL #SAE-104-P-LPA-24-8-SOF-C1-40K-080-8D-D05-1C-UNV-FA2-L1	CORELITE, LEDALITE	SUSPENDED AT 9'-0" AFF	LED / 4000K	19,200 LUMENS	174	120	ORDER WITH SUSPENSION KIT AS NECESSARY.
S4	8' LONG LINEAR INDIRECT / DIRECT	LITECONTROL #SAE-104-P-LPA-8-8-SOF-C1-40K-080-8D-D05-1C-UNV-FA2-L1	CORELITE, LEDALITE	SUSPENDED AT 9'-0" AFF	LED / 4000K	6,400 LUMENS	60	120	ORDER WITH SUSPENSION KIT AS NECESSARY.
T1	2x4' LENSED RECTANGULAR TROFFER	METALUX #24-G-R-LD5-38-A125-UNV-L840-CD-1	COLUMBIA, DAYBRITE	RECESSED	LED / 4000K	3,800 LUMENS	31	120	PROVIDE DRYWALL FRAME KIT FOR DRYWALL CEILING APPLICATIONS.
TR	TWO CIRCUIT TRACK	JUNO #TU-XFT-WH	-	-	-	-	120	120	ARCHITECT TO CONFIRM COLOR OF TRACK. ORDER AS NEEDED FOR TRACK LENGTH.
UL3	3' LONG UNDERCABINET LIGHT	FAIL-SAFE #UCL-3-LD4-40-A12125-EDC1-UNV	COLUMBIA, LEGION	SURFACE ON CASEWORK	LED / 4000K	2,600 LUMENS	25	120	
V1	2x4' VOLUMETRIC RECTANGULAR TROFFER	COLUMBIA #LCAT24-40-LW-G-ED-U	DAYBRITE, METALUX	RECESSED	LED / 4000K	4,400 LUMENS	36	120	
V2	2x2' VOLUMETRIC RECTANGULAR TROFFER	COLUMBIA #LCAT22-40-MV-G-ED-U	DAYBRITE, METALUX	RECESSED	LED / 4000K	2,100 LUMENS	17	120	
WL4	4' LONG STRIP LIGHT	LITHONIA #WL4-40L-MVOLT-EZ1-L840	ILP, PRIMUS	SUSPENDED AT 9'-9" AFF	LED / 4000K	4,000 LUMENS	40	120	
X1	THERMOPLASTIC EXIT SIGN	DUAL-LITE #EVC-U-R-W-A-C-1	CHLORIDE, SURE-LITES	SURFACE ON WALL WITH BOTTOM 6" ABOVE DOOR	LED	-	1	120	
X2	EXIT SIGN WITH INTEGRAL EMERGENCY WALLPACK	DUAL-LITE #EVC-U-R-W-I	CHLORIDE, SURE-LITES	SURFACE ON CEILING / SURFACE ON WALL WITH BOTTOM 6" ABOVE DOOR	LED	-	2	120	



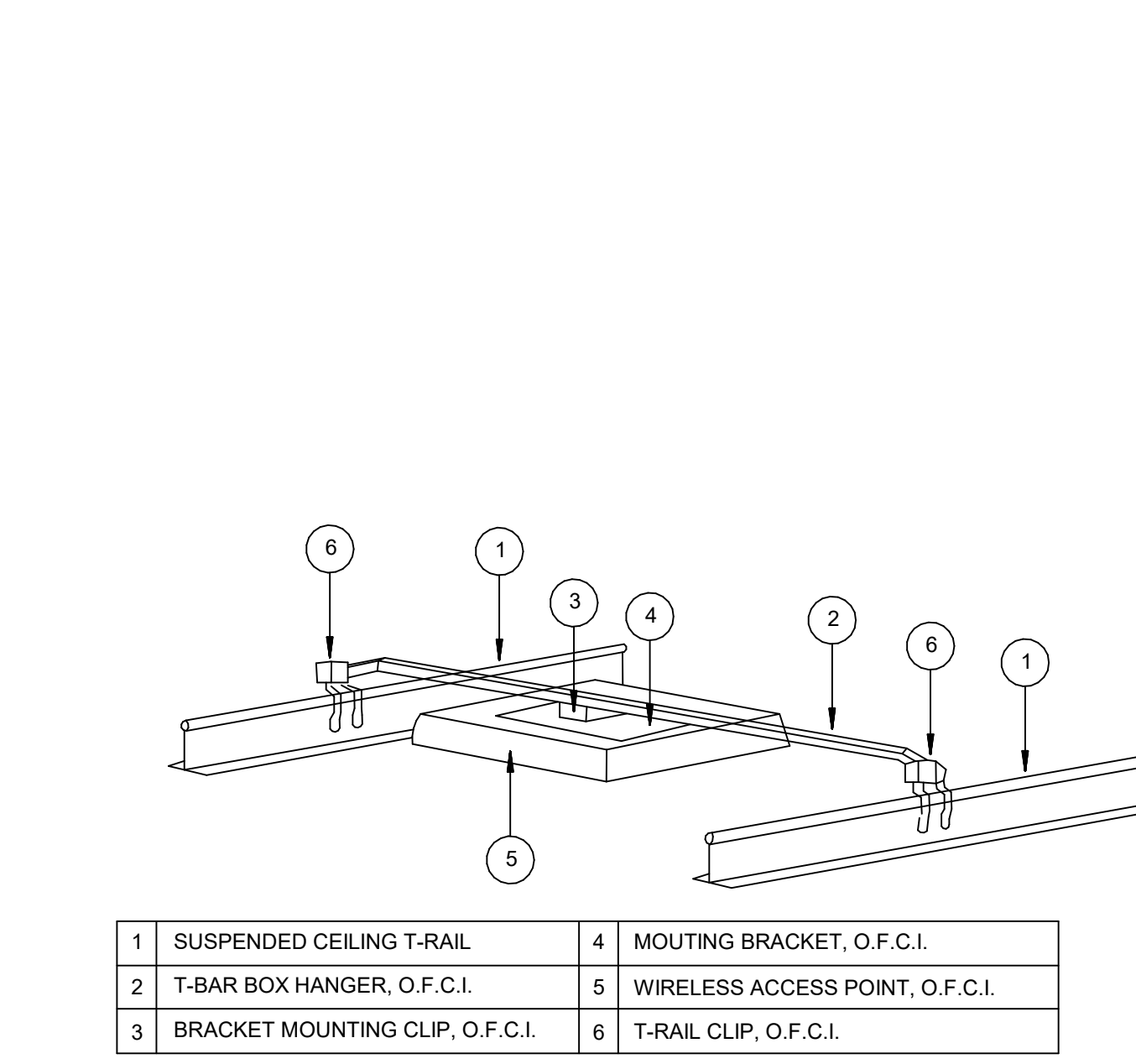
- ACCESS CONTROL SYSTEM (TAGGED NOTES)**
- 1. DOOR JUNCTION PANEL ABOVE DOOR PROVIDED AND INSTALLED BY THE ACCESS CONTROL VENDOR/CONTRACTOR. REFER TO DOOR HARDWARE SPECIFICATIONS AND FLOOR PLANS FOR ALL LOCATIONS.
 - 2. PROVIDE CONDUIT STUB-OUT FROM DOOR FRAME TO 6" ABOVE CEILING AT DOOR LOCATION AS REQUIRED FOR DOOR POSITION CONTACT SWITCHES, AUTO OPERATORS, MAGNETIC LOCKS, ETC.. PROVIDE ADDITIONAL CONDUITS AND LOCATIONS AS REQUIRED FOR ADDITIONAL DEVICES. REFER TO DOOR HARDWARE SPECIFICATIONS AND FLOOR PLANS FOR DEVICES REQUIRED.
 - 3. PROVIDE CONDUIT STUB-OUT FROM DOOR OPERATOR DEVICE 6" ABOVE CEILING AT DOOR LOCATION AS REQUIRED FOR KEYPADS, ETC.. PROVIDE ADDITIONAL CONDUITS AT LOCATIONS AS REQUIRED FOR ADDITIONAL DEVICES. REFER TO DOOR HARDWARE SPECIFICATIONS AND FLOOR PLANS FOR DEVICES REQUIRED.
 - 4. PROVIDE CONDUIT STUB-OUT FROM DOOR FRAME TO 6" ABOVE CEILING AT DOOR LOCATION AS REQUIRED FOR FOR ELECTRIC POWER TRANSFER, ELECTRIC STRIKE, ETC.. PROVIDE ADDITIONAL CONDUITS AT LOCATIONS AS REQUIRED FOR ADDITIONAL DEVICES. REFER TO DOOR HARDWARE SPECIFICATIONS AND FLOOR PLANS FOR DEVICES REQUIRED.
 - 5. ROUTE 120V POWER TO ALL DOOR POWER SUPPLIES, AUTO DOOR OPERATORS, ETC. AS REQUIRED. REFER TO DOOR HARDWARE SPECIFICATIONS AND FLOOR PLANS FOR DEVICES REQUIRED.
- ACCESS CONTROL SYSTEM (GENERAL NOTES)**
- 1. PROVIDE ALL NECESSARY BACKBOXES, CONDUITS AND ROUGH-INS REQUIRED. REFER TO DOOR HARDWARE SPECIFICATIONS FOR DOOR RISER REQUIREMENTS PER DOOR AND FOR EQUIPMENT ITEMS AND CONNECTIONS.
 - 2. REFER TO DOOR HARDWARE SPECIFICATIONS SECTION FOR ADDITIONAL REQUIREMENTS. PROVIDE ALL CONDUITS AND FINAL TERMINATIONS OF PATHWAYS AT ALL DOOR FRAMES, WALLS, BACKBOXES, ETC AS REQUIRED FOR WIRING PATHWAYS.
 - 3. PROVIDE 3/4" CONDUIT MINIMUM FOR ALL ACCESS CONTROL ROUGH-IN AND STUB-OUTS.

SHEET 1.E003 TAGGED NOTES

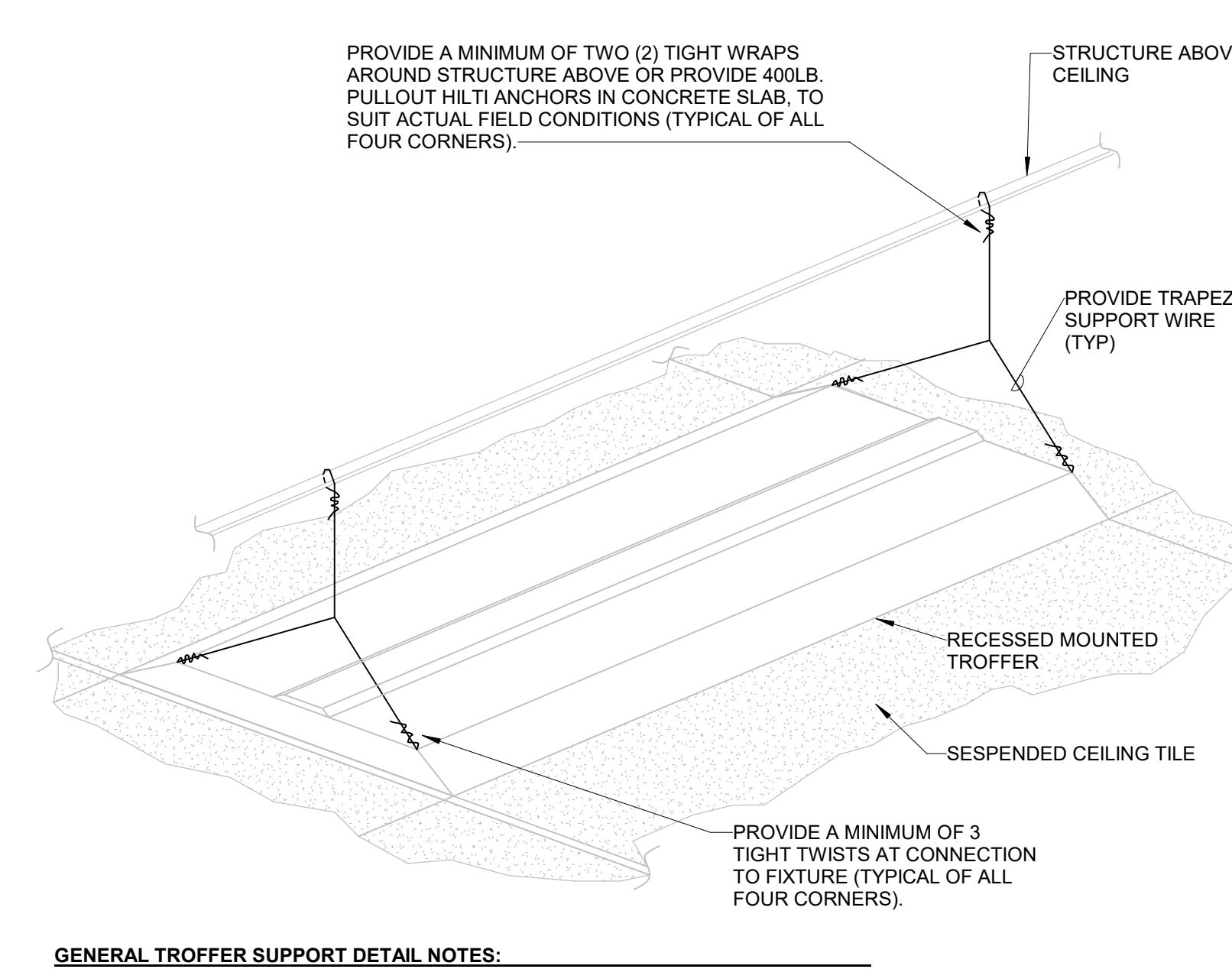
L1 ZONE TO BE PRIMARILY CONTROLLED BY TIMECLOCK. CONTROL ZONE VIA OCCUPANCY SENSOR DURING AFTER HOURS.

LIGHTING SEQUENCE OF OPERATIONS - PHASE 1

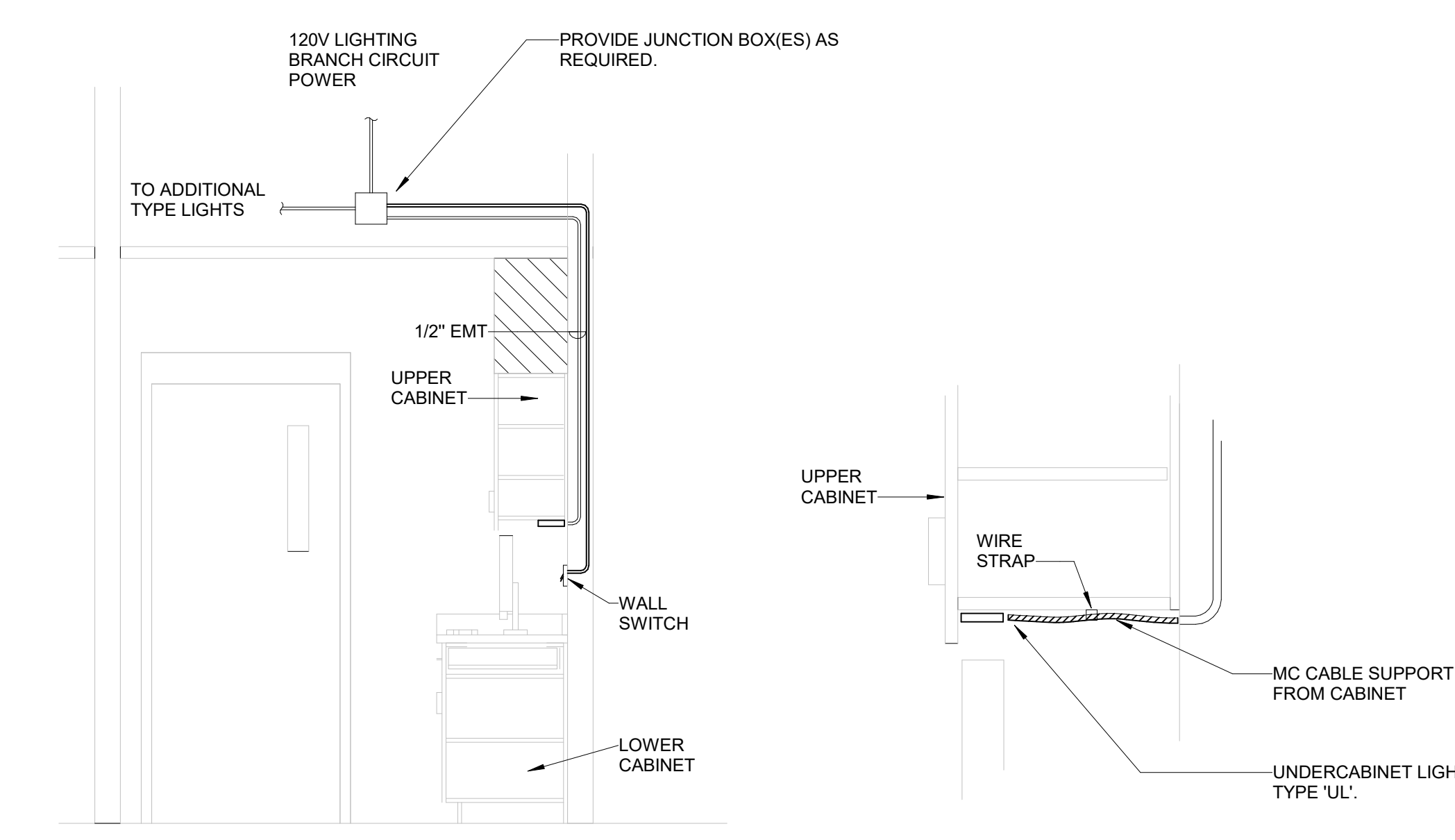
LC ID	OCCUPANCY SENSOR			TIME CLOCK				WALL SWITCH			DAYLIGHT SENSOR			
	VACANCY MODE	OCCUPANCY MODE	SENSOR TIME OUT PERIOD	SCHEDULED ON	SCHEDULED OFF	AFTER HOURS OVERRIDE SWITCH	ON/OFF ONLY	DIMMER SWITCH	KEY SWITCH	SCENE SWITCH	GRAPHICAL WALL STATION	INDOOR - ON/OFF ONLY	INDOOR - DIMMING	EXTERIOR PHOTOCELL ON/OFF
1		X		8:00AM	7:00PM				X					
2								X						
3	X		20 MIN											
4	X		20 MIN											
5		X	20 MIN					X						



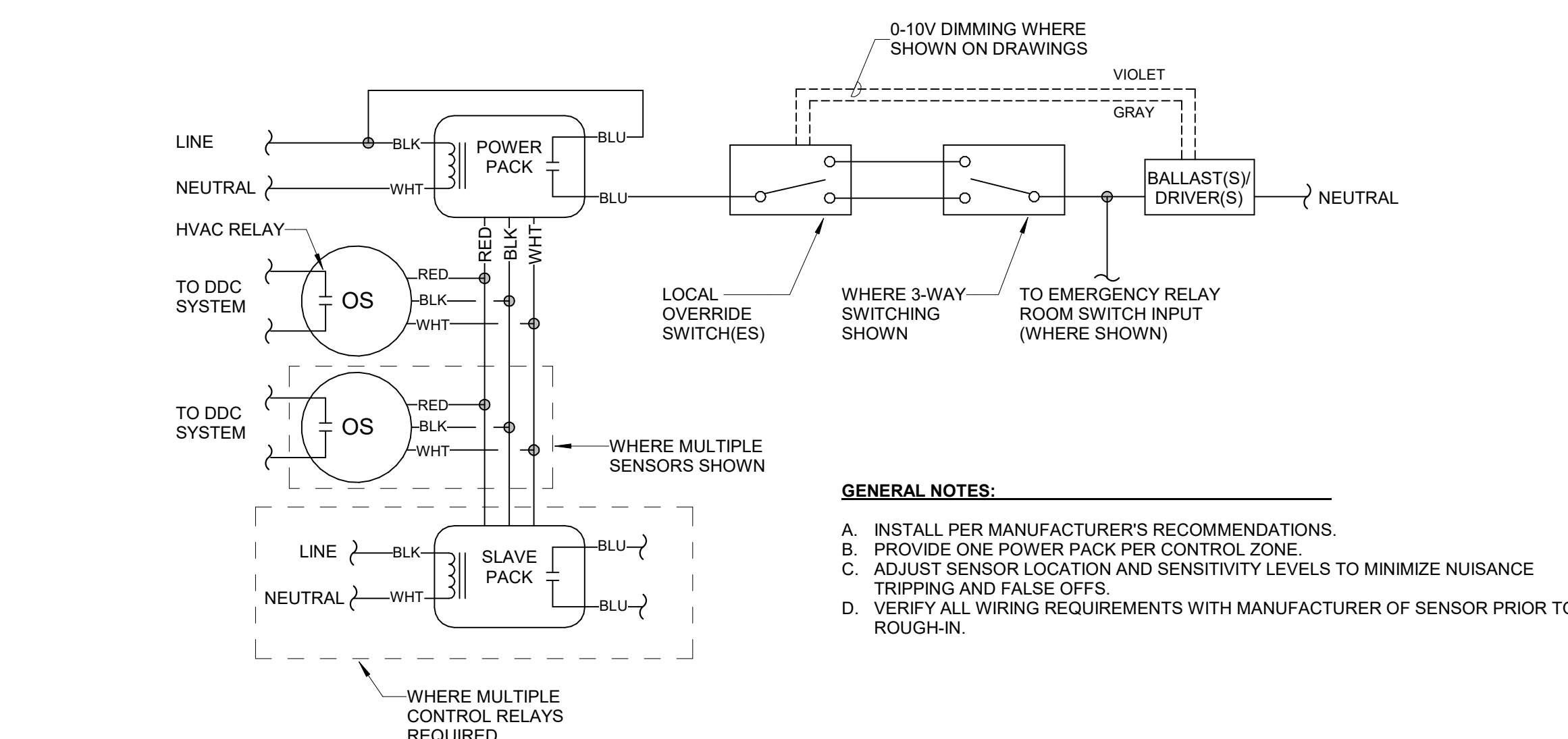
(B) TYPICAL WIRELESS ACCESS POINT INSTALLATION DETAIL
SCALE: NONE



(C) LUMINAIRE SUPPORT DETAIL
SCALE: NONE



(D) UNDERCABINET LIGHT INSTALLATION DETAIL
SCALE: NONE



(E) OCCUPANCY SENSOR - LOW VOLTAGE
SCALE: NONE

1 BID AND PERMIT SET 2021-04-30

No. Revisions / Submissions Date

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712 East Main Street Richmond, IN 47374 765.966.3546

**CITY OF KETTERING
ROSEWOOD ARTS CENTER**

**INTERIOR RENOVATION
PHASE 1**

2655 OLSON DRIVE
KETTERING, OH 45420

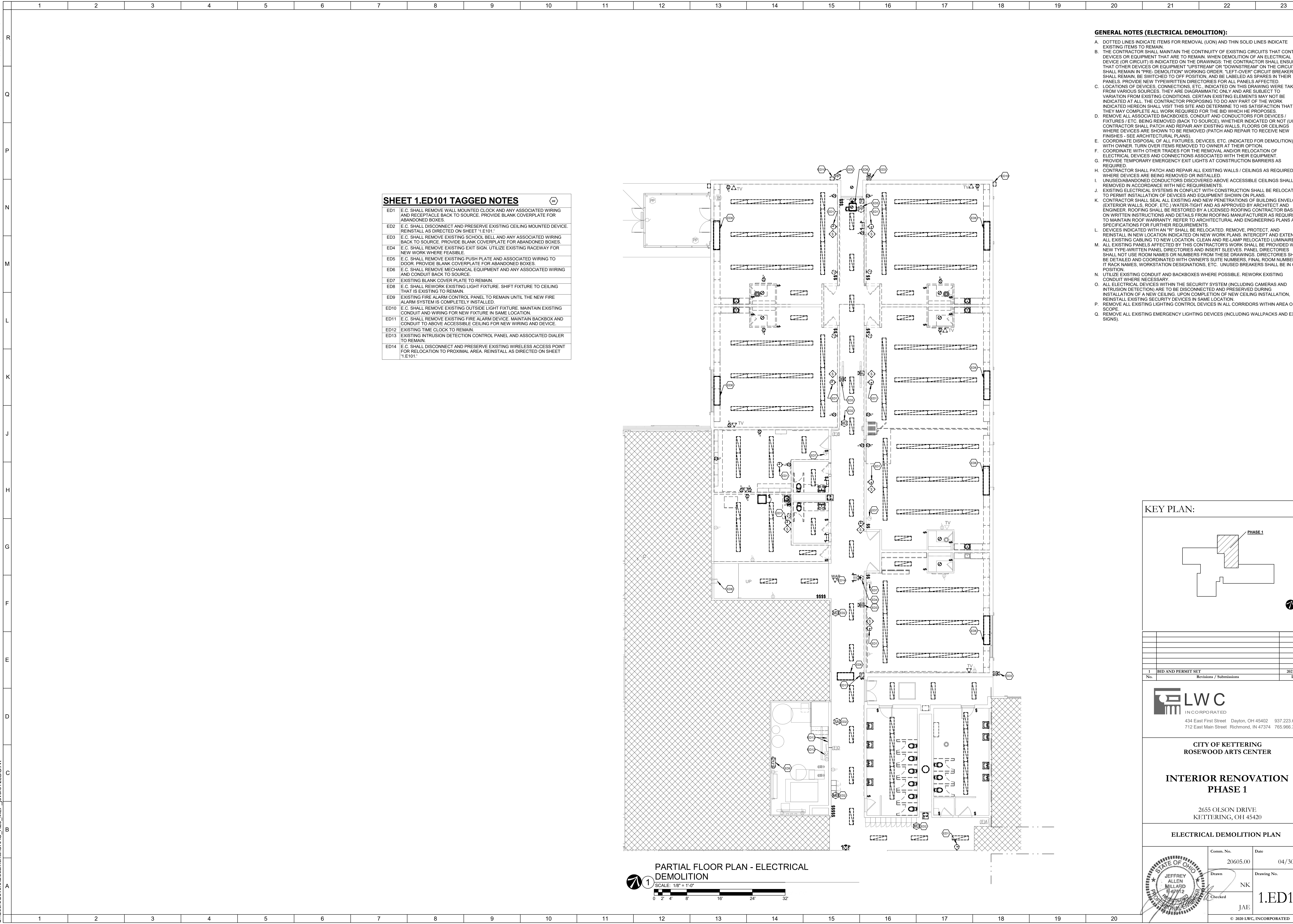
ELECTRICAL DETAILS AND SCHEDULES

Comm. No. 20605.00 Date 04/30/2021

Drawn NK
Checked JAE

Drawing No. **1.E003**

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SHEET 1.ED101 TAGGED NOTES

ED1	E.C. SHALL REMOVE WALL MOUNTED CLOCK AND ANY ASSOCIATED WIRING AND RECEPTACLE BACK TO SOURCE. PROVIDE BLANK COVERPLATE FOR ABANDONED BOXES.
ED2	E.C. SHALL DISCONNECT AND PRESERVE EXISTING CEILING MOUNTED DEVICE. REINSTALL AS DIRECTED ON SHEET "1.ED101".
ED3	E.C. SHALL REMOVE EXISTING SCHOOL BELL AND ANY ASSOCIATED WIRING BACK TO SOURCE. PROVIDE BLANK COVERPLATE FOR ABANDONED BOXES.
ED4	E.C. SHALL REMOVE EXISTING EXIT SIGN. UTILIZE EXISTING RACEWAY FOR NEW WORK WHERE FEASIBLE.
ED5	E.C. SHALL REMOVE EXISTING PUSH PLATE AND ASSOCIATED WIRING TO DOOR. PROVIDE BLANK COVERPLATE FOR ABANDONED BOXES.
ED6	E.C. SHALL REMOVE MECHANICAL EQUIPMENT AND ANY ASSOCIATED WIRING AND CONDUIT BACK TO SOURCE.
ED7	EXISTING BLANK COVER PLATE TO REMAIN.
ED8	E.C. SHALL REWORK EXISTING LIGHT FIXTURE. SHIFT FIXTURE TO CEILING THAT IS EXISTING TO REMAIN.
ED9	EXISTING FIRE ALARM CONTROL PANEL TO REMAIN UNTIL THE NEW FIRE ALARM SYSTEM IS COMPLETELY INSTALLED.
ED10	E.C. SHALL REMOVE EXISTING OUTSIDE LIGHT FIXTURE. MAINTAIN EXISTING CONDUIT AND WIRING FOR NEW FIXTURE IN SAME LOCATION.
ED11	E.C. SHALL REMOVE EXISTING FIRE ALARM DEVICE. MAINTAIN BACKBOX AND CONDUIT TO ABOVE ACCESSIBLE CEILING FOR NEW WIRING AND DEVICE.
ED12	EXISTING TIME CLOCK TO REMAIN.
ED13	EXISTING INTRUSION DETECTION CONTROL PANEL AND ASSOCIATED DIALER TO REMAIN.
ED14	E.C. SHALL DISCONNECT AND PRESERVE EXISTING WIRELESS ACCESS POINT FOR RELOCATION TO PROXIMAL AREA. REINSTALL AS DIRECTED ON SHEET "1.ED101".

- GENERAL NOTES (ELECTRICAL DEMOLITION):**
- DOTTED LINES INDICATE ITEMS FOR REMOVAL (UON) AND THIN SOLID LINES INDICATE EXISTING ITEMS TO REMAIN.
 - THE CONTRACTOR SHALL MAINTAIN THE CONTINUITY OF EXISTING CIRCUITS THAT CONTAIN DEVICES OR EQUIPMENT THAT ARE TO REMAIN. WHEN DEMOLITION OF AN ELECTRICAL DEVICE (OR CIRCUIT) IS INDICATED ON THE DRAWINGS, THE CONTRACTOR SHALL ENSURE THAT OTHER DEVICES OR EQUIPMENT "UPSTREAM" OR "DOWNSTREAM" ON THE CIRCUITS SHALL REMAIN IN "PRE-DEMOLITION" WORKING ORDER. "LEFT-OVER" CIRCUIT BREAKERS SHALL REMAIN, BE SWITCHED TO OFF POSITION, AND BE LABELED AS SPARES IN THEIR PANELS. PROVIDE NEW TYPEWRITTEN DIRECTORIES FOR ALL PANELS AFFECTED.
 - LOCATIONS OF DEVICES, CONNECTIONS, ETC., INDICATED ON THIS DRAWING WERE TAKEN FROM VARIOUS SOURCES. THEY ARE DIAGRAMMATIC ONLY AND ARE SUBJECT TO VARIATION FROM EXISTING CONDITIONS. CERTAIN EXISTING ELEMENTS MAY NOT BE INDICATED AT ALL. THE CONTRACTOR PROPOSING TO DO ANY PART OF THE WORK INDICATED HEREON SHALL VISIT THIS SITE AND DETERMINE TO HIS SATISFACTION THAT THEY MAY COMPLETE ALL WORK REQUIRED FOR THE BID WHICH HE PROPOSES.
 - REMOVE ALL ASSOCIATED BACKBOXES, CONDUIT AND CONDUCTORS FOR DEVICES / FIXTURES / ETC. BEING REMOVED (BACK TO SOURCE), WHETHER INDICATED OR NOT (UON). CONTRACTOR SHALL PATCH AND REPAIR ANY EXISTING WALLS, FLOORS OR CEILINGS WHERE DEVICES ARE SHOWN TO BE REMOVED (PATCH AND REPAIR TO RECEIVE NEW FINISHES - SEE ARCHITECTURAL PLANS).
 - COORDINATE DISPOSAL OF ALL FIXTURES, DEVICES, ETC. (INDICATED FOR DEMOLITION) WITH OWNER. TURN OVER ITEMS REMOVED TO OWNER AT THEIR OPTION.
 - COORDINATE WITH OTHER TRADES FOR THE REMOVAL AND/OR RELOCATION OF ELECTRICAL DEVICES AND CONNECTIONS ASSOCIATED WITH THEIR EQUIPMENT.
 - PROVIDE TEMPORARY EMERGENCY EXIT LIGHTS AT CONSTRUCTION BARRIERS AS REQUIRED.
 - CONTRACTOR SHALL PATCH AND REPAIR ALL EXISTING WALLS / CEILINGS AS REQUIRED WHERE DEVICES ARE BEING REMOVED OR INSTALLED.
 - UNUSED/ABANDONED CONDUCTORS DISCOVERED ABOVE ACCESSIBLE CEILINGS SHALL BE REMOVED IN ACCORDANCE WITH NEC REQUIREMENTS.
 - EXISTING ELECTRICAL SYSTEMS IN CONFLICT WITH CONSTRUCTION SHALL BE RELOCATED TO PERMIT INSTALLATION OF DEVICES AND EQUIPMENT SHOWN ON PLANS.
 - CONTRACTOR SHALL SEAL ALL EXISTING AND NEW PENETRATIONS OF BUILDING ENVELOPE (EXTERIOR WALLS, ROOF, ETC.) WATER-TIGHT AND AS APPROVED BY ARCHITECT AND ENGINEER. ROOFING SHALL BE RESTORED BY A LICENSED ROOFING CONTRACTOR BASED ON WRITTEN INSTRUCTIONS AND DETAILS FROM ROOFING MANUFACTURER AS REQUIRED TO MAINTAIN ROOF WARRANTY. REFER TO ARCHITECTURAL AND ENGINEERING PLANS AND SPECIFICATIONS FOR FURTHER REQUIREMENTS.
 - DEVICES INDICATED WITH AN "R" SHALL BE RELOCATED, REMOVE, PROTECT, AND REINSTALL IN NEW LOCATION INDICATED ON NEW WORK PLANS. INTERCEPT AND EXTEND ALL EXISTING CABLING TO NEW LOCATION. CLEAN AND RE-LAMP RELOCATED LUMINAIRES.
 - ALL EXISTING PANELS AFFECTED BY THIS CONTRACTOR'S WORK SHALL BE PROVIDED WITH NEW TYPE-WRITTEN PANEL DIRECTORIES AND INSERT SLEEVES. PANEL DIRECTORIES SHALL NOT USE ROOM NAMES OR NUMBERS FROM THESE DRAWINGS. DIRECTORIES SHALL BE DETAILED AND COORDINATED WITH OWNER'S SUITE NUMBERS, FINAL ROOM NUMBERS, IT RACK NAMES, WORKSTATION DESIGNATIONS, ETC. UNUSED BREAKERS SHALL BE IN OFF POSITION.
 - UTILIZE EXISTING CONDUIT AND BACKBOXES WHERE POSSIBLE. REWORK EXISTING CONDUIT WHERE NECESSARY.
 - ALL ELECTRICAL DEVICES WITHIN THE SECURITY SYSTEM INCLUDING CAMERAS AND INTRUSION DETECTION ARE TO BE DISCONNECTED AND PRESERVED DURING INSTALLATION OF A NEW CEILING. UPON COMPLETION OF NEW CEILING INSTALLATION, REINSTALL EXISTING SECURITY DEVICES IN SAME LOCATION.
 - REMOVE ALL EXISTING LIGHTING CONTROL DEVICES IN ALL CORRIDORS WITHIN AREA OF SCOPE.
 - REMOVE ALL EXISTING EMERGENCY LIGHTING DEVICES (INCLUDING WALLPACKS AND EXIT SIGNS).

PARTIAL FLOOR PLAN - ELECTRICAL DEMOLITION
 SCALE: 1/8" = 1'-0"
 0 2' 4' 8' 16' 24' 32'

KEY PLAN:

1. BID AND PERMIT SET		2021-04-30
No.	Revisions / Submissions	Date

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**CITY OF KETTERING
 ROSEWOOD ARTS CENTER**

**INTERIOR RENOVATION
 PHASE 1**

2655 OLSON DRIVE
 KETTERING, OH 45420

ELECTRICAL DEMOLITION PLAN

Comm. No.	Date
20605.00	04/30/2021
Drawn	Drawing No.
JEFFREY ALLEN MILLARD 647612	NK
Checked	JAE
1.ED101	

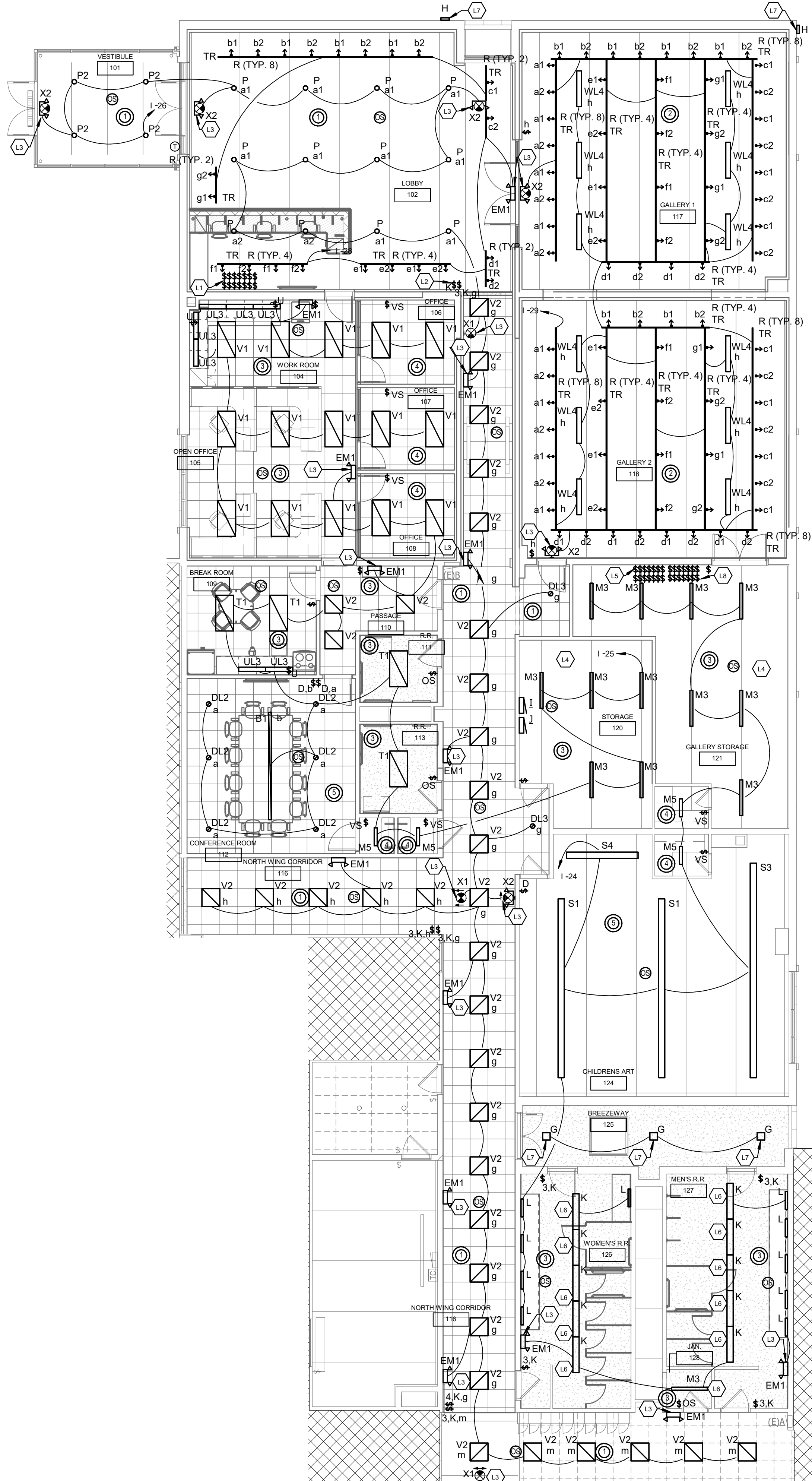
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GENERAL NOTES (POWER):

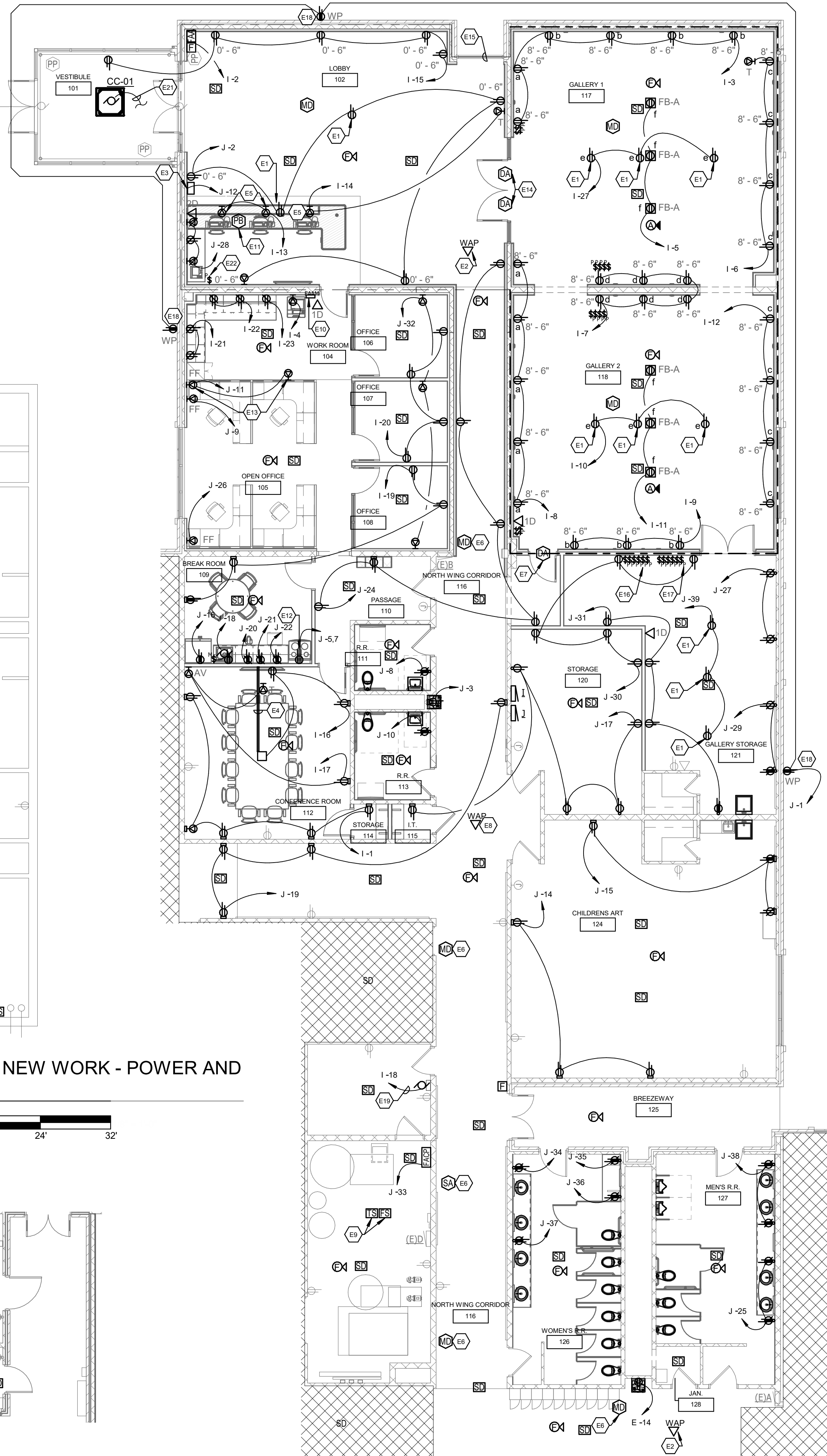
- A. REFER TO THE ARCHITECT'S REFLECTED CEILING PLANS, ELEVATIONS, AND CASEWORK DETAILS FOR EXACT LOCATIONS OF ALL WALL AND CEILING MOUNTED ELECTRICAL DEVICES.
- B. CONTRACTOR SHALL FOLLOW BRANCH CIRCUITING LAY-OUT, AS INDICATED ON THE FLOOR PLANS, WITH A MAXIMUM OF THREE (3) BRANCH CIRCUITS PER HOMERUN. EACH BRANCH CIRCUIT SHALL BE PROVIDED WITH A DEDICATED NEUTRAL CONDUCTOR. DEDICATED NEUTRAL CONDUCTORS SHALL BE CONSIDERED CURRENT CARRYING. IF ADDITIONAL CONDUCTORS ARE RUN IN THE SAME CONDUIT WITH THOSE INDICATED, CONTRACTOR SHALL DERATE ALL CURRENT CARRYING CONDUCTORS PER N.E.C. #310.15(B)(3), AND UPSIZE CONDUIT AS REQUIRED PER N.E.C. #300.17 AND ANNEX C. MULTIWIRE BRANCH CIRCUITS AS DEFINED IN N.E.C. #210.4 (CIRCUITS SHARING A COMMON NEUTRAL CONDUCTOR) SHALL NOT BE PERMITTED.
- C. IDENTIFY THE PANEL AND CIRCUIT NUMBER FOR ALL RECEPTACLES, SWITCHES, ETC. IN AREA OF CONSTRUCTION. PROVIDE CLEAR ADHESIVE LABELS WITH BLACK LETTERING.
- D. LOCATIONS OF ELECTRICAL CONNECTIONS AND LOCAL DISCONNECTS SHALL BE COORDINATED WITH MECHANICAL AND PLUMBING CONTRACTORS TO ENSURE ACCESS AND WORKING CLEARANCE IS MAINTAINED PER NEC. NOTIFY OTHER TRADES OF REQUIRED CLEARANCE AREAS TO AVOID ROUTING OF OTHER SYSTEMS IN THESE AREAS. DO NOT INSTALL ELECTRICAL EQUIPMENT OVER EQUIPMENT NAMEPLATES OR ACCESS PANELS OR THROUGH ACCESS/MAINTENANCE CLEARANCES OF EQUIPMENT BY OTHER TRADES.
- E. PROVIDE BOX EXTENDERS ON ELECTRICAL AND COMMUNICATION FIXTURES SHOWN AS EXISTING TO REMAIN ON WALLS BEING FURRED OUT.

GENERAL NOTES (LIGHTING):

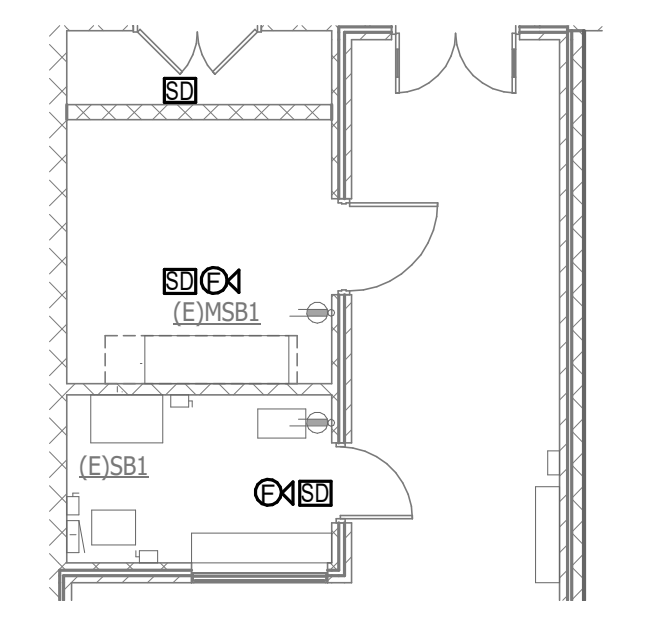
- A. REFER TO THE ARCHITECT'S REFLECTED CEILING PLANS, ELEVATIONS, AND CASEWORK DETAILS FOR EXACT LOCATIONS OF ALL WALL AND CEILING MOUNTED ELECTRICAL DEVICES.
- B. CONTRACTOR SHALL FOLLOW BRANCH CIRCUITING LAY-OUT, AS INDICATED ON THE FLOOR PLANS, WITH A MAXIMUM OF THREE (3) BRANCH CIRCUITS PER HOMERUN. EACH BRANCH CIRCUIT SHALL BE PROVIDED WITH A DEDICATED NEUTRAL CONDUCTOR. DEDICATED NEUTRAL CONDUCTORS SHALL BE CONSIDERED CURRENT CARRYING. IF ADDITIONAL CONDUCTORS ARE RUN IN THE SAME CONDUIT WITH THOSE INDICATED, CONTRACTOR SHALL DERATE ALL CURRENT CARRYING CONDUCTORS PER N.E.C. #310.15(B)(3), AND UPSIZE CONDUIT AS REQUIRED PER N.E.C. #300.17 AND ANNEX C. MULTIWIRE BRANCH CIRCUITS AS DEFINED IN N.E.C. #210.4 (CIRCUITS SHARING A COMMON NEUTRAL CONDUCTOR) SHALL NOT BE PERMITTED.
- C. IDENTIFY THE PANEL AND CIRCUIT NUMBER FOR ALL RECEPTACLES, SWITCHES, ETC. IN AREA OF CONSTRUCTION. PROVIDE CLEAR ADHESIVE LABELS WITH BLACK LETTERING.
- D. LOCATE CHAIN-HUNG INDUSTRIAL FIXTURES IN MECHANICAL ROOMS TO AVOID DUCTWORK AND PIPING. TO MAXIMIZE AVAILABLE LIGHT, SPACE AROUND EQUIPMENT, AIR HANDLERS, ETC. TO PROVIDE ADEQUATE LIGHTING TO ALL AREAS OF ROOM. PROVIDE ADDITIONAL FIXTURES OR SAME TYPE AS NEEDED TO FULFILL THIS REQUIREMENT.
- E. LOCATE EXIT SIGNS FOR MAXIMUM VIEWING AREA TO IDENTIFY EGRESS PATHS AS INDICATED ON PLANS. COORDINATE LOCATIONS SUCH THAT ARCHITECTURAL FEATURES OR EQUIPMENT FROM OTHER TRADES DO NOT OBSTRUCT VIEW.
- F. WHERE EXIT SIGNS OR EMERGENCY BATTERY PACKS ARE PROVIDED, THEY SHALL BE CONNECTED TO AN UNSWITCHED LINE.
- G. LUMINAIRES INDICATED WITH MULTI-LEVEL SWITCHING SHALL HAVE SIMILAR LAMPS CONTROLLED TOGETHER, I.E. INBOARD AND OUTBOARD LAMPS OR RIGHT AND LEFT HAND LAMPS.
- H. ALL LIGHTING FIXTURE LENSES, PARABOLIC LOUVERS, DOWNLIGHTING ALZAK CONES AND PARACUBE LOUVERS SHALL BE HANDLED WITH COTTON GLOVES DURING INSTALLATION AND LAMPING TO AVOID FINGERPRINTS OR DIRT DEPOSITS. IT IS PREFERRED THAT FIXTURES BE SHIPPED AND INSTALLED WITH CLEAR PLASTIC BAGS TO PROTECT LOUVERS. AT CLOSE OF PROJECT, AND AFTER CONSTRUCTION AIR FILTERS ARE CHANGED, REMOVE BAGS. ANY LOUVER OR CONE SHOWING DIRT OR FINGER PRINTS SHALL BE CLEANED WITH SOLVENT RECOMMENDED BY THE MANUFACTURER, OR REPLACED AS NECESSARY IN ORDER TO TURN OVER TO THE OWNER NEW FIXTURES AT OCCUPANCY.
- I. RECESSED LUMINAIRES SHALL BE SECURED SUCH THAT THE FORCE REQUIRED INSERTING LAMPS, TRIMS, LENSES, OR DOOR FRAMES DOES NOT SHIFT HOUSING. ALL TRIMS SHALL BE COMPLETELY FLUSH WITH FINISHED CEILING AT COMPLETION OF CONSTRUCTION.
- J. CONTRACTOR SHALL PROVIDE UNSWITCHED CONDUIT TO ALL EXIT SIGNS, EMERGENCY INVERTER BATTERY PACKS AS REQUIRED.



1 PARTIAL FLOOR PLAN - LIGHTING
SCALE: 1/8" = 1'-0"



4 BASEMENT PLAN - NEW WORK - POWER AND SYSTEMS
SCALE: 1/8" = 1'-0"



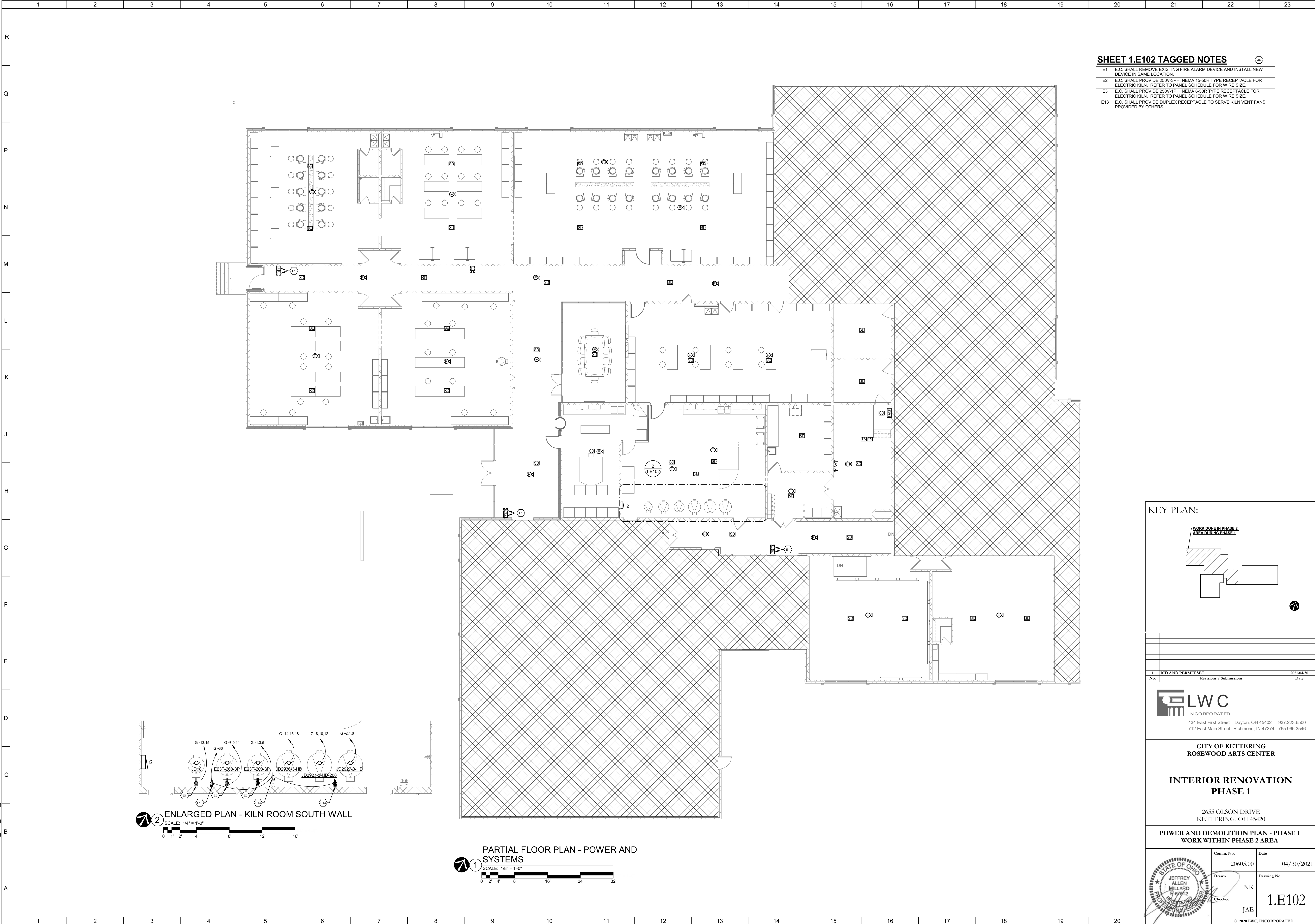
5 PARTIAL FLOOR PLAN - NEW WORK - POWER AND SYSTEMS
SCALE: 1/8" = 1'-0"

2 PARTIAL FLOOR PLAN - POWER AND SYSTEMS
SCALE: 1/8" = 1'-0"

SHEET 1.E101 TAGGED NOTES

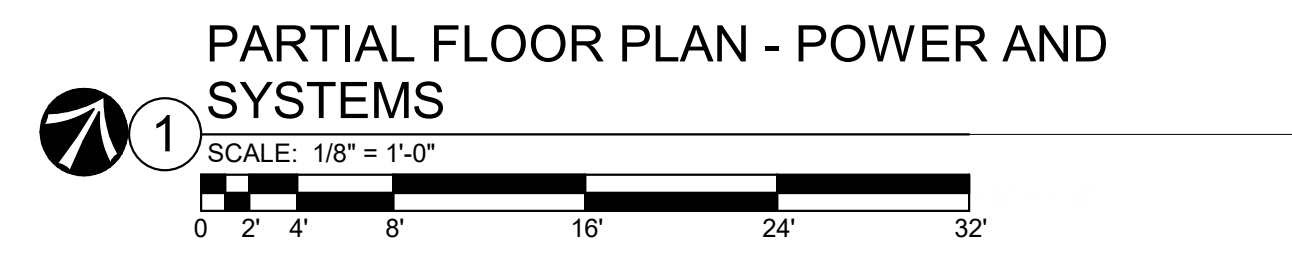
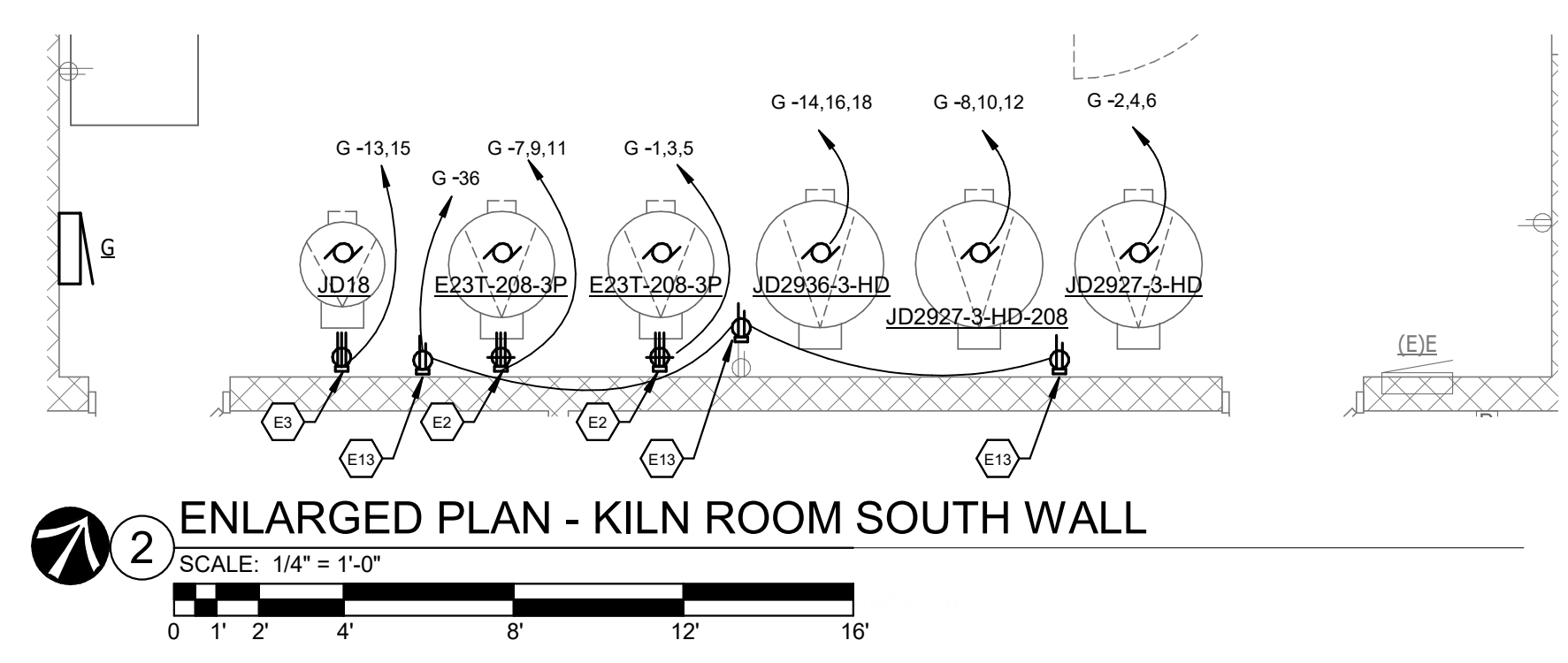
- E1 E.C. SHALL MOUNT RECEPTACLE TO SIDE OF JOIST ABOVE BOTTOM FLANGE.
- E2 E.C. SHALL PROVIDE DATA ROUGH-IN FOR WIRELESS ACCESS POINT. STUB TO ABOVE CEILING J-HOOK ASSEMBLY. SEE DETAIL ON SHEET 1.E003.
- E3 E.C. SHALL PROVIDE NEW 120V-1PH, 20A BRANCH CIRCUIT TO SERVE EXISTING AED RELOCATED FROM EXISTING MAIN ENTRANCE.
- E4 E.C. SHALL PROVIDE LEGRAND CONNECTRAC RACEWAY AND ALL REQUIRED PARTS, FITTINGS AND ACCESSORIES FROM INDICATED WALL TO POWER DATA HUBS BELOW TABLE. PROVIDE QUADRIPOLEX RECEPTACLE DEVICE C/PW1.11 AT POWER HUB AND ADJACENT C/D72 DATA DEVICE.
- E5 E.C. SHALL PROVIDE MAXIMUM VIEWING AREA TO IDENTIFY EGRESS PATHS AS INDICATED ON PLANS. COORDINATE LOCATIONS SUCH THAT ARCHITECTURAL FEATURES OR EQUIPMENT FROM OTHER TRADES DO NOT OBSTRUCT VIEW.
- E6 E.C. SHALL REINSTALL AND RECONNECT EXISTING CEILING MOUNTED ELECTRICAL DEVICE UPON INSTALLATION OF NEW CEILING.
- E7 E.C. SHALL PROVIDE NEW DOOR POSITION SWITCH AND TIE INTO EXISTING SECURITY SYSTEM.
- E8 E.C. SHALL RELOCATE, REINSTALL AND RECONNECT EXISTING WIRELESS ACCESS POINT UPON INSTALLATION OF NEW CEILING.
- E9 E.C. SHALL PROVIDE TAMPER SWITCH AND FLOW SWITCH ON LIMITED AREA SPRINKLER SYSTEM. E.C. SHALL INTERLOCK SWITCHES WITH FIRE ALARM SYSTEM.
- E10 E.C. SHALL PROVIDE MICROPHONE FOR FIRE ALARM ANNUNCIATION.
- E11 E.C. SHALL PROVIDE PANIC BUTTON MOUNTED TO BOTTOM SIDE OF CASEWORK. CONNECT TO EXISTING SECURITY SYSTEM AS NECESSARY.
- E12 E.C. SHALL PROVIDE NEMA 5-6R FOR ELECTRICAL STORAGE AND #2#8 CU & #1#10 GND. IN 0.75" C. VERIFY FINAL NEMA CONFIGURATION IN FIELD PRIOR TO ORDERING.
- E13 E.C. SHALL PROVIDE CIRCUIT TO MODULAR FURNITURE FOR PLOTTER. FURNITURE SHALL BE ORDERED WITH PROVISIONS FOR ADDITIONAL COMBO RECEPTACLE MOUNTED IN INDICATED LOCATION. COORDINATE FINAL TERMINATIONS WITH FURNITURE AND PLOTTER VENDORS.
- E14 E.C. SHALL RELOCATE EXISTING DOOR POSITION SWITCHES FROM EXISTING GALLERY AND TIE INTO EXISTING SECURITY SYSTEM.
- E15 E.C. SHALL PROVIDE WALL RECEPTACLES, CEILING RECEPTACLES, FLOORBOXES, CONDUIT AND BOXES THAT MATCH INTERIOR COLOR WITHIN LOBBY, GALLERY 1 AND 2. COORDINATE WITH ARCHITECT ON FINAL COLOR SELECTION.
- E16 E.C. SHALL PROVIDE LOCAL WALL SWITCHES AT 3'-0" AFF TO CONTROL RECEPTACLES WITHIN GALLERY 1. SWITCHES FROM LEFT TO RIGHT: a,b,c,d,e,f.
- E17 E.C. SHALL PROVIDE LOCAL WALL SWITCHES AT 3'-0" AFF TO CONTROL RECEPTACLES WITHIN GALLERY 2. SWITCHES FROM LEFT TO RIGHT: a,b,c,d,e,f.
- E18 E.C. SHALL SURFACE MOUNT RECEPTACLE TO EXTERIOR WALL OF BUILDING.
- E19 E.C. SHALL PROVIDE NEW 120V-1PH, 20A BRANCH CIRCUIT TO SERVE MECHANICAL CONTROL MODULE.
- E20 E.C. SHALL REMOVE EXISTING FIRE ALARM DEVICE AND INSTALL NEW DEVICE IN SAME LOCATION.
- E21 E.C. SHALL POWER INDOOR UNIT FROM OUTDOOR UNIT FOR SPLIT SYSTEM.
- E22 E.C. SHALL PROVIDE TOGGLE SWITCH FOR CC-01.
- L1 E.C. SHALL PROVIDE TWO ROWS OF DIMMER SWITCHES AT 4'-0" AFF AND 4'-6" AFF TO CONTROL LIGHTS WITHIN LOBBY. DIMMER SWITCHES ON TOP ROW FROM LEFT TO RIGHT CONTROL LIGHT FIXTURES SUB-TYPE a1,b1,c1,d1,e1,f1. DIMMER SWITCHES ON BOTTOM ROW FROM LEFT TO RIGHT CONTROL LIGHT FIXTURES SUB-TYPE a2,b2,c2,d2,e2,f2.
- L2 E.C. SHALL PROVIDE A KEY SWITCH TO CONTROL ALL LIGHTS WITHIN LOBBY AND A KEY SWITCH TO CONTROL INDICATED LIGHTING WITHIN CORRIDORS, LOBBIES AND VESTIBULES OF THE ENTIRE BUILDING.
- L3 E.C. SHALL CONNECT EMERGENCY EGRESS LIGHT AHEAD OF ANY/ALL LOCAL CONTROLS AND SWITCHING.
- L4 E.C. SHALL MOUNT LIGHTING WITHIN THIS ROOM TO STRUCTURE. E.C. SHALL PROVIDE MOUNTING ACCESSORIES AS NEEDED.
- L5 E.C. SHALL PROVIDE TWO ROWS OF DIMMER SWITCHES AT 3'-6" AFF AND 4'-0" AFF, RESPECTIVELY FOR GALLERY 1. DIMMER SWITCHES ON TOP ROW FROM LEFT TO RIGHT CONTROL LIGHT FIXTURES SUB-TYPE a1,b1,c1,d1,e1,f1. DIMMER SWITCHES ON BOTTOM ROW FROM LEFT TO RIGHT CONTROL LIGHT FIXTURES SUB-TYPE a2,b2,c2,d2,e2,f2.
- L6 E.C. SHALL SURFACE MOUNT LIGHT TO REPLACE REMOVED LIGHT FIXTURES.
- L7 E.C. SHALL UTILIZE EXISTING BRANCH CIRCUIT AND LIGHTING CONTROLS SERVING OUTSIDE FIXTURES IN THE AREA.
- L8 E.C. SHALL PROVIDE TWO ROWS OF DIMMER SWITCHES AT 3'-6" AFF AND 4'-0" AFF, RESPECTIVELY FOR GALLERY 2. DIMMER SWITCHES ON TOP ROW FROM LEFT TO RIGHT CONTROL LIGHT FIXTURES SUB-TYPE a1,b1,c1,d1,e1,f1. DIMMER SWITCHES ON BOTTOM ROW FROM LEFT TO RIGHT CONTROL LIGHT FIXTURES SUB-TYPE a2,b2,c2,d2,e2,f2.

1 BID AND PERMIT SET		2021-04-30
No.	Revisions / Submissions	Date
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<p>CITY OF KETTERING ROSEWOOD ARTS CENTER</p>		
<p>INTERIOR RENOVATION PHASE 1</p>		
<p>2655 OLSON DRIVE KETTERING, OH 45420</p>		
<p>LIGHTING AND POWER PLANS</p>		
Comm. No.	Date	
20605.00	04/30/2021	
Drawn	Checked	Drawing No.
JEFFREY ALLEN MILLARD 6/7/21	NK	1.E101
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SHEET 1.E102 TAGGED NOTES

E1	E.C. SHALL REMOVE EXISTING FIRE ALARM DEVICE AND INSTALL NEW DEVICE IN SAME LOCATION.
E2	E.C. SHALL PROVIDE 250V-3PH, NEMA 15-50R TYPE RECEPTACLE FOR ELECTRIC KILN. REFER TO PANEL SCHEDULE FOR WIRE SIZE.
E3	E.C. SHALL PROVIDE 250V-1PH, NEMA 6-50R TYPE RECEPTACLE FOR ELECTRIC KILN. REFER TO PANEL SCHEDULE FOR WIRE SIZE.
E13	E.C. SHALL PROVIDE DUPLEX RECEPTACLE TO SERVE KILN VENT FANS PROVIDED BY OTHERS.



KEY PLAN:

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**CITY OF KETTERING
ROSEWOOD ARTS CENTER**

**INTERIOR RENOVATION
PHASE 1**

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KETTERING, OH 45420

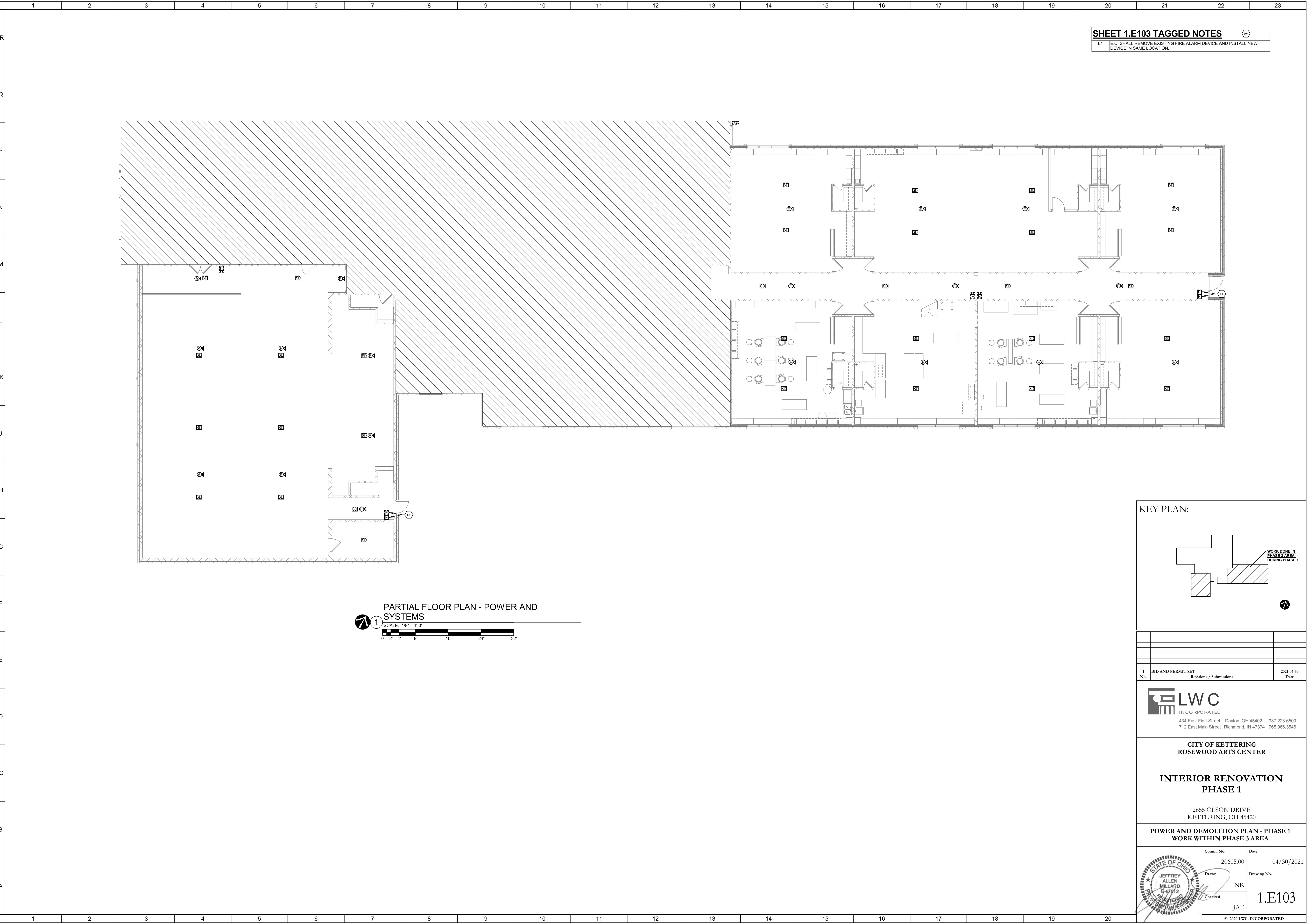
**POWER AND DEMOLITION PLAN - PHASE 1
WORK WITHIN PHASE 2 AREA**

Comm. No.	Date
20605.00	04/30/2021
Drawn	Drawing No.
NK	1.E102
Checked	JAE

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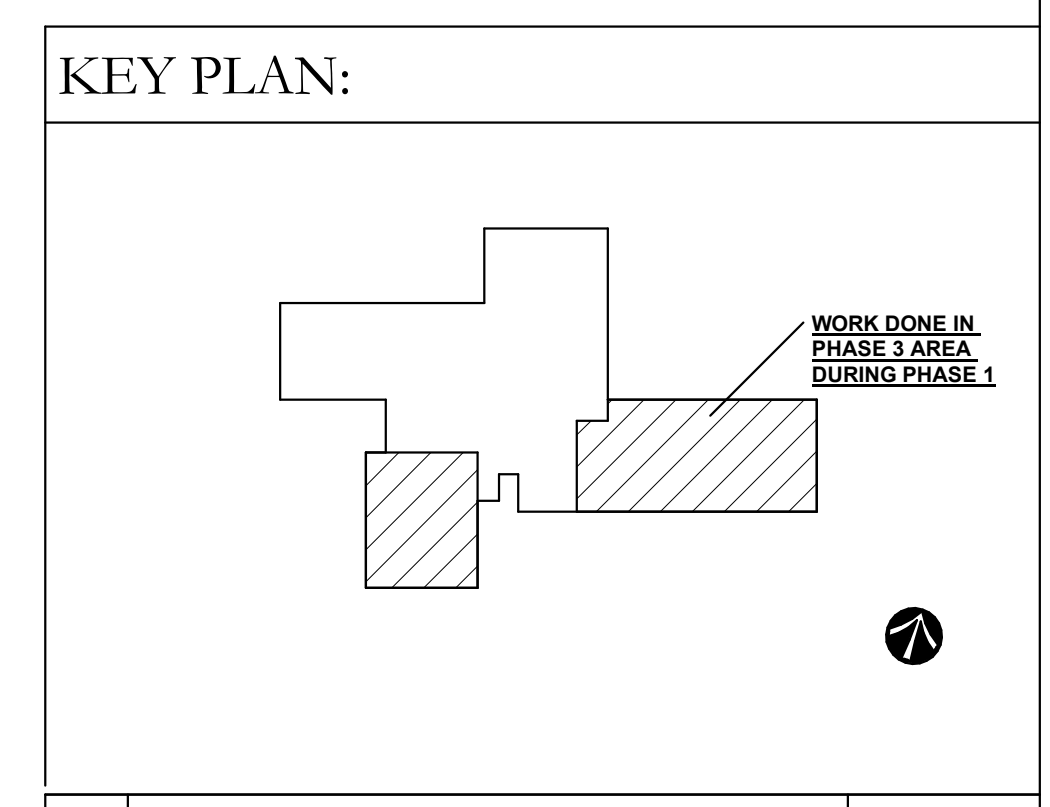
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SHEET 1.E103 TAGGED NOTES

L1 E.C. SHALL REMOVE EXISTING FIRE ALARM DEVICE AND INSTALL NEW DEVICE IN SAME LOCATION.

PARTIAL FLOOR PLAN - POWER AND SYSTEMS
 SCALE: 1/8" = 1'-0"



No.	Revisions / Submissions	Date
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**CITY OF KETTERING
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**INTERIOR RENOVATION
 PHASE 1**

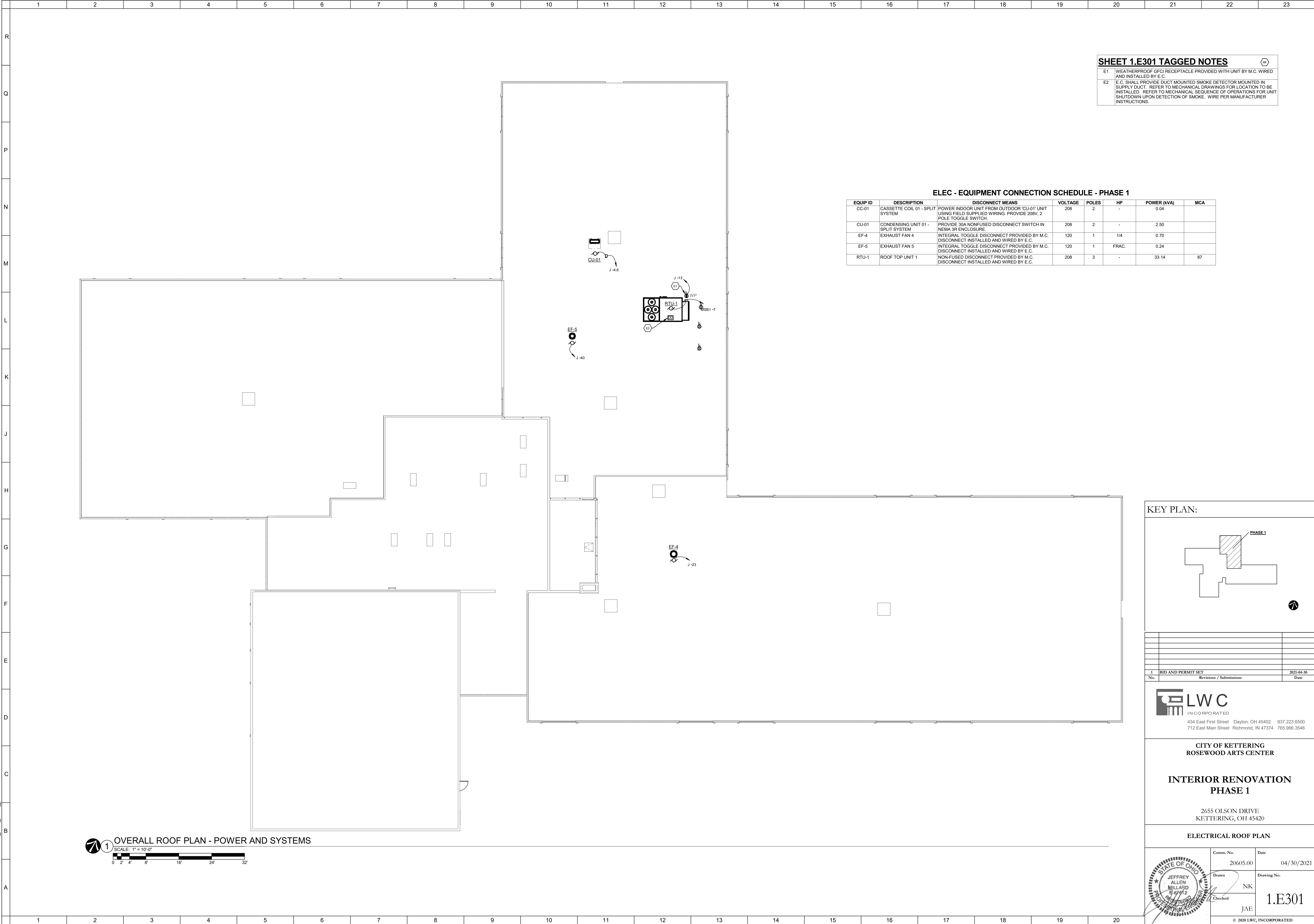
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**POWER AND DEMOLITION PLAN - PHASE 1
 WORK WITHIN PHASE 3 AREA**

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	NK	1.E103
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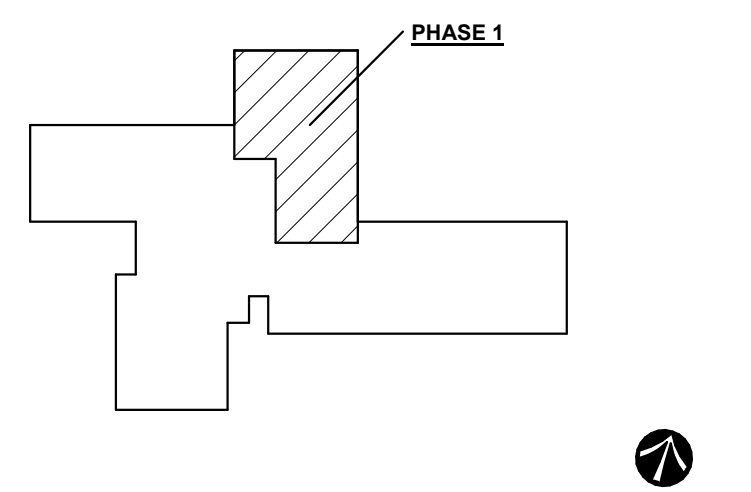
SHEET 1.E301 TAGGED NOTES

E1	WEATHERPROOF GFCI RECEPTACLE PROVIDED WITH UNIT BY M.C. WIRED AND INSTALLED BY E.C.
E2	E.C. SHALL PROVIDE DUCT MOUNTED SMOKE DETECTOR MOUNTED IN SUPPLY DUCT. REFER TO MECHANICAL DRAWINGS FOR LOCATION TO BE INSTALLED. REFER TO MECHANICAL SEQUENCE OF OPERATIONS FOR UNIT SHUTDOWN UPON DETECTION OF SMOKE. WIRE PER MANUFACTURER INSTRUCTIONS.

ELEC - EQUIPMENT CONNECTION SCHEDULE - PHASE 1

EQUIP ID	DESCRIPTION	DISCONNECT MEANS	VOLTAGE	POLES	HP	POWER (KVA)	MCA
CC-01	CASSETTE COIL 01 - SPLIT SYSTEM	POWER INDOOR UNIT FROM OUTDOOR 'CU-01' UNIT USING FIELD SUPPLIED WIRING. PROVIDE 208V, 2 POLE TOGGLE SWITCH.	208	2	-	0.04	
CU-01	CONDENSING UNIT 01 - SPLIT SYSTEM	PROVIDE 30A NONFUSED DISCONNECT SWITCH IN NEMA 3R ENCLOSURE.	208	2	-	2.50	
EF-4	EXHAUST FAN 4	INTEGRAL TOGGLE DISCONNECT PROVIDED BY M.C. DISCONNECT INSTALLED AND WIRED BY E.C.	120	1	1/4	0.70	
EF-5	EXHAUST FAN 5	INTEGRAL TOGGLE DISCONNECT PROVIDED BY M.C. DISCONNECT INSTALLED AND WIRED BY E.C.	120	1	FRAC.	0.24	
RTU-1	ROOF TOP UNIT 1	NON-FUSED DISCONNECT PROVIDED BY M.C. DISCONNECT INSTALLED AND WIRED BY E.C.	208	3	-	33.14	87

KEY PLAN:



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**CITY OF KETTERING
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**INTERIOR RENOVATION
PHASE 1**

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ELECTRICAL ROOF PLAN

	Comm. No.	Date
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1 OVERALL ROOF PLAN - POWER AND SYSTEMS
SCALE: 1" = 10'-0"

