



March 25, 2022

SUBJECT: ADDENDUM #1 – Bid #22-11 Rosewood Arts Center Renovation- Phase 2

This addendum is intended to supplement, clarify, or correct a part of the original specifications for the above referenced bid. It shall become a binding part of the contract documents and shall be taken into account in preparing bid proposals.

Attachments:

1. Pre-Bid Meeting Notes
2. Revised Proposal Pages
3. Specifications
4. Drawings
5. 2021 Asbestos Test Results

ITEM 1: Revised Proposal Pages - replace existing pages i-ii with the attached revised proposal pages.

ITEM 2: QUESTIONS AND ANSWERS:

1. **Question:** Is there a spec for the Sealed Concrete Flooring? Are they wanting this floor to look flawless or are we just sealing the existing floor as is?
Answer: The tile and mastic is to be removed as much as practical and a sealing compound applied. No polishing or grinding is necessary.
2. **Question:** Has there been an asbestos survey done on the project?
Answer: Yes, it is known that the vinyl asbestos tile and chalkboard/tackboard mastic is asbestos containing and is to be abated where indicated to be removed on the drawings. The 2021 test results are from the existing asbestos abated in phase 1. The 2021 test results are included as an attachment to this addendum. The 1989 and 2009 Asbestos Reports are posted at: <https://www.domiconeplanroom.com> under the "specs" tab.
3. **Question:** Is the contractor responsible for paying for the general construction permit?
Answer: Yes, the contractor is responsible for paying for the building permit.
4. **Question:** I noticed there was a bid bond provided in the specs that I have completed, however, I just wanted to confirm that an electronic bid bond through surety 2000 was not also required.
Answer: Please only use and submit bond forms that are included in the bid package.

ITEM 3: CLARIFICATIONS:

1. **Existing Fan Coil Units:** Drawings are correct to reflect the Phase 2 HVAC contractor is to remove the existing fan coil units attached to the window system. Only scope already under contract is the removal of the window system.
2. **Schedule:**
 - a. Parking Lot, Phase 1, to be completed by May 27th, 2022
 - b. Phase 2, Interior Construction, to begin no earlier than July 5th, 2022
 - c. Phase 2, Dance Studio Room, to begin on July 5th, 2022 and must be completed by August 26th, 2022

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3. **Commissioning:** Include the contract value to engage ZHCx within your bid package for Commissioning Services. ZHCx has their scope expectations in hand in order to provide you a contract price.

Contact Information:
Chris Zerhusen
267 Main Street
Florence Ky, 41042
(859) 282-6467

ITEM 4: SPECIFICATIONS:

1. Section -11000 – Summary
 - a. See updated Section 011000 that includes corrections to the summary of work.
2. Section 012100 – Allowances
 - a. This section has been added to the project manual and includes a \$30,000.00 technology allowance to be used as directed by the Owner.
3. Section 012200 – Unit Prices
 - a. See updated Section 12200 for the addition of two unit prices for descaling sanitary sewer piping.
4. Section 012300 – Alternates
 - a. See updated Section 012300 with Alternate 2 being divided in to Alternate 2A for material and Alternate 2B for labor.
5. Section 033000 – Cast-In-Place Concrete
 - a. Where sealed concrete is called for on the Room Finish Schedule, provide two coats of water based high-solids polymer coating equal to W. R. Meadows DECRA-SEAL W/B.
6. Section 094900 – Restoration of Terrazzo
 - a. Where existing terrazzo is indicated to be restored, the process shall begin with grinding the upper surface sufficiently to remove imperfections and stains. The remaining polishing process shall follow that described in section 3 of 094900.
 - b. At ramps with abrasive strips, the abrasive strip shall also be ground down as described above to be flush with adjacent surface.
7. Section 096400 – Wood Dance Flooring
 - a. See updated Section 096400 with revised finish material and factory contact information. The floor will be provided with a welded seal vinyl flooring adhered to the sub-layers.

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ITEM 5: DRAWINGS:

1. Drawing 0.S200 Roof Framing Plan and 0.S300 Structural Details
 - a. See revised drawings included in this addendum that show the installation of Owner-provided reinforcing steel where roof joists are called to be reinforced. Contractor is responsible for the installation. This applies only to new roof mounted mechanical equipment related to Phase 2 and RTU's 2, 3, and 6. Does not include RTU's 1 and 5.
2. Drawing 2.AD101 – Demolition Floor Plan
 - a. In room 129 Ceramics Wheel Room 1, Plan Note #2 shall be added to include removal and abatement of existing vinyl tile and mastic throughout the entire room. This also applies to Storage Rooms 130 and 133.
3. Drawing 2.AD201 – Demolition Ceiling Plan
 - a. Where plan note 2 states “Remove portion of existing ceiling”, the ceiling shall be removed throughout the entire space where the note appears and the ceiling grid is shown dashed on the plan.
4. Drawing 2.A001 – Room Finish Schedule
 - a. Where the Room Finish Schedule calls for sealed Concrete (SC-1), provide two coats of water based high-solids polymer coating as specified in Section 033000 in this addendum (equal to W. R. Meadows DECRA-SEAL W/B).
5. Drawing 2.M102 – Mechanical Roof Plan – Phase 2
 - a. Updated Sheet 2.M102 has been included in this addendum and adds missing sheet notes.

Please acknowledge receipt of this addendum by your signature on page ii of the proposal form, failure to do so may disqualify the Contractor.

END OF ADDENDUM # 1



Pre-Bid Meeting Notes
BID #22-11 Rosewood Arts Center- Phase 2
March 17, 2022 at 1:00pm

I. Sign-in and Introductions **Estelle Gibson, City of Kettering**

II. Project Overview/Description **Rob Baker, City of Kettering**
Mike Zink, City of Kettering

- a. Phase 1 update
- b. Phase 2 overview
- c. Budget Estimate - \$1-1.1M

III. Bid/Contractual Requirements **Estelle Gibson, City of Kettering**

a. Mandatory Pre-Bid-only those companies that **sign-in and purchase a bid set** from Domicone Planroom can submit a bid. This is a single-prime contract.

b. Bids are due March 31, 2022 at 1:30pm

- i. Submit bids to: City of Kettering Finance Department, Kettering Government Center, South Building, 3600 Shroyer Road.
- ii. Please remain in your vehicle in the parking lot until you are ready to drop off your bids. Once you drop off your bids, if you are attending the bid opening, please return to your vehicle in the parking lot until the time of the bid opening.
- iii. Bid Submission Forms – i through vi.

c. Bonding

- i. 5% Bid Bond- submit with bid-for the base bid plus add alternates
- ii. 100% Performance Bond – submit after award notification

d. Prevailing Wages-Ohio Prevailing Wage rates apply

e. Addendums

i. Addendums will be posted online at domiconeplanroom.com and will be sent to all planholders on record

f. **Substitutions- Last day for substitutions – No substitution requests will be accepted after March 18, 2022 at 5:00pm.** Please use the form included in the bid package (Attachment B).

Submit all substitutions in writing via email to Ed Soots at: esoots@lwcinspires.com

g. Questions

i. **Last day for questions – No questions will be accepted after March 21, 2022 at 5:00pm.**

ii. Questions –submit all questions in writing via email to Ed Soots at:

esoots@lwcinspires.com No verbal answers will be given.

Pre-Bid Meeting Notes
BID #22-11 Rosewood Arts Center- Phase 2
March 17, 2022 at 1:00pm

- h. Documents are viewable online and available for a non-refundable \$275 plus tax; shipping and handling charges apply if plans are not picked up in person.

Domicone Printing, 854 Kauffman Avenue, Fairborn, Ohio 45324,
<https://www.domiconeplanroom.com>, (937) 878-3080.

- i. Permits – Contractor is responsible to secure and pay for all permits:
<http://www.ketteringoh.org/departments/planning-development/building-zoning/permit-forms-fees/>
- j. Pre-Bid attendance sheet – will be posted online at [domiconeplanroom.com](https://www.domiconeplanroom.com) under the “Addenda” tab

IV. Technical Specification and Drawings Review

LWC, City Staff

- a. Alternates - Alternate No. 2 will be split into two alternates, one for material and one for labor. Clarification will be included in Addendum 1
- b. Unit Prices - Additional unit prices will be listed in Addendum 1.
- c. Allowances - A \$30,000 Technology allowance will be added in Addendum 1 for use as directed by the Owner.
- d. Commissioning – ZHCx - Addendum 1 will include information about including commissioning as provided by ZHC Commissioning. Their contact information will be provided. ZHC will provide the cost of their scope to bidding contractors.
- e. Procure submittal software - Bids are to provide the cost of setting up a project in Procure for 2022.

V. Construction Management

City Staff, LWC

- a. Building will be occupied during construction – Coordination with the owner and patrons is important to maintaining our business model.
- b. Coordination with existing General Contractor for Phase 1 completion –many items in Phase 1 will extend beyond the temporary occupancy timeline. Some of these items are: completion of the roof, installation of the new switchgear, replacement of windows in every classroom, tie in of administration HVAC to new RTU, fire alarm installation in conduit.
- c. Site Management
 - i. Contractor Parking – Parking lot to the North, adjacent to the baseball field
 - ii. Lay Down Yard – Shown on 2.T001
 - iii. Dumpster – Shown on 2.T001
- d. Weekly meetings – These are required for coordination with the owner and the design team. They will be held in successful contractor’s job trailer.

VI. Questions

City Staff, LWC

VII. Building Tour

City Staff, LWC

Future walk-throughs will occur by appointment – contact Rob Baker at 937-296-2475 to schedule

**CITY OF KETTERING, OHIO
PROPOSAL**

ROSEWOOD ARTS CENTER RENOVATION- PHASE 2

BID SPECIFICATION NO. 22-11

TO THE CITY OF KETTERING, OHIO: **Due Date:** **March 31, 2022 at 1:30pm**

BIDDER: _____

The undersigned bidder, having full knowledge of the requirements of the City of Kettering for the below listed items and the contract documents (which includes the Invitation to Bid - Specification No. 22-11 and all attachments, Addenda, if any, this proposal, Contract.), agrees to sell and deliver to the City of Kettering the below listed item(s), complete in every respect and in strict accordance with the contract documents, at the price and in the time period specified below.

Please submit **1 copy** of this proposal and all required forms and mark the outside of the bid envelope – Bid #22-11 Rosewood Arts Center Renovation- Phase 2, along with the bidder's name and address.

BASE BID – PARKING LOT \$ _____

BASE BID – PHASE 2 BUILDING CONSTRUCTION \$ _____

Alternates:

Alternate 1: Gypsum Wallboard Laminate in Children's Art 124 Add/Deduct \$ _____
(circle one)

Alternate 2: Raised Dance Floor in Dance 152
a. Materials Add/Deduct \$ _____
(circle one)

b. Labor Add/Deduct \$ _____
(circle one)

Allowances:

Technology Improvements \$ 30,000.00

COORDINATION WITH PHASE 1 CONTRACTOR:

Coordination with General Contractor \$ _____ per hr x 120 hrs \$ _____

HVAC \$ _____ per hr x 40 hrs \$ _____

Plumbing \$ _____ per hr x 40 hrs \$ _____

Electrical/Fire Alarm \$ _____ per hr x 60 hrs \$ _____

PROCORE PROJECT MANAGEMENT SOFTWARE \$ _____

Unit Prices

Unit Price 1: Install Gallery Wall Treatment \$ _____ per LF

Unit Price 2: Remove Existing Chalkboard/Tackboard and Refinish Wall \$ _____ per EA

Unit Price 3: Install Tackable Wall Finish Panels to Existing Wall Area \$ _____ per LF

Unit Price 4: Install 50 LF Gypsum Wallboard \$ _____ per 50' Length

Unit Price 5: Descale 3" existing sanitary lines \$ _____ per 25' Length

Unit Price 6: Descale 4" existing sanitary lines \$ _____ per 25' Length

CITY OF KETTERING, OHIO

BID NO. 22-11 ROSEWOOD ART CENTER RENOVATION- PHASE 2

OVERHEAD AND PROFIT % ON CHANGE ORDERS - per General Conditions Section 7.1.5:

General Contractor Fee on Change Orders: O/H % _____ Profit % _____

OF CALENDAR DAYS FOR COMPLETION

Building Construction: _____ **days ARO** **Parking Lot - Phase 2:** _____ **days ARO**

Earliest Start Dates: Building Construction – **July 5, 2022**

Completion Dates: Parking Lot – Phase 1 – **May 27, 2022**
Dance Studio Room – **August 26, 2022**

BIDDER (Company)

BY (Signature)

STREET ADDRESS

NAME (Please Print)

CITY, STATE, ZIP CODE

TITLE

TELEPHONE/FAX

DATE

The bidder acknowledges, by signature above, receipt of addendum Nos. _____ through _____.

Contact Person: Please provide the following information for the individual you would like us to contact regarding contract award:

Name	Title/Position	Phone/Fax	Email
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Please provide a list of references for projects with similar scope and content that your company has completed.

COMPANY	CONTACT	ADDRESS	TELEPHONE/FAX NUMBER
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COMPANY	CONTACT	ADDRESS	TELEPHONE/FAX NUMBER
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COMPANY	CONTACT	ADDRESS	TELEPHONE/FAX NUMBER
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COMPANY	CONTACT	ADDRESS	TELEPHONE/FAX NUMBER
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SECTION 011000 – SUMMARY – Addendum 1

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and other Division 01 Specification Sections, apply to this Section.

1.2 SUMMARY

A. Section Includes:

1. Project information.
2. Work covered by Contract Documents.
3. Work performed by Owner.
4. Work under Owner's separate contracts.
5. Owner-furnished/Contractor-installed (OFICI) products.
6. Owner-furnished/Owner-installed (OFOI) products.
7. Contractor's use of site and premises.
8. Coordination with occupants.
9. Work restrictions.
10. Specification and Drawing conventions.

1.3 DEFINITIONS

- A. Work Package: A group of specifications, drawings, and schedules prepared by the design team to describe a portion of the Project Work for pricing, permitting, and construction.

1.4 PROJECT INFORMATION

A. Project Identification: Kettering Arts Center Renovation

1. Project Location: 2655 Olson Drive, Kettering OH 45420

B. Owner: City of Kettering

1. Owner's Representative: Rob Baker, Assistant Public Services Director.
Robert.Baker@ketteringoh.org

C. Architect: LWC

1. Architect's Representative: Ed Soots, AIA Senior Associate. esoots@lwcinspires.com

- D. Architect's Consultants: Architect has retained the following design professionals, who have prepared designated portions of the Contract Documents:

1. Mechanical, Electrical, Plumbing and Fire Protection Engineering
 - a. CMTA.
 - 1) Representative: John Harpest, LC, BD+C jharpest@cmta.com
2. Structural Engineering
 - a. Shell + Meyer
 - 1) Ben Van De Weghe ben.vandeweghe@shellandmeyer.com
3. Civil Engineering
 - a. Burkhardt Engineering
 - 1) Jonathan Burkhardt, President/CEO jdburkhardtd@burkhardtinc.com

E. Project Coordinator for Multiple Contracts: Owner shall serve as Project coordinator.

1.5 WORK COVERED BY CONTRACT DOCUMENTS

- A. The Work of Project is defined by the Contract Documents and includes, but is not limited to, the following:
1. The Project shall entail a partial interior renovation of the existing building to relocate program areas within the floor plan and update various building systems. Minor structural modifications and selective demolition will be required as part of the work. New mechanical systems will be installed as part of the project along with updates to interior finishes and other Work indicated in the Contract Documents.
- B. Type of Contract:
1. **The Phase 2 project will be constructed under a single prime contract. Phases 0 and 1 will be constructed concurrently under an existing separate contract.**

1.6 WORK PERFORMED BY OWNER

- A. Cooperate fully with Owner, so work may be carried out smoothly, without interfering with or delaying Work under this Contract or work by Owner. Coordinate the Work of this Contract with work performed by Owner.
- B. Preceding Work: Owner will perform the following construction operations at Project site. Those operations are scheduled to be substantially complete before Work under this Contract begins.
1. Removal of existing, loose equipment and shelving not shown on the Construction Documents.
- C. Subsequent Work: Owner will perform the following additional work at site after Substantial Completion. Completion of that work will depend on successful completion of preparatory Work under this Contract.
1. Installation of Furniture, Fixtures and Equipment outside of this Contract.
 2. **Renovation Projects, Phases 3**

1.7 WORK UNDER OWNER'S SEPARATE CONTRACTS

- A. Work with Separate Contractors: Cooperate fully with Owner's separate contractors, so work on those contracts may be carried out smoothly, without interfering with or delaying Work under this Contract or other contracts. Coordinate the Work of this Contract with work performed under Owner's separate contracts.
- B. Concurrent Work: Owner has previously awarded a separate contract for the following construction operations at Project site. Those operations will be conducted simultaneously with Work under this Contract.**
 - a. Phase 0 and 1 building exterior and interior renovation.**
- C. Subsequent Work: Owner will award separate contracts for the following additional work to be performed at this site following Substantial Completion. Completion of that work will depend on successful completion of preparatory Work under this Contract.
 - 1. Phase 3 Interior Renovation**

1.8 OWNER-FURNISHED/CONTRACTOR-INSTALLED (OFICI) PRODUCTS

- A. Owner's Responsibilities: Owner will furnish products indicated and perform the following, as applicable:
 - 1. Provide to Contractor Owner-reviewed Product Data, Shop Drawings, and Samples.
 - 2. Provide for delivery of Owner-furnished products to Project site.
 - 3. Upon delivery, inspect, with Contractor present, delivered items.
 - a. If Owner-furnished products are damaged, defective, or missing, arrange for replacement.
 - 4. Obtain manufacturer's inspections, service, and warranties.
 - 5. Inform Contractor of earliest available delivery date for Owner-furnished products.

B. Contractor's Responsibilities: The Work includes the following, as applicable:

1. Designate delivery dates of Owner-furnished products in Contractor's construction schedule, utilizing Owner-furnished earliest available delivery dates.
2. Review Owner-reviewed Product Data, Shop Drawings, and Samples, noting discrepancies and other issues in providing for Owner-furnished products in the Work.
3. Receive, unload, handle, store, protect, and install Owner-furnished products.
4. Make building services connections for Owner-furnished products.
5. Protect Owner-furnished products from damage during storage, handling, and installation and prior to Substantial Completion.
6. Repair or replace Owner-furnished products damaged following receipt.

C. Owner-Furnished/Contractor-Installed (OFCI) Products:

1. Salvaged, revolving dark room door.
2. Restroom & Sink Accessories
 - a. Soap dispensers
 - b. Toilet tissue dispensers
 - c. Paper towels dispensers

1.9 OWNER-FURNISHED/OWNER-INSTALLED (OFOI) PRODUCTS

A. Owner-Furnished/Owner-Installed (OFOI) Products:

1. Custom storage equipment within various program spaces
2. Office furnishings
3. Computer hardware

1.10 CONTRACTOR'S USE OF SITE AND PREMISES

A. Restricted Use of Site: Contractor shall have limited use of Project site for construction operations as indicated on Drawings by the Contract limits and as indicated by requirements of this Section.

B. Limits on Use of Site: Limit use of Project site to Work in areas indicated. Do not disturb portions of Project site beyond areas in which the Work is indicated.

1. Limits on Use of Site: Confine construction operations to areas indicated on the Construction Documents where work is permitted.
2. Driveways, Walkways and Entrances: Keep driveways and entrances serving premises clear and available to Owner, Owner's employees, and emergency vehicles at all times. Do not use these areas for parking or for storage of materials.
 - a. Schedule deliveries to minimize use of driveways and entrances by construction operations.
 - b. Schedule deliveries to minimize space and time requirements for storage of materials and equipment on-site.

- C. Condition of Existing Building: Maintain portions of existing building affected by construction operations in a weathertight condition throughout construction period. Repair damage caused by construction operations.
- D. Condition of Existing Grounds: Maintain portions of existing grounds, landscaping, and hardscaping affected by construction operations throughout construction period. Repair damage caused by construction operations.

1.11 COORDINATION WITH OCCUPANTS

- A. Partial Owner Occupancy: Owner will occupy the premises during entire construction period, with the exception of areas under construction. Cooperate with Owner during construction operations to minimize conflicts and facilitate Owner usage. Perform the Work so as not to interfere with Owner's operations. Maintain existing exits unless otherwise indicated.
 - 1. Maintain access to existing walkways, corridors, and other adjacent occupied or used facilities. Do not close or obstruct walkways, corridors, or other occupied or used facilities without written permission from Owner and authorities having jurisdiction.
 - 2. Provide not less than 72 hours' notice to Owner of activities that will affect Owner's operations.
- B. Owner Limited Occupancy of Completed Areas of Construction: Owner reserves the right to occupy and to place and install equipment in completed portions of the Work, prior to Substantial Completion of the Work, provided such occupancy does not interfere with completion of the Work. Such placement of equipment and limited occupancy shall not constitute acceptance of the total Work.
 - 1. Architect will prepare a Certificate of Substantial Completion for each specific portion of the Work to be occupied prior to Owner acceptance of the completed Work.
 - 2. Obtain a Certificate of Occupancy from authorities having jurisdiction before limited Owner occupancy.
 - 3. Before limited Owner occupancy, mechanical and electrical systems shall be fully operational, and required tests and inspections shall be successfully completed. On occupancy, Owner will operate and maintain mechanical and electrical systems serving occupied portions of Work.
 - 4. On occupancy, Owner will assume responsibility for maintenance and custodial service for occupied portions of Work.

1.12 WORK RESTRICTIONS

- A. Comply with restrictions on construction operations.
 - 1. Comply with limitations on use of public streets, work on public streets, rights of way, and other requirements of authorities having jurisdiction.
- B. On-Site Work Hours: Limit work to between 7:00 a.m. to 6:00 p.m., Monday through Friday, unless otherwise indicated. Work hours may be modified to meet Project requirements if approved by Owner and authorities having jurisdiction.

1. Weekend Hours: Coordinate with Owner a minimum of 72 hours in advance and upon approval of Owner.
 2. Hours for Utility Shutdowns: Coordinate with Owner.
 3. Hours for noisy activity: Coordinate with Owner.
- C. Existing Utility Interruptions: Do not interrupt utilities serving facilities occupied by Owner or others unless permitted under the following conditions and then only after arranging for temporary utility services according to requirements indicated:
1. Notify Owner not less than three days in advance of proposed utility interruptions.
 2. Obtain Owner's written permission before proceeding with utility interruptions.
- D. Noise, Vibration, Dust, and Odors: Coordinate operations that may result in high levels of noise and vibration, dust, odors, or other disruption to Owner occupancy with Owner.
1. Notify Owner not less than three days in advance of proposed disruptive operations.
 2. Obtain Owner's written permission before proceeding with disruptive operations.
- E. Smoking and Controlled Substance Restrictions: Use of tobacco products, alcoholic beverages, and other controlled substances on Owner's property is not permitted.

1.13 SPECIFICATION AND DRAWING CONVENTIONS

- A. Specification Content: The Specifications use certain conventions for the style of language and the intended meaning of certain terms, words, and phrases when used in particular situations. These conventions are as follows:
1. Imperative mood and streamlined language are generally used in the Specifications. The words "shall," "shall be," or "shall comply with," depending on the context, are implied where a colon (:) is used within a sentence or phrase.
 2. Text Color: Text used in the Specifications, including units of measure, manufacturer and product names, and other text may appear in multiple colors or underlined as part of a hyperlink; no emphasis is implied by text with these characteristics.
 3. Specification requirements are to be performed by Contractor unless specifically stated otherwise.
- B. Division 00 Contracting Requirements: General provisions of the Contract, including General and Supplementary Conditions, apply to all Sections of the Specifications.
- C. Division 01 General Requirements: Requirements of Sections in Division 01 apply to the Work of all Sections in the Specifications.
- D. Drawing Coordination: Requirements for materials and products identified on Drawings are described in detail in the Specifications.

PART 2 - PRODUCTS (Not Used)

PART 3 - EXECUTION (Not Used)

END OF SECTION 011000

SECTION 012100 - ALLOWANCES - Addendum 1

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and other Division 01 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. Section includes administrative and procedural requirements governing allowances.
- B. Types of allowances include the following:
 - 1. Lump-sum allowances.
 - 2. Unit-cost allowances.
 - 3. Quantity allowances.
 - 4. Contingency allowances.
 - 5. Testing and inspecting allowances.
- C. Related Requirements:
 - 1. Section 012200 "Unit Prices" for procedures for using unit prices, including adjustment of quantity allowances when applicable.
 - 2. Section 012600 "Contract Modification Procedures" for procedures for submitting and handling Change Orders.
 - 3. Section 014000 "Quality Requirements" for procedures governing the use of allowances for field testing by an independent testing agency.

1.3 DEFINITIONS

- A. Allowance: A quantity of work or dollar amount included in the Contract, established in lieu of additional requirements, used to defer selection of actual materials and equipment to a later date when direction will be provided to Contractor. If necessary, additional requirements will be issued by Change Order.

1.4 SELECTION AND PURCHASE

- A. At the earliest practical date after award of the Contract, advise Architect of the date when final selection, or purchase and delivery, of each product or system described by an allowance must be completed by the Owner to avoid delaying the Work.
- B. At Architect's request, obtain proposals for each allowance for use in making final selections. Include recommendations that are relevant to performing the Work.
- C. Purchase products and systems selected by Architect from the designated supplier.

1.5 ACTION SUBMITTALS

- A. Submit proposals for purchase of products or systems included in allowances in the form specified for Change Orders.

1.6 INFORMATIONAL SUBMITTALS

- A. Submit invoices or delivery slips to show actual quantities of materials delivered to the site for use in fulfillment of each allowance.
- B. Submit time sheets and other documentation to show labor time and cost for installation of allowance items that include installation as part of the allowance.
- C. Coordinate and process submittals for allowance items in same manner as for other portions of the Work.

1.7 LUMP-SUM ALLOWANCES

- A. Allowance shall include cost to Contractor of specific products and materials ordered by Owner or selected by Architect under allowance and shall include [**taxes**,]freight[,] and delivery to Project site.
- B. Unless otherwise indicated, Contractor's costs for receiving and handling at Project site, labor, installation, overhead and profit, and similar costs related to products and materials ordered by Owner or selected by Architect under allowance shall be included as part of the Contract Sum and not part of the allowance.
- C. Unused Materials: Return unused materials purchased under an allowance to manufacturer or supplier for credit to Owner, after installation has been completed and accepted.
 - 1. If requested by Architect, retain and prepare unused material for storage by Owner. Deliver unused material to Owner's storage space as directed.

1.8 UNIT-COST ALLOWANCES

- A. Allowance shall include cost to Contractor of specific products and materials ordered by Owner or selected by Architect under allowance and shall include [**taxes**,]freight[,] and delivery to Project site.
- B. Unless otherwise indicated, Contractor's costs for receiving and handling at Project site, labor, installation, overhead and profit, and similar costs related to products and materials ordered by Owner or selected by Architect under allowance shall be included as part of the Contract Sum and not part of the allowance.
- C. Unused Materials: Return unused materials purchased under an allowance to manufacturer or supplier for credit to Owner, after installation has been completed and accepted.
 - 1. If requested by Architect, retain and prepare unused material for storage by Owner. Deliver unused material to Owner's storage space as directed.

1.9 QUANTITY ALLOWANCES

- A. Allowance shall include cost to Contractor of specific products and materials ordered by Owner or selected by Architect under allowance and shall include [**taxes**,]freight[,] and delivery to Project site.
- B. Unless otherwise indicated, Contractor's costs for receiving and handling at Project site, labor, installation, overhead and profit, and similar costs related to products and materials ordered by Owner or selected by Architect under allowance shall be included as part of the Contract Sum and not part of the allowance.
- C. Unused Materials: Return unused materials purchased under an allowance to manufacturer or supplier for credit to Owner, after installation has been completed and accepted.
 - 1. If requested by Architect, retain and prepare unused material for storage by Owner. Deliver unused material to Owner's storage space as directed.

1.10 CONTINGENCY ALLOWANCES

- A. Use the contingency allowance only as directed by Architect for Owner's purposes and only by Change Orders that indicate amounts to be charged to the allowance.
- B. Contractor's[**overhead, profit, and**] related costs for products and equipment ordered by Owner under the contingency allowance are included in the allowance and are not part of the Contract Sum. These costs include delivery, installation[, **taxes**], insurance, equipment rental, and similar costs.
- C. Change Orders authorizing use of funds from the contingency allowance will include Contractor's related costs and reasonable overhead and profit.
- D. At Project closeout, credit unused amounts remaining in the contingency allowance to Owner by Change Order.

1.11 TESTING AND INSPECTING ALLOWANCES

- A. Testing and inspecting allowances include the cost of engaging testing agencies, actual tests and inspections, and reporting results.
- B. The allowance does not include incidental labor required to assist the testing agency or costs for retesting if previous tests and inspections result in failure. The cost for incidental labor to assist the testing agency shall be included in the Contract Sum.
- C. Costs of testing and inspection services not specifically required by the Contract Documents are Contractor responsibilities and are not included in the allowance.
- D. At Project closeout, credit unused amounts remaining in the testing and inspecting allowance to Owner by Change Order.

1.12 ADJUSTMENT OF ALLOWANCES

- A. Allowance Adjustment: To adjust allowance amounts, prepare a Change Order proposal based on the difference between purchase amount and the allowance, multiplied by final measurement of work-in-

place where applicable. If applicable, include reasonable allowances for cutting losses, tolerances, mixing wastes, normal product imperfections, required maintenance materials, and similar margins.

1. Include installation costs in purchase amount only where indicated as part of the allowance.
 2. If requested, prepare explanation and documentation to substantiate distribution of overhead costs and other markups.
 3. Submit substantiation of a change in scope of Work, if any, claimed in Change Orders related to unit-cost allowances.
 4. Owner reserves the right to establish the quantity of work-in-place by independent quantity survey, measure, or count.
- B. Submit claims for increased costs due to a change in the scope or nature of the allowance described in the Contract Documents, whether for the purchase order amount or Contractor's handling, labor, installation, overhead, and profit.
1. Do not include Contractor's or subcontractor's indirect expense in the Change Order cost amount unless it is clearly shown that the nature or extent of Work has changed from what could have been foreseen from information in the Contract Documents.
 2. No change to Contractor's indirect expense is permitted for selection of higher- or lower-priced materials or systems of the same scope and nature as originally indicated.

PART 2 - PRODUCTS (Not Used)

PART 3 - EXECUTION

3.1 EXAMINATION

- A. Examine products covered by an allowance promptly on delivery for damage or defects. Return damaged or defective products to manufacturer for replacement.

3.2 PREPARATION

- A. Coordinate materials and their installation for each allowance with related materials and installations to ensure that each allowance item is completely integrated and interfaced with related work.

3.3 SCHEDULE OF ALLOWANCES

- A. ***Allowance No. 1: Provide an allowance of \$30,000.00 for use as directed by the Owner for Technology related work by their technology and security vendors.***

END OF SECTION 012100

SECTION 012200 - UNIT PRICES - Addendum 1

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and other Division 01 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. Section includes administrative and procedural requirements for unit prices.

1.3 DEFINITIONS

- A. Unit price is an amount incorporated into the Agreement, applicable during the duration of the Work as a price per unit of measurement for materials, equipment, or services, or a portion of the Work, added to or deducted from the Contract Sum by appropriate modification, if the scope of Work or estimated quantities of Work required by the Contract Documents are increased or decreased.

1.4 PROCEDURES

- A. Unit prices include all necessary material, plus cost for delivery, installation, insurance, applicable taxes, overhead, and profit.
- B. Measurement and Payment: See individual Specification Sections for work that requires establishment of unit prices. Methods of measurement and payment for unit prices are specified in those Sections.
- C. Owner reserves the right to reject Contractor's measurement of work-in-place that involves use of established unit prices and to have this work measured, at Owner's expense, by an independent surveyor acceptable to Contractor.
- D. List of Unit Prices: A schedule of unit prices is included in Part 3. Specification Sections referenced in the Part 3 "Schedule of Unit Prices" Article contain requirements for materials described under each unit price.

PART 2 - PRODUCTS (Not Used)

PART 3 - EXECUTION

3.1 SCHEDULE OF UNIT PRICES

- A. Unit Price No. 1: Install Gallery Wall Treatment along existing or new wall.
1. Description: Provide and install furring and wall finish treatment to match similar installations identified in the bid documents. Unit price shall cover the full height of treatment as detailed along the identified wall segment.
 2. Unit of Measurement: Linear Foot (LF) of wall at the full height denoted by the detail.
- B. Unit Price No. 2: Remove Existing Chalkboard/Tackboard and Refinish Wall
1. Description: Unit price shall cover the removal and disposal of (1) existing wall mounted chalkboard or tackboard and subsequent wall repair and refinishing.
 2. Unit of Measurement: Each (EA) instance.
 3. Quality Measurement: Owner has completed one removal and refinishing instance to establish the expected level of quality for the newly exposed wall surface and new paint finish.
- C. Unit Price No. 3: Install Tackable Wall Finish Panels to Existing Wall Area
1. Description: Unit Price shall cover material and installation of tackable wall surface panels to new or existing walls as identified by the Owner. Unit price shall include 2-1/2" metal furring at 16" o.c. Wall surfacing shall be Homasote Design 550 or similar Architect approved product with Class A smoke and flame spread rating. Unit Price shall cover the full height of treatment at 8'-0", vertically oriented
 2. Unit of Measurement: Linear Foot (LF) of wall at full height denoted by the detail.
- D. Unit Price No. 4: Install Gypsum Wallboard laminated to existing wall.
1. Description: Provide, install, and finish Fifty (50) lineal feet, eight (8) feet high, of 5/8" gypsum wallboard adhered to existing wall surface.
 2. Unit of Measurement: Fifty (50) Linear Foot (LF)
- E. Unit Price No. 5: Descal 3" Sanitary Sewer Piping**
1. **Description: Descal 3" sanitary sewer piping.**
 2. **Unit of Measurement: twenty five (25) Linear Foot (LF)**
- F. Unit Price No. 6: Descal 4" Sanitary Sewer Piping**
1. **Description: Descal 4" sanitary sewer piping.**
 2. **Unit of Measurement: twenty five (25) Linear Foot (LF)**

END OF SECTION 012200

SECTION 012300 – ALTERNATES – Phase 2 - Addendum 1

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and other Division 01 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. Section includes administrative and procedural requirements for alternates.

1.3 DEFINITIONS

- A. Alternate: An amount proposed by bidders and stated on the Bid Form for certain work defined in the bidding requirements that may be added to or deducted from the base bid amount if the Owner decides to accept a corresponding change either in the amount of construction to be completed or in the products, materials, equipment, systems, or installation methods described in the Contract Documents.
 - 1. Alternates described in this Section are part of the Work only if enumerated in the Agreement.
 - 2. The cost or credit for each alternate is the net addition to or deduction from the Contract Sum to incorporate alternates into the Work. No other adjustments are made to the Contract Sum.

1.4 PROCEDURES

- A. Coordination: Revise or adjust affected adjacent work as necessary to completely integrate work of the alternate into Project.
 - 1. Include, as part of each alternate, miscellaneous devices, accessory objects, and similar items incidental to or required for a complete installation, whether or not indicated as part of alternate.
- B. Execute accepted alternates under the same conditions as other Work of the Contract.
- C. Schedule: A Part 3 "Schedule of Alternates" Article is included at the end of this Section. Specification Sections referenced in schedule contain requirements for materials necessary to achieve the work described under each alternate.

PART 2 - PRODUCTS (Not Used)

PART 3 - EXECUTION

3.1 SCHEDULE OF ALTERNATES

Alternate No. 1 – Gypsum Wallboard Laminate in Children’s Art 124

State the amount to be added to the base bid to provide, install, finish, and paint 5/8” gypsum wallboard to the walls in Children’s Art 124 as shown on Sheet 2.A101. Gypsum wallboard is to be adhered to the existing masonry wall. Extend from floor to ceiling. Provide casing bead at any exposed edges. Provide 4” vinyl base at floor.

Alternate No. 2a – Raised Dance Floor in Dance 152 - Material

State the amount to be added to the base bid to provide all material for the raised dance floor in Dance 152. Include a ramp of same material as main floor and all necessary base and trim. Also provide carpet at the landing in front of the room entrance as shown. Under base bid, the existing flooring will remain and all of the wood Barre railing is still to be provided. See Specification Section 096400 – Wood Dance Flooring.

Alternate No. 2b – Raised Dance Floor in Dance 152 - Labor

State the amount to be added to the base bid to provide all labor to install the raised dance floor in Dance 152. Include a ramp of same material as main floor and all necessary base and trim. Also provide carpet at the landing in front of the room entrance as shown. Under base bid, the existing flooring will remain and all of the wood Barre railing is still to be provided. See Specification Section 096400 – Wood Dance Flooring.

END OF SECTION 012300

SECTION 096400 - WOOD DANCE FLOORING – Addendum 1

PART 1 - GENERAL

1.1 SUMMARY

A. Section Includes:

1. Factory-finished wood dance flooring system on resilient foam pad.

1.2 ACTION SUBMITTALS

A. Product Data: For each type of product.

B. Shop Drawings: For each type of floor assembly and accessory. Include plans, sections, and attachment details. Include expansion provisions and trim details.

C. Samples: For each exposed product and for each color and texture specified, approximately 12 inches long and of same thickness and material indicated for the Work and showing the full range of normal color and texture variations expected.

D. Samples for Initial Selection: Manufacturer's color charts showing the full range of colors and finishes available for wood flooring.

1. Include Samples of accessories involving color and finish selection.

1.3 MAINTENANCE MATERIAL SUBMITTALS

A. Furnish extra materials that match products installed and that are packaged with protective covering for storage and identified with labels describing contents.

1. Wood Flooring: Equal to 1 percent of amount installed for each type, color, and finish of wood flooring indicated.

1.4 DELIVERY, STORAGE, AND HANDLING

A. Deliver wood flooring materials in unopened cartons or bundles.

B. Protect wood flooring from exposure to moisture. Do not deliver wood flooring until after concrete, masonry, plaster, ceramic tile, and similar wet-work is complete and dry.

C. Store wood flooring materials in a dry, warm, ventilated, weathertight location.

1.5 FIELD CONDITIONS

- A. Conditioning period begins not less than seven days before wood flooring installation, is continuous through installation, and continues not less than seven days after wood flooring installation.
 - 1. Environmental Conditioning: Maintain ambient temperature between 65 and 75 deg F and relative humidity planned for building occupants in spaces to receive wood flooring during the conditioning period.
 - 2. Wood Flooring Conditioning: Move wood flooring into spaces where it will be installed, no later than the beginning of the conditioning period.
 - a. Do not install flooring until it adjusts to relative humidity of, and is at same temperature as, space where it is to be installed.
 - b. Open sealed packages to allow wood flooring to acclimatize immediately on moving flooring into spaces in which it will be installed.
- B. After conditioning period, maintain relative humidity and ambient temperature planned for building occupants.
- C. Install factory-finished wood dance flooring after other finishing operations, including painting, have been completed.

PART 2 - PRODUCTS

2.1 FACTORY-FINISHED WOOD DANCE FLOORING

- A. Manufacturer: Provide wood dance floor product from the following:
 - 1. Dance Equipment International, 2103 Lincoln Avenue Suite C, San Jose, California 95125, 800-626-9258, https://danceequipmentintl.com/sprung_dance_floors/
 - 2. Description
 - a. Provide Dance Equipment International sprung wood dance flooring, **Series 500-34**.
 - b. Surface material: Manufacturer's standard prefinished hardwood with plank interlocking system.
 - c. Resilient pads: Manufacturer's standard 3/4" thick resilient pads spaced as recommended by the manufacturer.
 - 3. Installation pattern: Manufacturer's standard.
 - 4. Installation: Permanent.
 - 5. Finish: Factory applied multi-coat polyurethane finish.
 - 6. Color: Harmony Natural Beech

2.2 ACCESSORY MATERIALS

- A. Thresholds, Saddles, Ramps, and Base: To match wood flooring. Tapered on each side.
- B. Reducer Strips: To match wood flooring. 2 inches wide, tapered, and in thickness required to match height of flooring.

PART 3 - EXECUTION

3.1 EXAMINATION

- A. Examine substrates, areas, and conditions, with Installer present, for compliance with requirements for maximum moisture content, installation tolerances, and other conditions affecting performance of wood flooring.
- B. Proceed with installation only after unsatisfactory conditions have been corrected.

3.2 PREPARATION

- A. Broom or vacuum clean substrates to be covered immediately before product installation. After cleaning, examine substrates for moisture, alkaline salts, carbonation, or dust. Proceed with installation only after unsatisfactory conditions have been corrected.

3.3 INSTALLATION

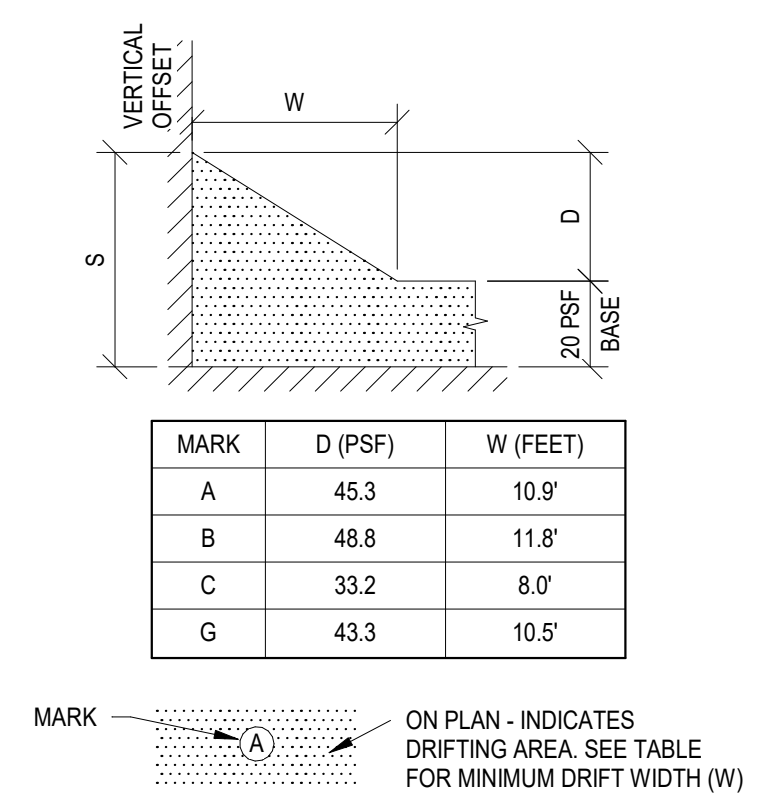
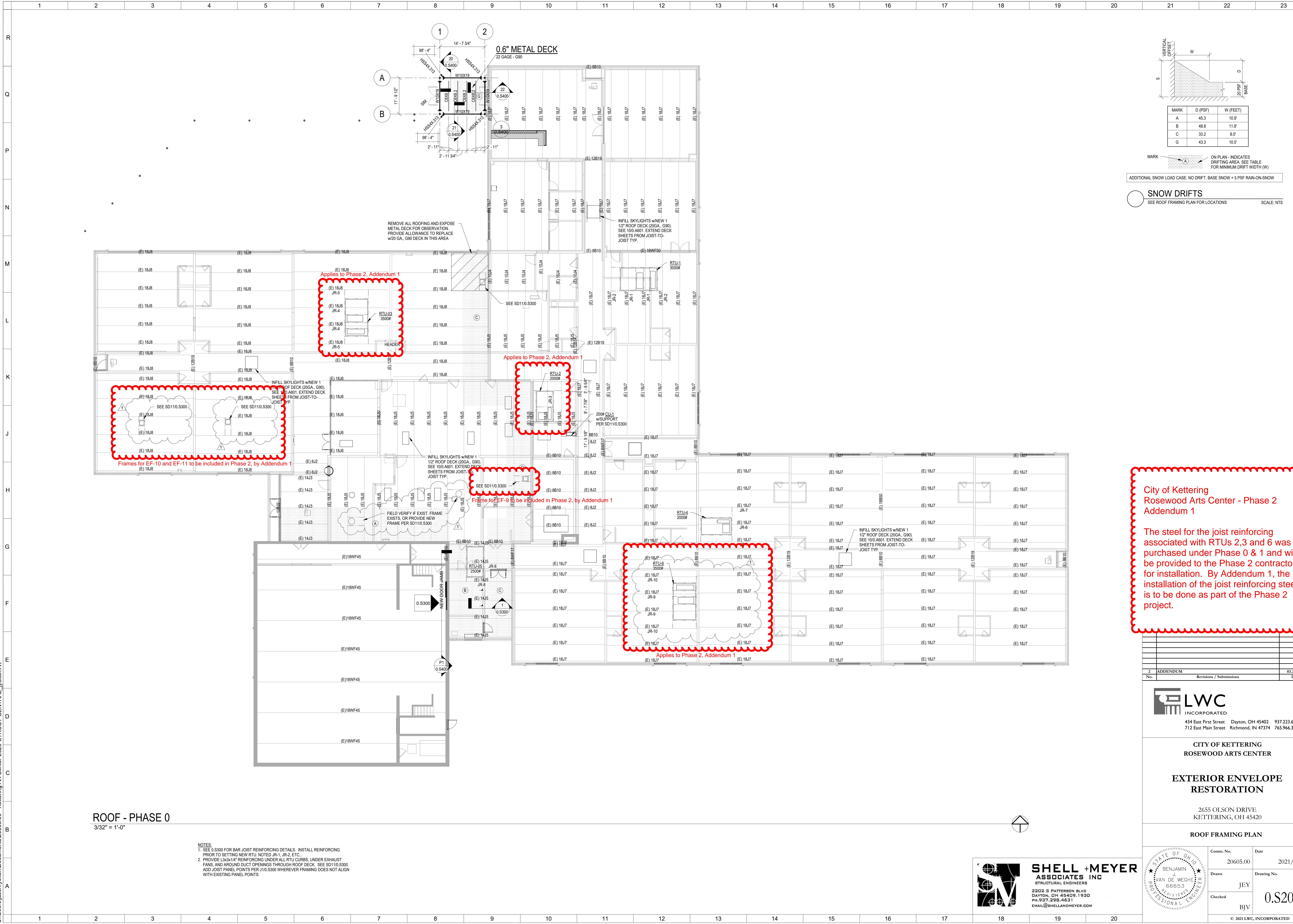
- A. Comply with flooring manufacturer's written installation instructions.
- B. Provide expansion space at walls and other obstructions and terminations of flooring as recommended by manufacturer.

3.4 PROTECTION

- A. Protect installed wood dance flooring during remainder of construction period with covering of heavy kraft paper or other suitable material. Do not use plastic sheet or film that might cause condensation.
 - 1. Do not move heavy and sharp objects directly over kraft-paper-covered wood flooring. Protect flooring with plywood or hardboard panels to prevent damage from storing or moving objects over flooring.

END OF SECTION 096400

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ADDITIONAL SNOW LOAD CASE: NO DRIFT, BASE SNOW + 5 PSF RAIN-ON-SNOW

SNOW DRIFTS
SEE ROOF FRAMING PLAN FOR LOCATIONS

SCALE: NTS

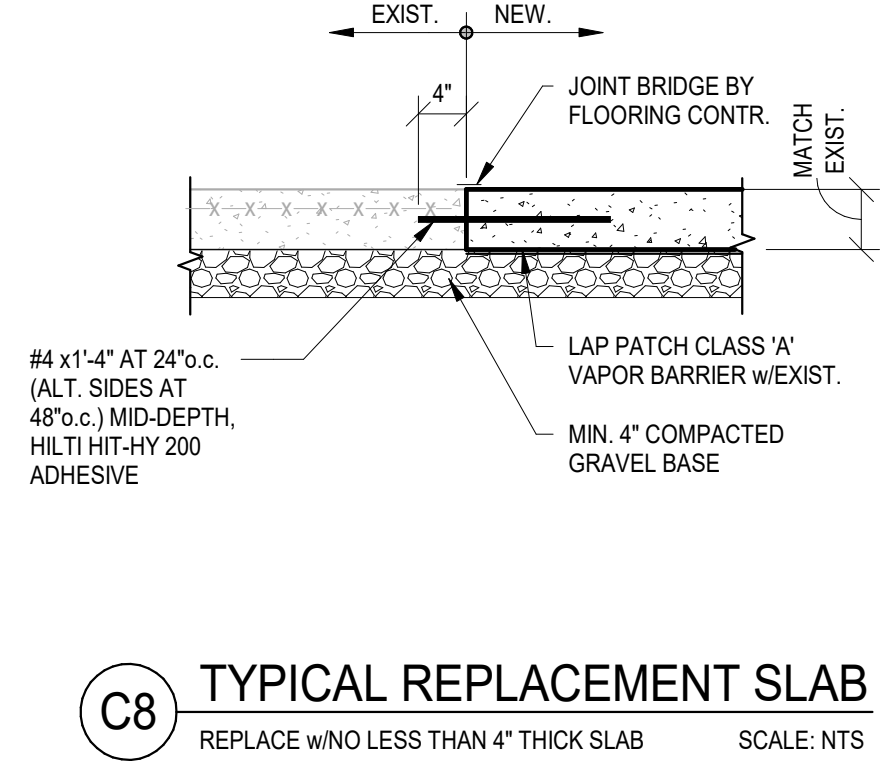
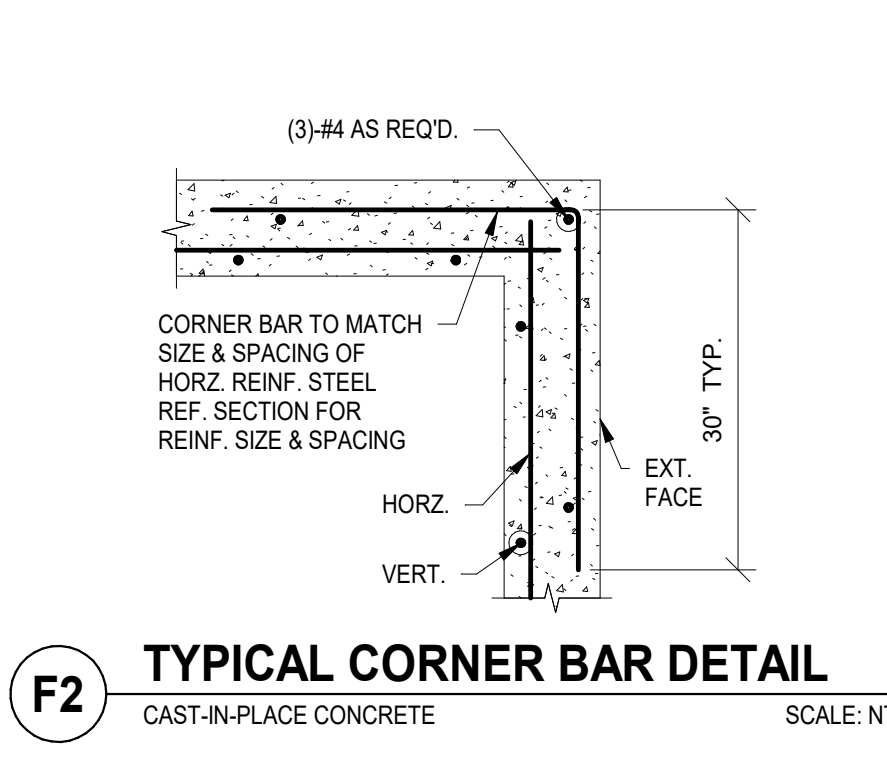
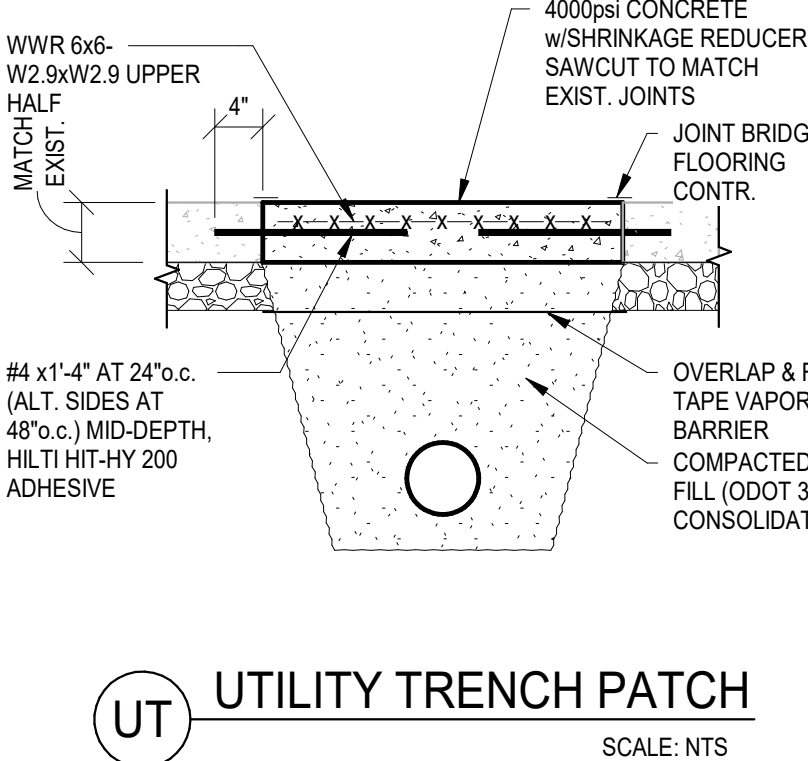
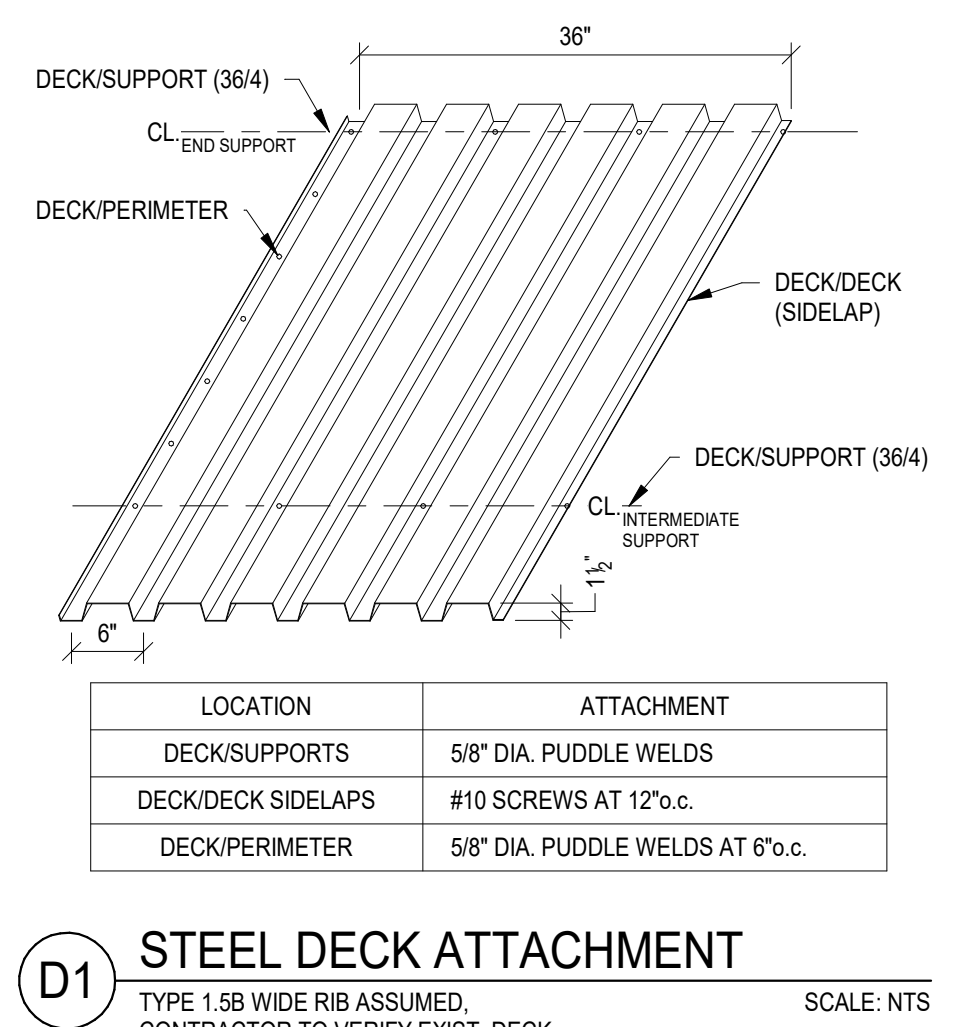
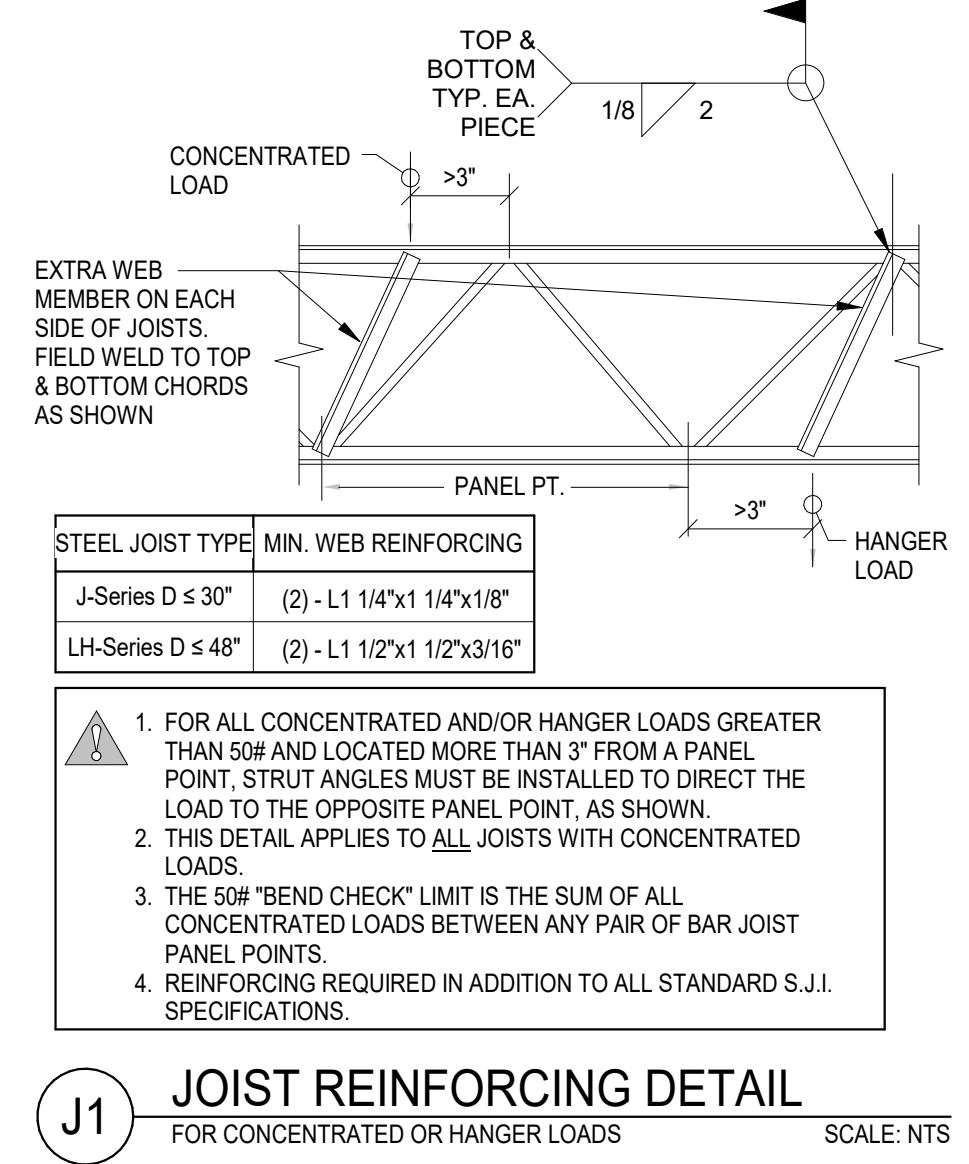
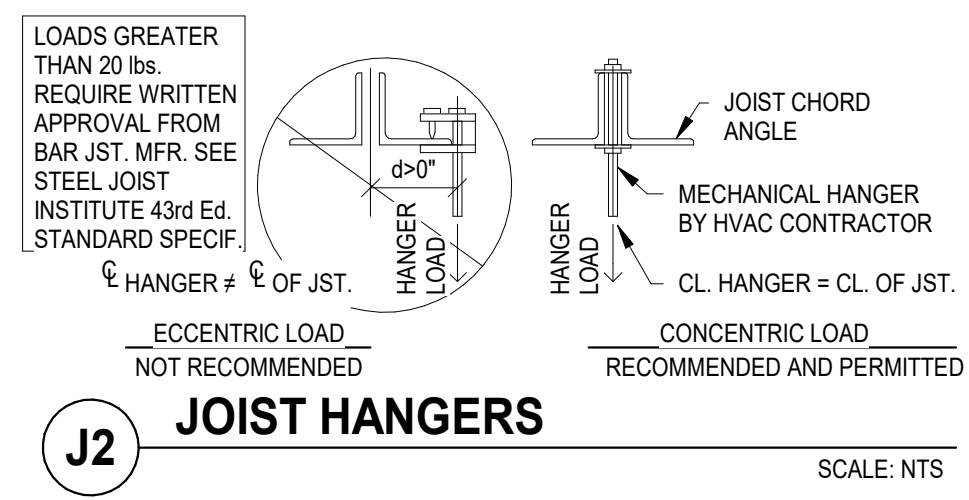
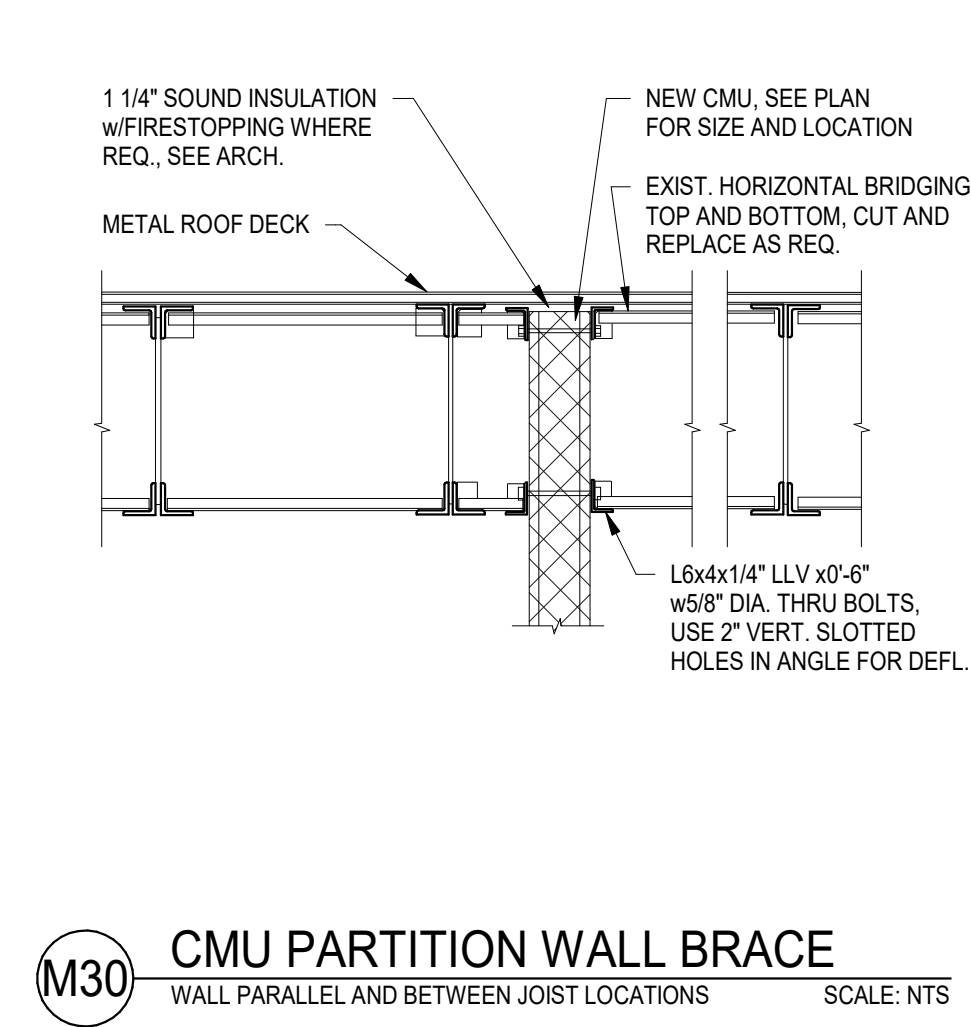
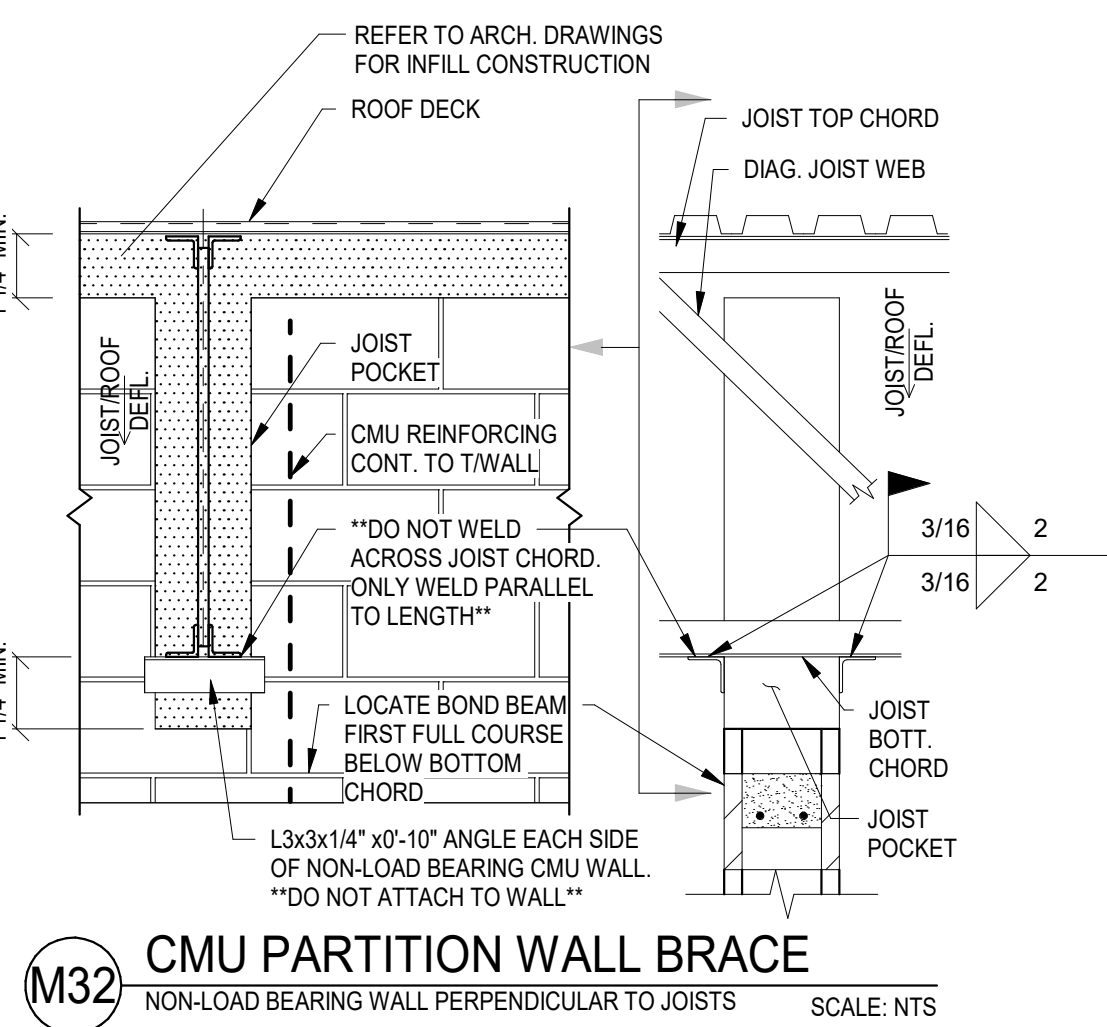
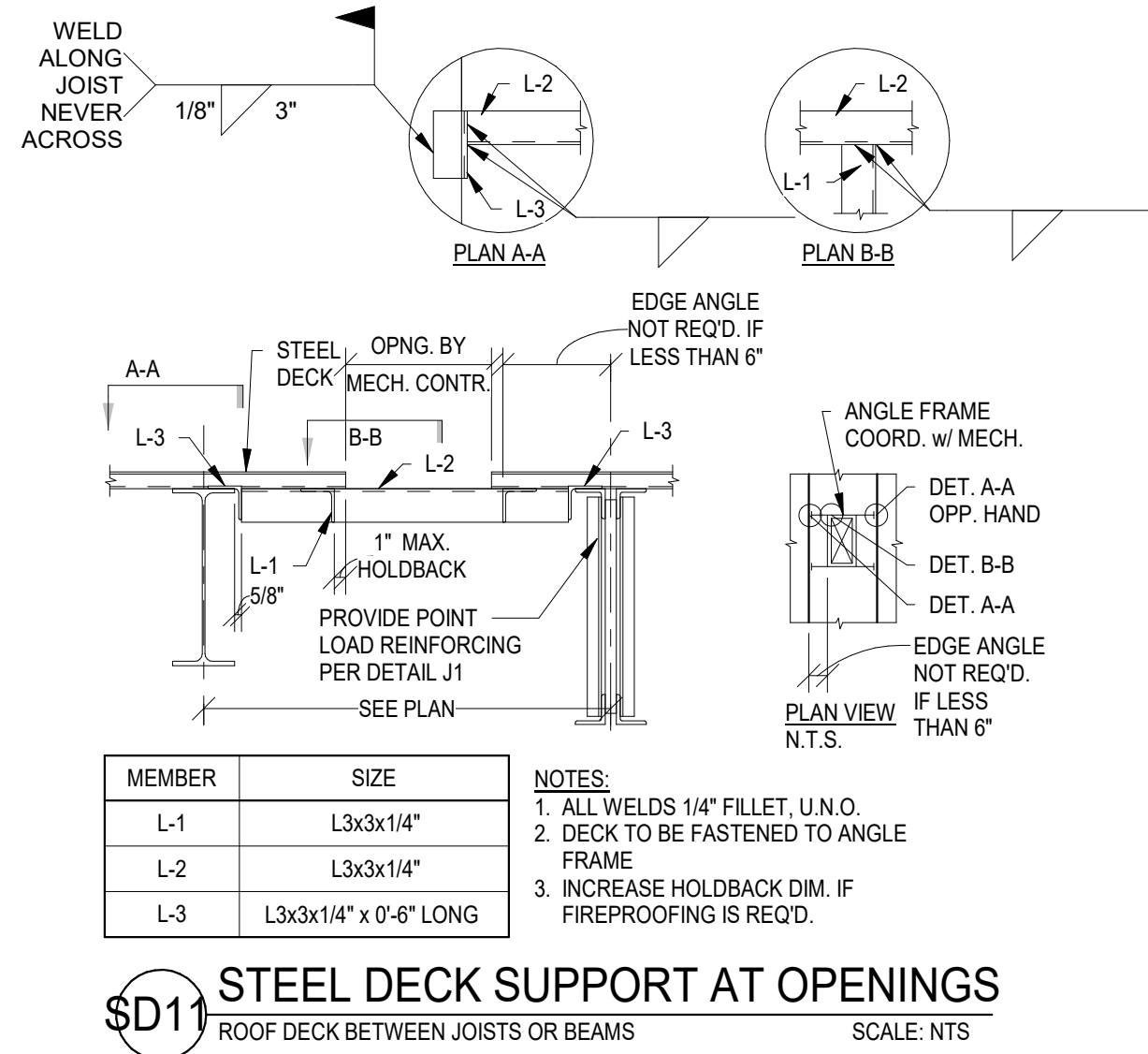
City of Kettering
Rosewood Arts Center - Phase 2
Addendum 1

The steel for the joist reinforcing associated with RTUs 2, 3 and 6 was purchased under Phase 0 & 1 and will be provided to the Phase 2 contractor for installation. By Addendum 1, the installation of the joist reinforcing steel is to be done as part of the Phase 2 project.

ROOF - PHASE 0
3/32" = 1'-0"

- NOTES:**
- SEE 0.S300 FOR BAR JOIST REINFORCING DETAILS. INSTALL REINFORCING PRIOR TO SETTING NEW RTU. NOTED JR-1, JR-2, ETC.
 - PROVIDE L3x3x1/4" REINFORCING UNDER ALL RTU CURBS, UNDER EXHAUST FANS, AND AROUND DUCT OPENINGS THROUGH ROOF DECK. SEE SD110.S300 ADD JOIST PANEL POINTS PER 1/10.S300 WHEREVER FRAMING DOES NOT ALIGN WITH EXISTING PANEL POINTS.

ADDENDUM		05.21.2022
No.	Revisions / Submissions	Date
<p>434 East First Street Dayton, OH 45402 937.223.6500 712 East Main Street Richmond, IN 47374 765.966.3546</p>		
<p>CITY OF KETTERING ROSEWOOD ARTS CENTER</p> <p>EXTERIOR ENVELOPE RESTORATION</p> <p>2655 OLSON DRIVE KETTERING, OH 45420</p>		
<p>ROOF FRAMING PLAN</p>		
Comm. No.	Date	2021/08/03
20605.00		
Drawn	JEY	0.S200
Checked	BJV	
<p>SHELL + MEYER ASSOCIATES INC. STRUCTURAL ENGINEERS 2202 S PATTERSON BLVD DAYTON, OH 45409.1930 PH. 937.238.4631 EMAIL@SHELLANDMEYER.COM</p>		
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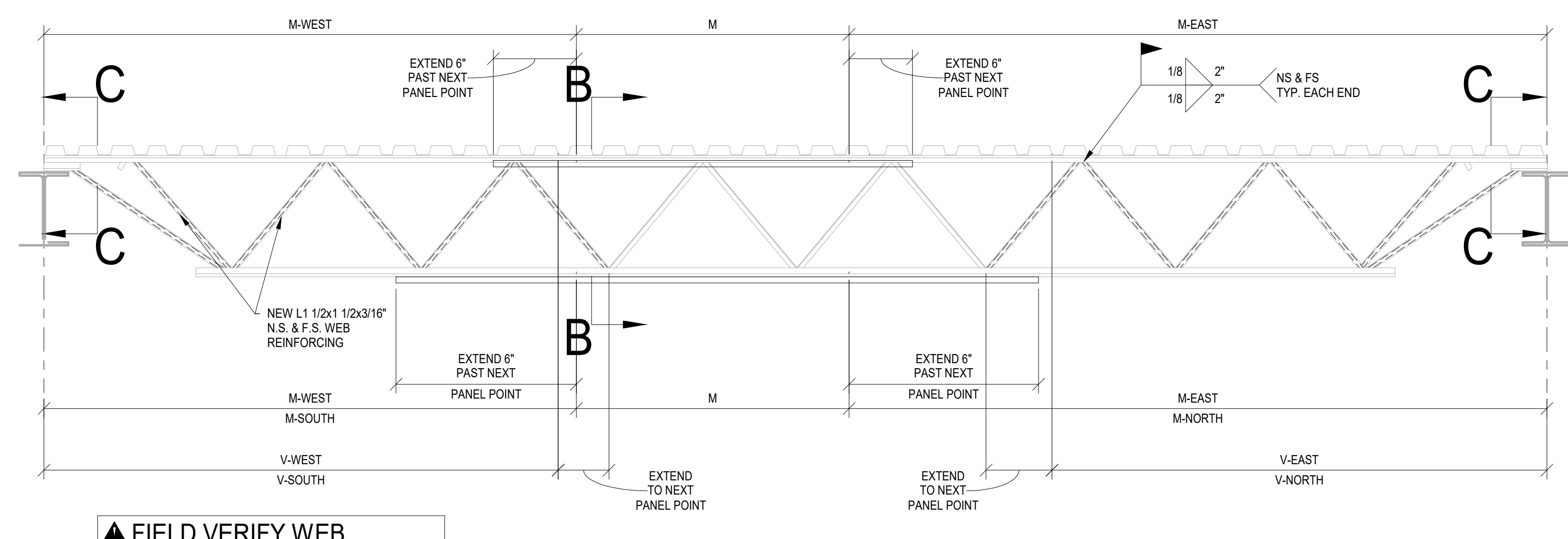
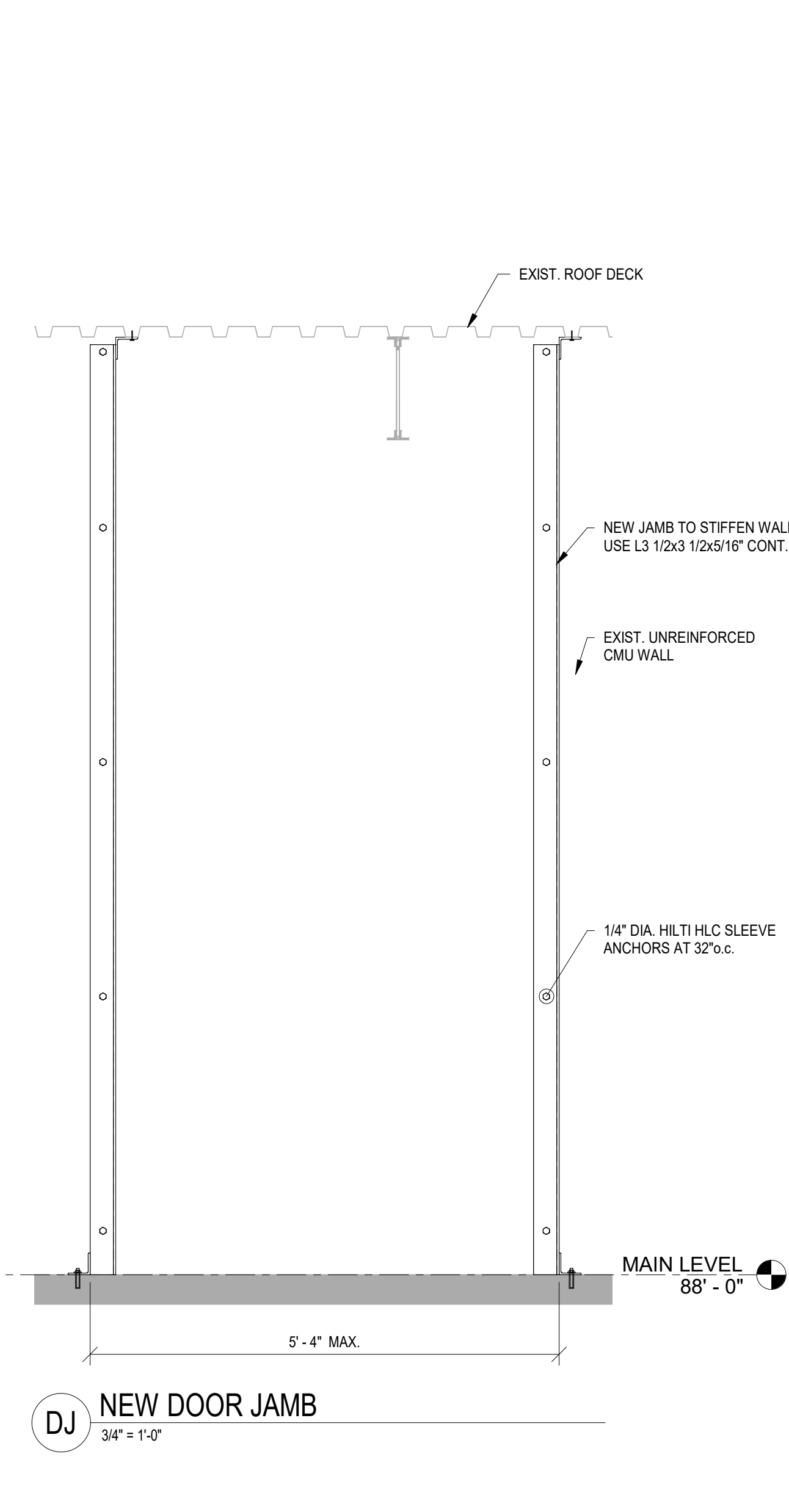
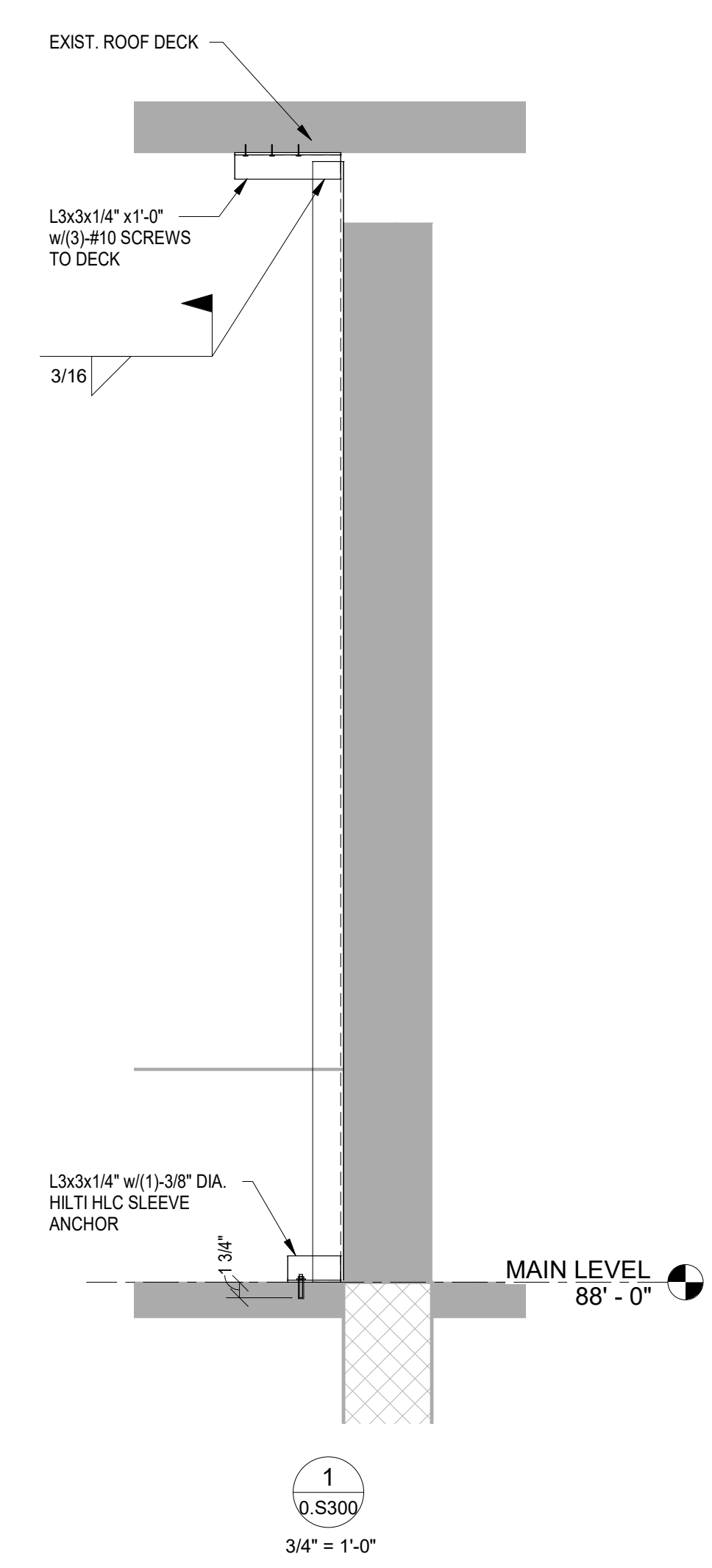
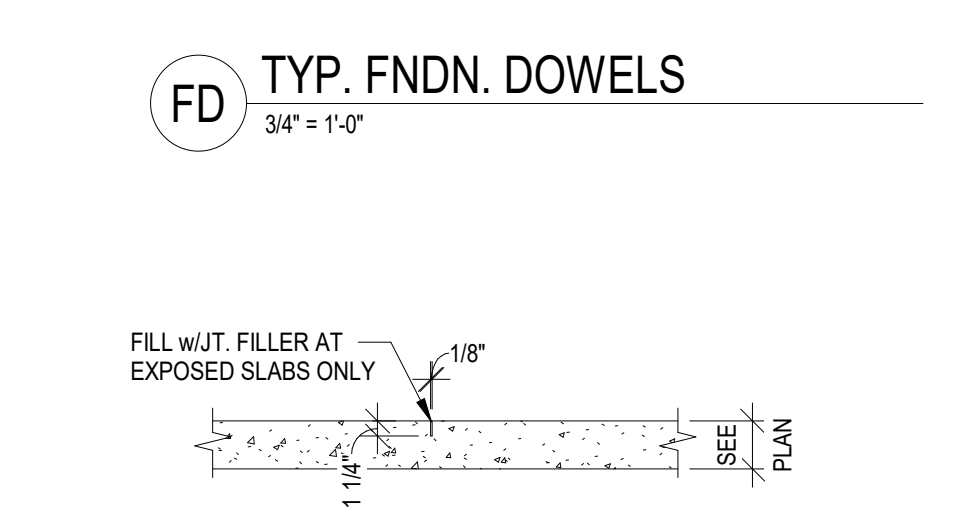
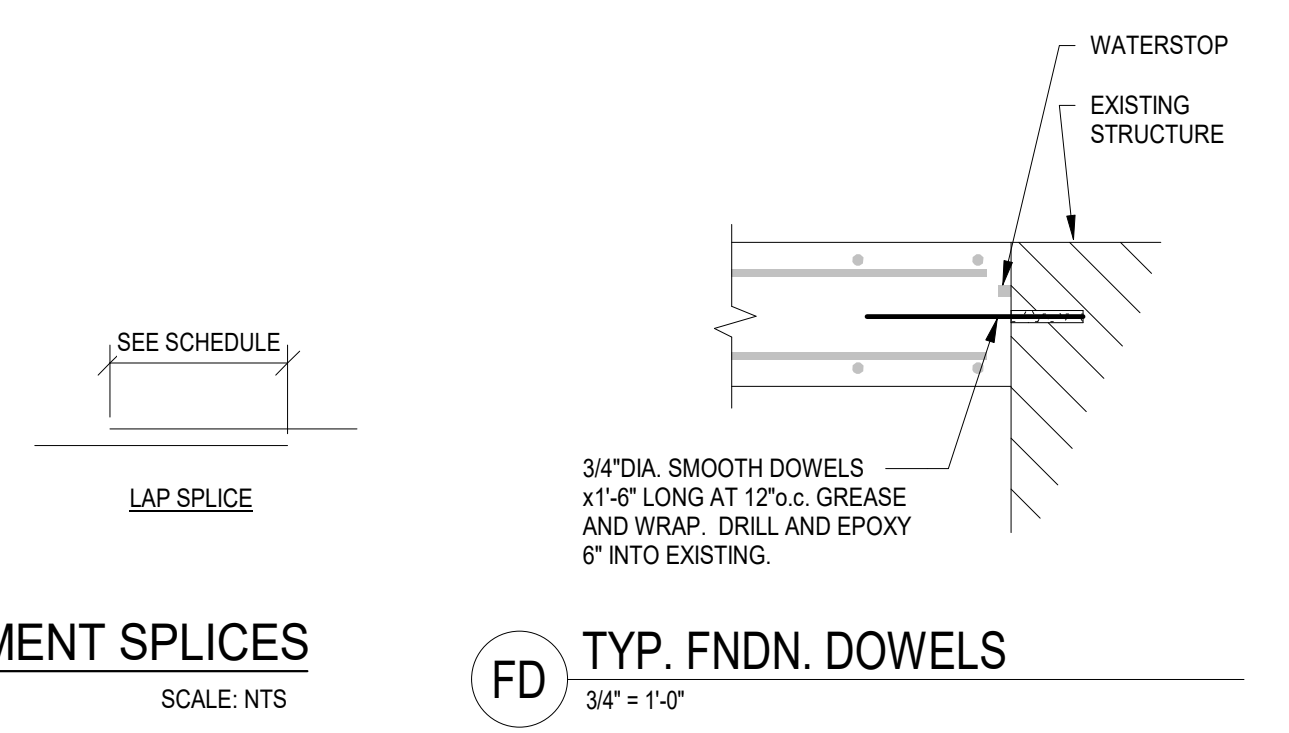


CASE	LOCATION	BAR SIZE	COVER (in.)
A	Concrete cast against and permanently exposed to earth ¹	ALL SIZES	3"
B	Concrete exposed to earth or weather	#5 & Smaller #6 thru #18	1 1/2" 2"
C	Concrete NOT exposed to weather or in contact with earth	#11 & Smaller	3/4"

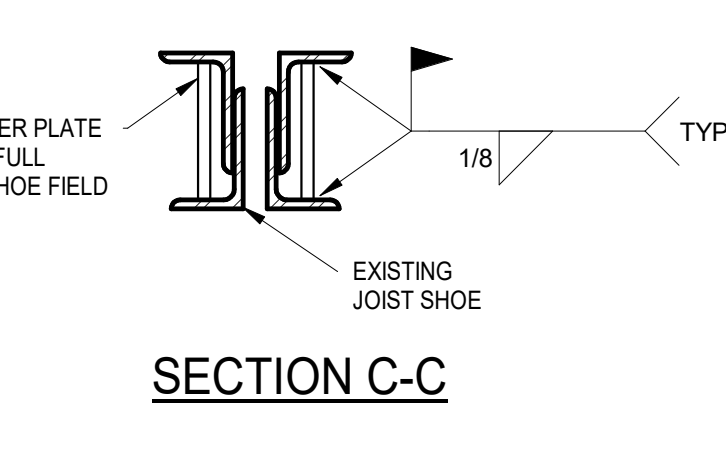
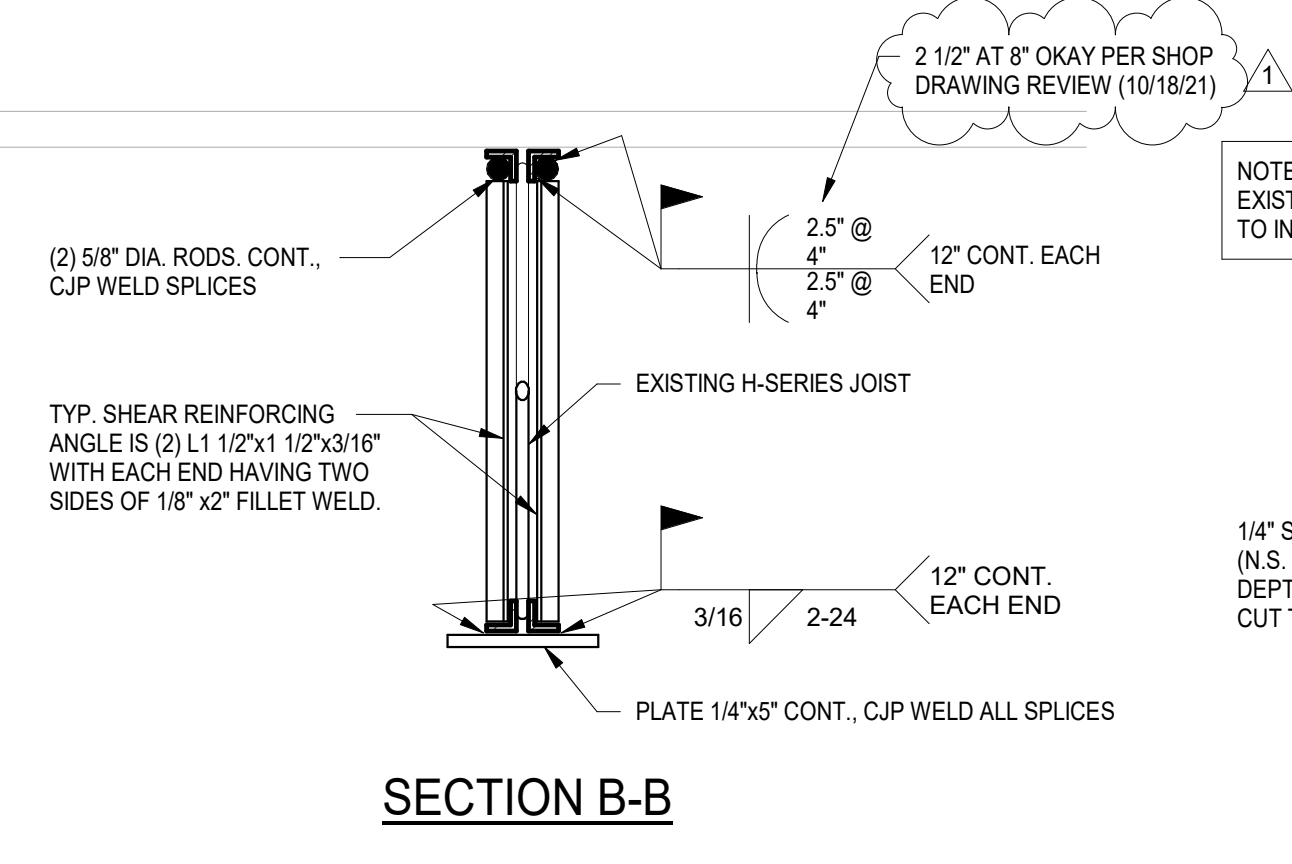
1 - All foundations cast against earth without using formwork shall use CASE 'A' for reinforcement clearances.

BAR SIZE	LAP LENGTH ^{1,2}
#3	32
#4	43"
#5	54"
#6	64"

1 - Increase Lap Length by 33% for Epoxy Coated Reinforcing or Lightweight Concrete
2 - Based on minimum $f_c = 3000$ psi



PLAN ID.	WEB - SHEAR REINFORCING		CHORDS - MOMENT REINFORCING			NOTES
	V-SOUTH	V-NORTH	M-SOUTH	M	M-NORTH	
JR-1	9'-0"	9'-0"	8'-0"	14'-0"	8'-0"	
JR-2	9'-0"	9'-0"	11'-0"	11'-6"	7'-6"	
JR-3	8'-0"	8'-0"	8'-0"	10'-0"	7'-0"	
JR-4	11'-0"	9'-6"	9'-0"	16'-0"	7'-0"	
JR-5	9'-6"	9'-6"	10'-6"	12'-6"	9'-0"	
JR-6	8'-0"	8'-0"	10'-6"	7'-6"	14'-0"	
JR-7	8'-0"	NONE	-	NONE	-	
JR-8	CONT.	CONT.	3'-0"	15'-0"	3'-6"	1/8"x4" WEB WELDS, E.E. USE 3/4" DIA. TOP RODS
JR-9	NONE	7'-0"	11'-6"	8'-6"	10'-0"	
JR-10	NONE	7'-0"	-	NONE	-	



SJ TYPICAL SAWED CONTROL JOINT DETAIL
SCALE: NTS

**City of Kettering
Rosewood Arts Center - Phase 2
Addendum 1**

The steel for the joist reinforcing associated with RTUs 2,3 and 6 was purchased under Phase 0 & 1 and will be provided to the Phase 2 contractor for installation. By Addendum 1, the installation of the joist reinforcing steel is to be done as part of the Phase 2 project.

ADDENDUM	Revisions / Submissions	05.21.2022
No.		Date

LWC INCORPORATED
434 East First Street Dayton, OH 45402 937.223.6500
712 East Main Street Richmond, IN 47374 765.966.3546

**CITY OF KETTERING
ROSEWOOD ARTS CENTER**

**EXTERIOR ENVELOPE
RESTORATION**

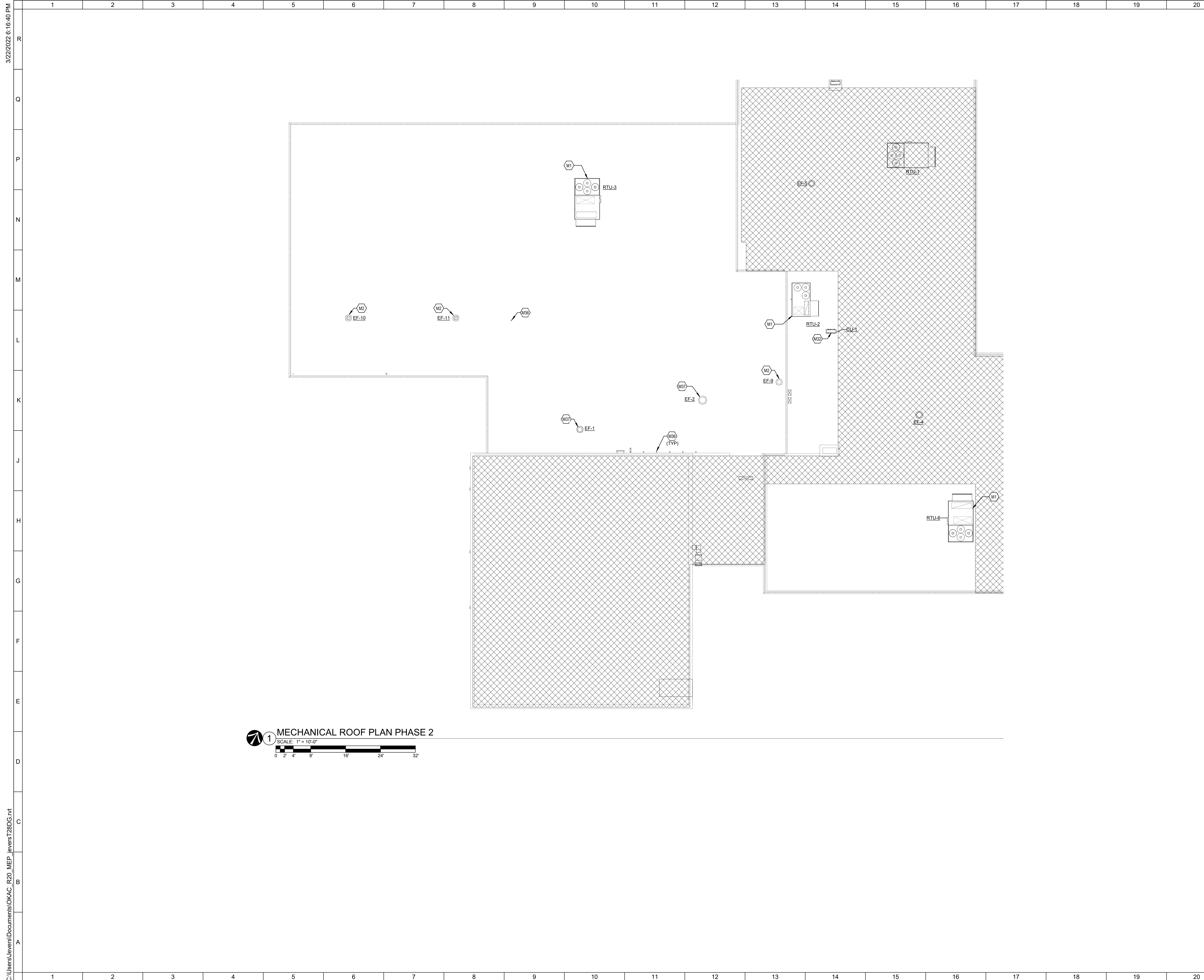
2655 OLSON DRIVE
KETTERING, OH 45420

STRUCTURAL DETAILS

Comm. No.	Date
20605.00	2021/08/03
Drawn	Drawing No.
JEY	0.S300
Checked	
BJV	

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3/22/2022 6:16:40 PM



MECHANICAL ROOF PLAN PHASE 2
 SCALE: 1" = 10'-0"
 0 2' 4' 8' 16' 24' 32'

SHEET NOTES:

TAGGED NOTES	
#	DESCRIPTION
M1	PROVIDE NEW PACKAGE ROOFTOP UNIT IN THIS LOCATION. REFER TO PACKAGED ROOFTOP UNIT DETAIL ON SHEET M200 AND PACKAGED ROOFTOP UNIT SCHEDULE ON SHEET M300 FOR MORE INFORMATION.
M2	PROVIDE NEW EXHAUST FAN AND PENETRATION IN THIS LOCATION. REFER TO EXHAUST FAN SCHEDULE ON SHEET M300 FOR MORE INFORMATION.
M32	PROVIDE CONDENSING UNIT IN THIS LOCATION. REFER TO SPLIT SYSTEM OUTDOOR UNIT SCHEDULE ON SHEET M300 FOR FURTHER DETAILS.
M36	GOOSENECK WITH BIRDSCREEN FOR KILN VENT IN THIS LOCATION.
M37	PROVIDE NEW EXHAUST FAN AND REUSE EXISTING PENETRATION IN THIS LOCATION. REFER TO EXHAUST FAN SCHEDULE ON SHEET M300 FOR MORE INFORMATION.

KEY PLAN:

No.	Revisions / Submissions	Date
11	BID AND PERMIT SET	2022-01-26
12	ADDENDUM #1	2022-03-22

CMTA
 1650 Lake Shore Drive Suite 380
 Columbus, OH 43202
 T: 614.992.1500

LWC
 INCORPORATED
 434 East First Street Dayton, OH 45402 937.223.6500

**CITY OF KETTERING
 ROSEWOOD ARTS CENTER**

**INTERIOR RENOVATION
 PHASE 2**

2655 OLSON DRIVE
 KETTERING, OH 45420

MECHANICAL ROOF PLAN - PHASE 2

	Comm. No.	Date
	20605.00	2022.01.26
	Drawn	CRH
Checked	BKR	2.M102

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162118268



Chain of Custody
Asbestos

Lab Address:

EMSL Analytical
Cinnaminson, NJ

ERAtch Environmental, Inc. 3508 Wilmington Pike				Bill to: <input checked="" type="checkbox"/> Same <input type="checkbox"/> Different If Bill to is Different note instructions in Comments** <i>Third Party Billing requires written authorization from third party</i>					
Kettering			Ohio		45429				
Report To : Douglas M. Kohnen, CMC				Telephone #: (937) 859-8998 or (937) 478-6920					
Email Results to dkohnen, kmoore, cplumby, cmcloud (@eratechenv.com)				Fax #: (937) 859-9132		Purchase Order: 21-12487			
Project Name/Number: 21-12487 2655 OLSON DRIVE				Please Provide Results: Email					
U.S. State Samples Taken: Ohio				Collected on:		8/11/2021			
Turnaround Time (TAT) Options* - Please Check									
<input type="checkbox"/> 3 Hour <input type="checkbox"/> 6 Hour <input checked="" type="checkbox"/> 24 Hour <input type="checkbox"/> 48 Hour <input type="checkbox"/> 72 Hour <input type="checkbox"/> 96 Hour <input type="checkbox"/> 1 Week <input type="checkbox"/> 2 Week									
*Analysis completed in accordance with ERAtech's Terms and Conditions.									
Test Codes									
•EPA 600/R-93/116 (PLM)		PLM							
Special Instructions: Stop 1st Positive per HA#				Client Drop Off					
Name of Sampler: Client Drop Off				Signature of Sampler:					
Sample #	Material Description	Room/Location	HA #	Floor	Test Code	Friable	Type	Photo/Notes	
AS-1	Blackboard Mastic	Classrooms	A	1	PLM	N	Misc.		
Client Sample # (s):		-		Total # of Samples:			1		
Relinquished (Client):		<i>Keith A. Moore</i>		Date: 8/11/2021		Time: 6:55 PM			
Received (Client):		<i>[Signature]</i>		Date: 8/12/21		Time: 10 <i>[Signature]</i>			
Comments:									



EMSL Analytical, Inc.

6340 CastlePlace Dr. Indianapolis, IN 46250
Tel/Fax: (317) 803-2997 / (317) 803-3047
<http://www.EMSL.com> / indianapolislab@emsl.com

EMSL Order: 162118268
Customer ID: ERAT50
Customer PO: 21-12487
Project ID:

Attention: Douglas M. Kohlen, MS, AHES, CMC
ERAtch Environmental, Inc.
3508 Wilmington Pike
Kettering, OH 45429

Phone: (937) 478-3598
Fax: (937) 859-9132
Received Date: 08/12/2021 10:00 AM
Analysis Date: 08/13/2021
Collected Date: 08/11/2021

Project: 21-12487 2655 OLSON DRIVE

Test Report: Asbestos Analysis of Bulk Materials via EPA 600/R-93/116 Method using Polarized Light Microscopy

Sample	Description	Appearance	Non-Asbestos		Asbestos
			% Fibrous	% Non-Fibrous	% Type
AS-1	Classrooms - Blackboard Mastic	Brown Non-Fibrous Homogeneous		95% Non-fibrous (Other)	5% Chrysotile
162118268-0001			HA: A		

Analyst(s)
Amanda Straw (1)


Richard Harding, Laboratory Manager
or Other Approved Signatory

EMSL maintains liability limited to cost of analysis. Interpretation and use of test results are the responsibility of the client. This report relates only to the samples reported above, and may not be reproduced, except in full, without written approval by EMSL. EMSL bears no responsibility for sample collection activities or analytical method limitations. The report reflects the samples as received. Results are generated from the field sampling data (sampling volumes and areas, locations, etc.) provided by the client on the Chain of Custody. Samples are within quality control criteria and met method specifications unless otherwise noted. The above analyses were performed in general compliance with Appendix E to Subpart E of 40 CFR (previously EPA 600/M4-82-020 "Interim Method") but augmented with procedures outlined in the 1993 ("final") version of the method. This report must not be used by the client to claim product certification, approval, or endorsement by NVLAP, NIST or any agency of the federal government. Non-friable organically bound materials present a problem matrix and therefore EMSL recommends gravimetric reduction prior to analysis. Unless requested by the client, building materials manufactured with multiple layers (i.e. linoleum, wallboard, etc.) are reported as a single sample. Estimation of uncertainty is available on request.

Samples analyzed by EMSL Analytical, Inc. Indianapolis, IN NVLAP Lab Code 200188-0, AZ0939, CA 2575, CO AL-15132, TX 300262

Initial report from: 08/13/2021 13:59:52

162104766



Chain of Custody
Asbestos

Lab Address:
EMSL Analytical
Cinnaminson, NJ

ERAtch Environmental, Inc. 3508 Wilmington Pike Kettering Ohio 45429					Bill to: <input checked="" type="checkbox"/> Same <input type="checkbox"/> Different If Bill to is Different note Instructions in Comments** Third Party Billing requires written authorization from third party				
Report To : Douglas M. Kohnen, CMC					Telephone #: (937) 859-8998 or (937) 478-6920				
Email Results to dkohnen, kmoore, cplumby, cmcccloud (@erattechenv.com)					Fax #: (937) 859-9132			Purchase Order: 21-12164	
Project Name/Number: 21-12164 2800 ACRON DRIVE					Please Provide Results: Email				
U.S. State Samples Taken: Ohio					Collected on: 3/11/2021				
Turnaround Time (TAT) Options* - Please Check									
<input type="checkbox"/> 3 Hour <input type="checkbox"/> 6 Hour <input checked="" type="checkbox"/> 24 Hour <input type="checkbox"/> 48 Hour <input type="checkbox"/> 72 Hour <input type="checkbox"/> 96 Hour <input type="checkbox"/> 1 Week <input type="checkbox"/> 2 Week									
*Analysis completed in accordance with ERAtech's Terms and Conditions.									
Test Codes									
•EPA 600/R-93/116 (PLM)			PLM						
Special Instructions: Stop 1st Positive per HA#					Client Drop Off				
Name of Sampler: Client Drop Off					Signature of Sampler:				
Sample #	Material Description	Room/Location	HA #	Floor	Test Code	Friable	Type	Photo/Notes	
AS-1	12"x12" Tile	Room 24	A		PLM	N	Misc.		
Client Sample # (s):					Total # of Samples:			1	
Relinquished (Client):		<i>Cynthia McCcloud</i>			Date: 3/11/2021		Time: 6:55 PM		
Received (Client):		<i>[Signature]</i>			Date: 3/12/2021		Time: 9:25am Gfx		
Comments:									



EMSL Analytical, Inc.

6340 CastlePlace Dr. Indianapolis, IN 46250
Tel/Fax: (317) 803-2997 / (317) 803-3047
<http://www.EMSL.com> / indianapolislaboratory@emsl.com

EMSL Order: 162104766
Customer ID: ERAT50
Customer PO: 21-12164
Project ID:

Attention: Douglas M. Kohnen, MS, AHES, CMC
ERAtch Environmental, Inc.
3508 Wilmington Pike
Kettering, OH 45429

Phone: (937) 478-3598
Fax: (937) 859-9132
Received Date: 03/12/2021 9:25 AM
Analysis Date: 03/12/2021
Collected Date: 03/11/2021

Project: 21-12164 2800 ACRON DRIVE

Test Report: Asbestos Analysis of Bulk Materials via EPA 600/R-93/116 Method using Polarized Light Microscopy

Sample	Description	Appearance	Non-Asbestos		Asbestos
			% Fibrous	% Non-Fibrous	% Type
AS-1-Floor Tile <small>162104766-0001</small>	Room 24 - 12"x12" Tile	Gray Non-Fibrous Homogeneous	HA: A	97% Non-fibrous (Other)	3% Chrysotile
AS-1-Mastic <small>162104766-0001A</small>	Room 24 - 12"x12" Tile	Black Non-Fibrous Homogeneous	HA: A	97% Non-fibrous (Other)	3% Chrysotile

Analyst(s)
Maggie Hayden (2)

Richard H. Harding
Richard Harding, Laboratory Manager
or Other Approved Signatory

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Samples analyzed by EMSL Analytical, Inc. Indianapolis, IN NVLAP Lab Code 200188-0, AZ0939, CA 2575, CO AL-15132, TX 300262

Initial report from: 03/12/2021 16:07:37