

# HEART HOUSE RENOVATION

## FOR

# McKINLEY HALL

1911 EAST HIGH STREET SPRINGFIELD OHIO, 45505

ARCHITECT

### McCALL SHARP ARCHITECTURE

14 EAST MAIN STREET, SUITE 201  
 SPRINGFIELD, OHIO 45502  
 (937) 323-4300

MEP ENGINEER

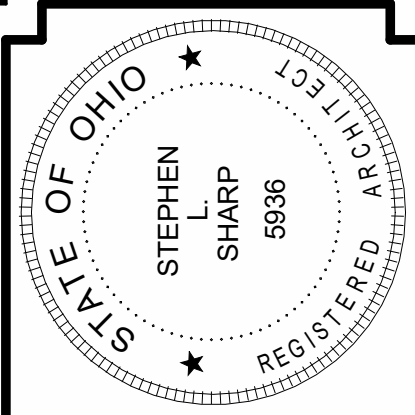
### EM ENGINEERING GROUP, LTD.

625 EAST NORTH BROADWAY  
 COLUMBUS, OHIO 43214  
 (614) 225-1580

STRUCTURAL ENGINEER

### EEMAN AND BLINN

1660 WARREN ROAD  
 OSTRANDER, OHIO 43061  
 (614) 325-5135

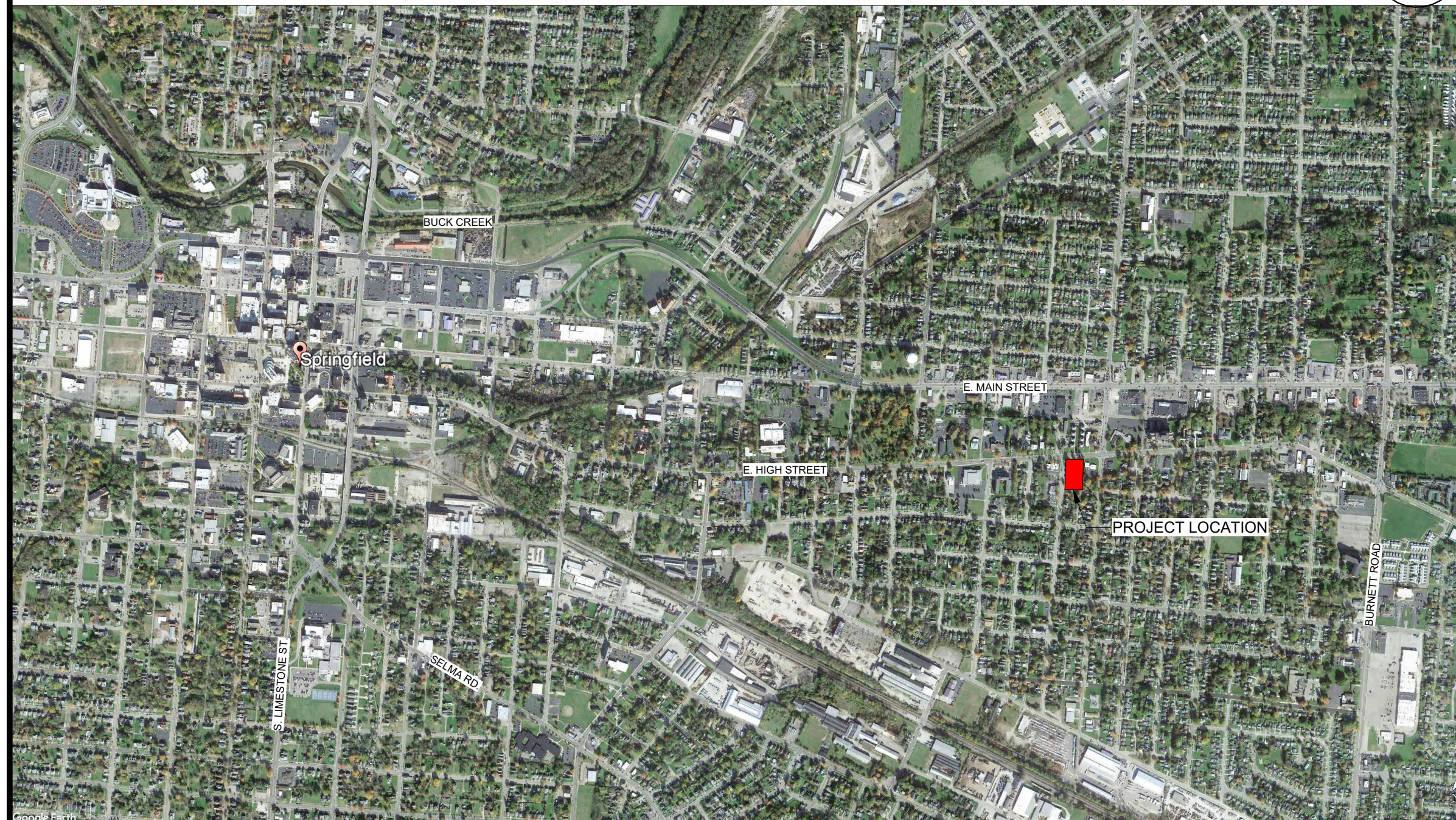
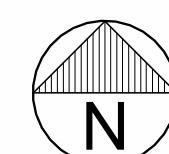


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 Expiration Date: 12/31/2024

REVISIONS	
NO.	DESCRIPTION
1	SUBMITTED FOR BID PERMIT
2	ADDENDUM 1
3	ADDENDUM 2

**McCall SHARP**  
 ARCHITECTURE  
 SPRINGFIELD OFFICE  
 14 EAST MAIN STREET, SUITE 201  
 SPRINGFIELD, OHIO 45502  
 P: (937)323-4300  
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## VICINITY MAP



## SHEET INDEX

G1.0	TITLE SHEET	A2.1	FIRST FLOOR CEILING PLAN	FP1.0	FIRE PROTECTION FLOOR PLAN
G1.1	CODE INFORMATION	A2.2	BASEMENT CEILING PLAN	FP1.1	FIRE PROTECTION BASEMENT, DETAILS
G1.2	GENERAL NOTES	A3.1	EXTERIOR ELEVATIONS	P1.0	PLUMBING SANITARY PLAN FIRST FLOOR
D1.1	FIRST FLOOR DEMOLITION PLAN	A3.2	EXTERIOR ELEVATIONS	P1.1	PLUMBING SANITARY PLAN BASEMENT
D1.2	BASEMENT DEMOLITION PLAN	A4.1	BUILDING SECTIONS	P2.0	PLUMBING WATER AND GAS PLAN FIRST FLOOR
D2.1	DEMOLITION PLAN CEILING	A4.2	BUILDING SECTIONS	P2.1	PLUMBING WATER AND GAS PLAN BASEMENT
S1	FOUNDATION	A4.3	BUILDING SECTIONS	H1.0	HVAC PLAN BASEMENT AND CRAWLSPACE
S2	TRUSS FRAMING	A4.4	BUILDING SECTIONS	H1.1	HVAC PLAN FIRST FLOOR
S3	ROOF FRAMING	A4.5	BUILDING SECTIONS	H2.0	HVAC ENLARGED PLAN BASEMENT
S4	STRUCTURAL GENERAL NOTES	A4.6	NEW STAIR DETAILS	H2.1	HVAC ENLARGED PLAN CLINIC
A0.1	SITE PLAN	A5.1	WALL SECTIONS	H2.2	HVAC ENLARGED PLAN HOUSE 1
A0.2	SITE DETAILS	A5.2	SKYLIGHT DETAILS	H2.3	HVAC ENLARGED PLAN HOUSE 2
A1.1	FIRST FLOOR PLAN	A5.3	ROOF DETAILS	H3.0	HOOD DRAWINGS
A1.2	FLOOR PLAN CLINIC	A6.1	INTERIOR ELEVATIONS	H3.1	HOOD DRAWINGS
A1.3	FLOOR PLAN DWELLING UNIT 1	A6.2	INTERIOR ELEVATIONS	H4.0	HVAC SCHEDULES AND DETAILS
A1.4	FLOOR PLAN DWELLING UNIT 2	A6.3	INTERIOR ELEVATIONS	H4.1	HVAC SCHEDULES
A1.5	BASEMENT and CRAWLSPACE PLAN	A7.1	ROOM FINISH SCHEDULE	H5.0	HVAC ENERGY COMPLIANCE
A1.6	BASEMENT PLAN	A7.2	DOOR SCHEDULE	E1.0	ELECTRICAL POWER PLAN FIRST FLOOR
A1.7	ROOF PLAN	A7.3	WINDOW SCHEDULE	E1.1	ELECTRICAL ENLARGED POWER PLAN CLINIC
		A7.4	DOOR AND WINDOW DETAILS	E1.2	ELECTRICAL ENLARGED POWER PLAN HOUSE 1
				E1.3	ELECTRICAL ENLARGED POWER PLAN HOUSE 2
				E1.4	ELECTRICAL POWER PLAN BASEMENT AND CRAWLSPACE
				E1.5	ELECTRICAL ENLARGED POWER PLAN BASEMENT
				E2.0	ELECTRICAL LIGHTING PLAN FIRST FLOOR
				E2.1	ELECTRICAL ENLARGED LIGHTING PLAN BASEMENT
				E3.0	ELECTRICAL RISER DIAGRAM

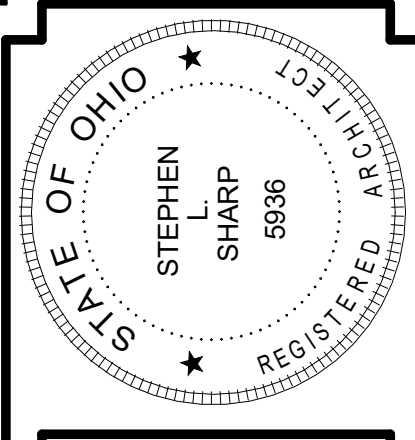
Heart House Renovation  
 FOR  
 McKinley Hall  
 1911 East High Street Springfield Ohio  
 TITLE SHEET

JOB NO: 2322

DRAWN BY: CG  
 CHECKED BY: SLS  
 Construction Documents

# G1.0

DATE: 2024-04-04



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**REVISIONS**

NO.	DATE	DESCRIPTION
1	04/02/2024	SUBMITTED FOR BID PERMIT
2	04/22/2024	ADDENDUM 1
3	04/25/2024	ADDENDUM 2

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Heart House Renovation  
FOR  
McKinley Hall  
1911 East High Street Springfield Ohio  
FIRST FLOOR DEMOLITION PLAN

JOB NO: 2322

DRAWN BY: CG  
CHECKED BY: SLS  
Construction Documents

**D1.1**

DATE: 2024-04-04  
PRINT DATE: 4/25/2024 4:20:43 PM

**DEMO LEGEND**

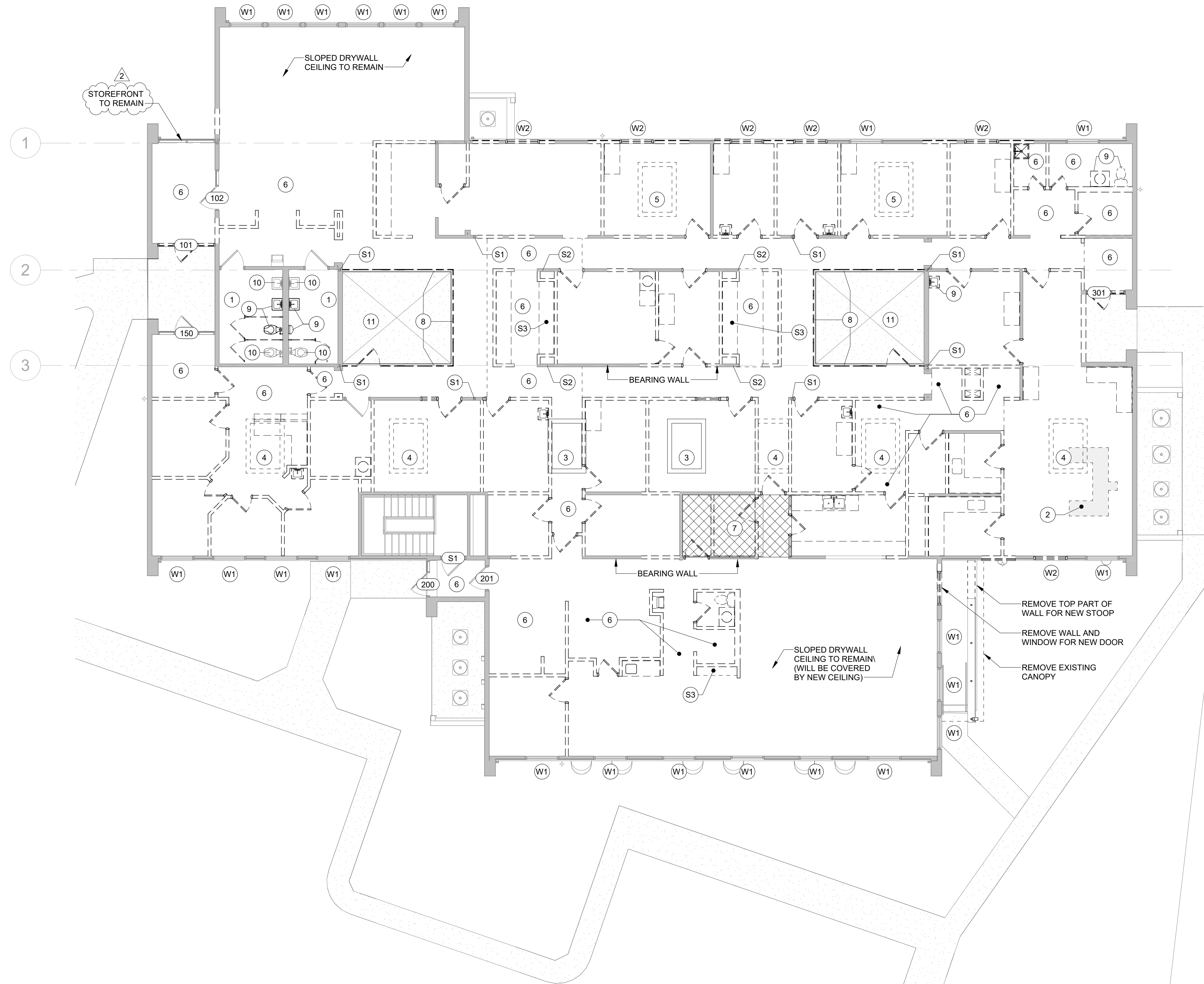
- EXISTING TO REMAIN
- EXISTING TO BE DEMOLISHED
- NEW
- EXISTING DOOR TO REMAIN
- EXISTING DOOR TO BE DEMOLISHED

**GENERAL NOTES**

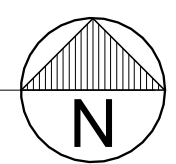
- REMOVE ALL EXISTING FLOOR FINISHES UNLESS NOTED OTHERWISE
- REMOVE ALL EXISTING SUSPENDED CEILING UNLESS NOTED OTHERWISE
- REMOVE DRYWALL BULKHEADS. GWB SHALL REMAIN ON UNDERSIDE OF TRUSSES.
- EXISTING ELECTRICAL WIRING AND OUTLETS TO BE REMOVED
- WHERE PLUMBING FIXTURES ARE REMOVED, ALSO REMOVE ACCOMPANYING SUPPLY AND DRAIN LINES.
- ALL EXISTING WINDOWS TO BE REMOVED, U.N.O. REFER A7.3 WHETHER OR NOT THE EXISTING OPENINGS ARE RE-USED
- MECHANICAL EQUIPMENT FROM 2020 OR LATER SHALL REMAIN. CONSULT WITH OWNER WHETHER EQUIPMENT TO BE RE-USED IN NEW DESIGN. MECHANICAL EQUIPMENT FROM BEFORE 2020 SHALL BE REMOVED

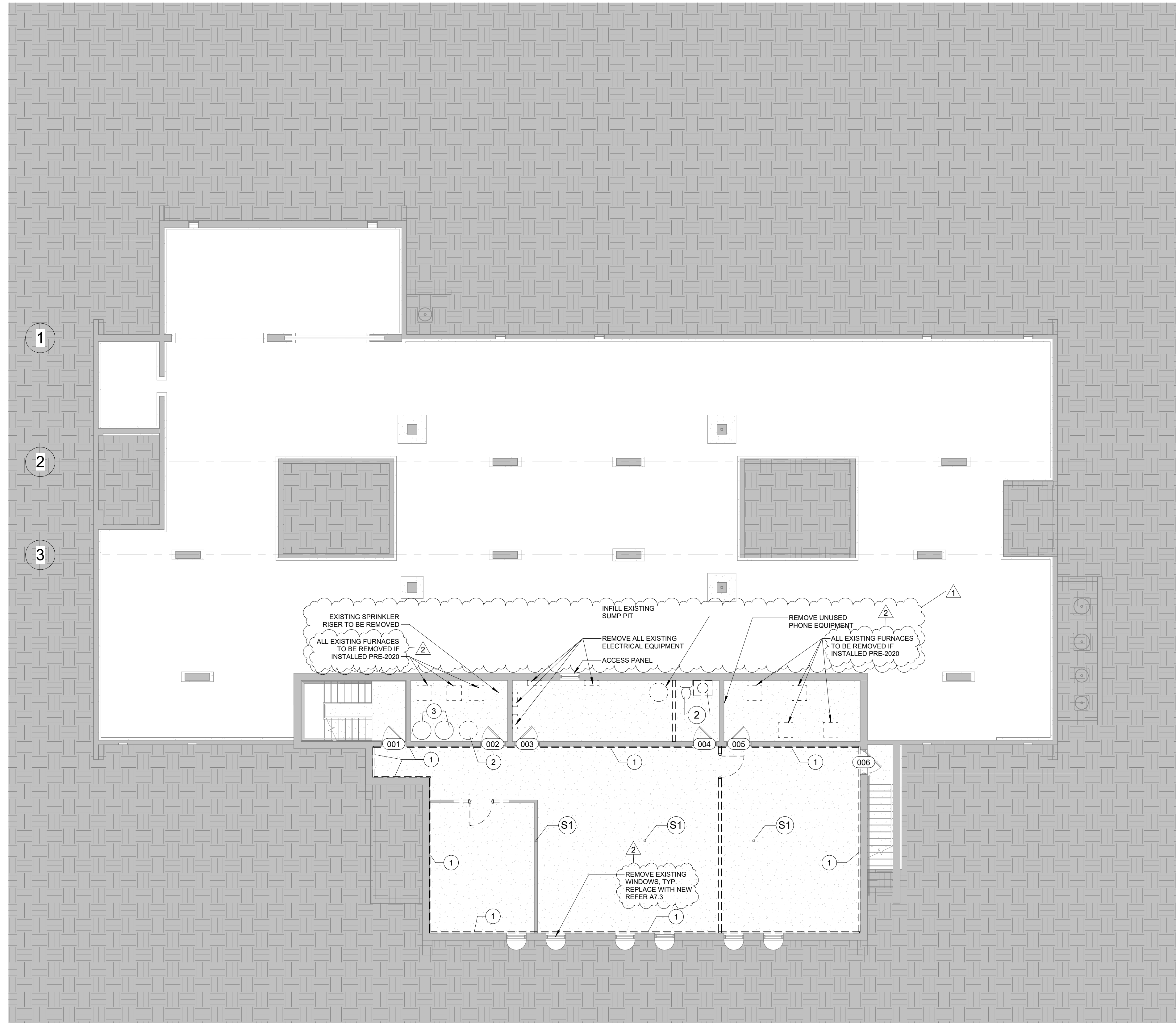
**CODED NOTES**

- S1 STRUCTURAL STEEL COLUMN TO REMAIN
- S2 STRUCTURAL WOOD STUDS SUPPORTING BEAM TO REMAIN
- S3 SALVAGE METAL LOCKERS TURN OVER TO OWNER
- 1 EXISTING FINISH FLOOR TO REMAIN
- 2 REMOVE MOUNTING FOR OLD MEDICAL EQUIPMENT
- 3 EXISTING SKYLIGHT TO REMAIN
- 4 EXISTING SKYLIGHT TO BE REMOVED
- 5 EXISTING CEILING LIGHT AND ACCOMPANYING FRAMING TO BE REMOVED
- 6 EXISTING DRYWALL CEILING TO BE REMOVED
- 7 REMOVE EXISTING FLOOR FRAMING (IN SHADED AREA) FOR NEW STAIR
- 8 REMOVE GLASS WALL AND WOOD SILL
- 9 REMOVE EXISTING PLUMBING FIXTURE AND PLUMBING LINES
- 10 PLUMBING FIXTURE TO REMAIN
- 11 REMOVE ALL FOLIAGE, PLANTERS, AND REFUSE FROM OUTDOOR ATRIUM
- W1 EXISTING WINDOW REMOVED NEW WINDOW IN EXISTING OPENING. REFER A7.3
- W2 EXISTING WINDOW REMOVED INFILL TO MATCH ADJACENT WALL

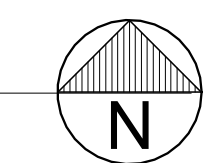


**1 Level 1 Demolition Plan**  
SCALE: 1/8" = 1'-0"





**1** Basement Demolition Plan  
SCALE: 1/8" = 1'-0"



**DEMO LEGEND**

- EXISTING TO REMAIN
- EXISTING TO BE DEMOLISHED
- NEW
- EXISTING DOOR TO REMAIN
- EXISTING DOOR TO BE DEMOLISHED

**GENERAL NOTES**

REMOVE ALL EXISTING FLOOR FINISHES UNLESS NOTED OTHERWISE

REMOVE ALL EXISTING SUSPENDED CEILINGS UNLESS NOTED OTHERWISE

REMOVE DRYWALL BULKHEADS. GWB SHALL REMAIN ON UNDERSIDE OF TRUSSES.

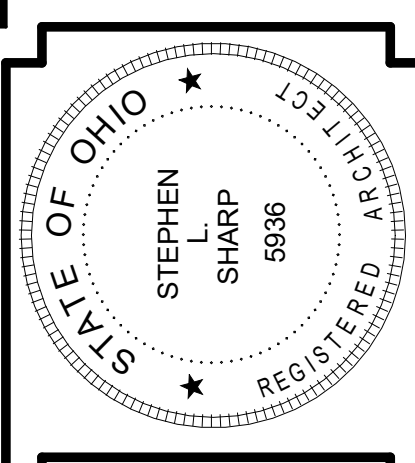
EXISTING ELECTRICAL WIRING AND OUTLETS TO BE REMOVED

WHERE PLUMBING FIXTURES ARE REMOVED, ALSO REMOVE ACCOMPANYING SUPPLY AND DRAIN LINES.

MECHANICAL EQUIPMENT FROM 2020 OR LATER SHALL REMAIN. CONSULT WITH OWNER WHETHER EQUIPMENT TO BE RE-USED IN NEW DESIGN. MECHANICAL EQUIPMENT FROM BEFORE 2020 SHALL BE REMOVED

**CODED NOTES**

- S1** STRUCTURAL STEEL COLUMN TO REMAIN
- S2** STRUCTURAL WOOD STUDS SUPPORTING BEAM TO REMAIN
- 1** REMOVE EXISTING DRYWALL, WOOD FURRING TO REMAIN
- 2** REMOVE EXISTING PLUMBING FIXTURE AND PLUMBING LINES
- 3** PLUMBING FIXTURE TO REMAIN



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Heart House Renovation  
FOR  
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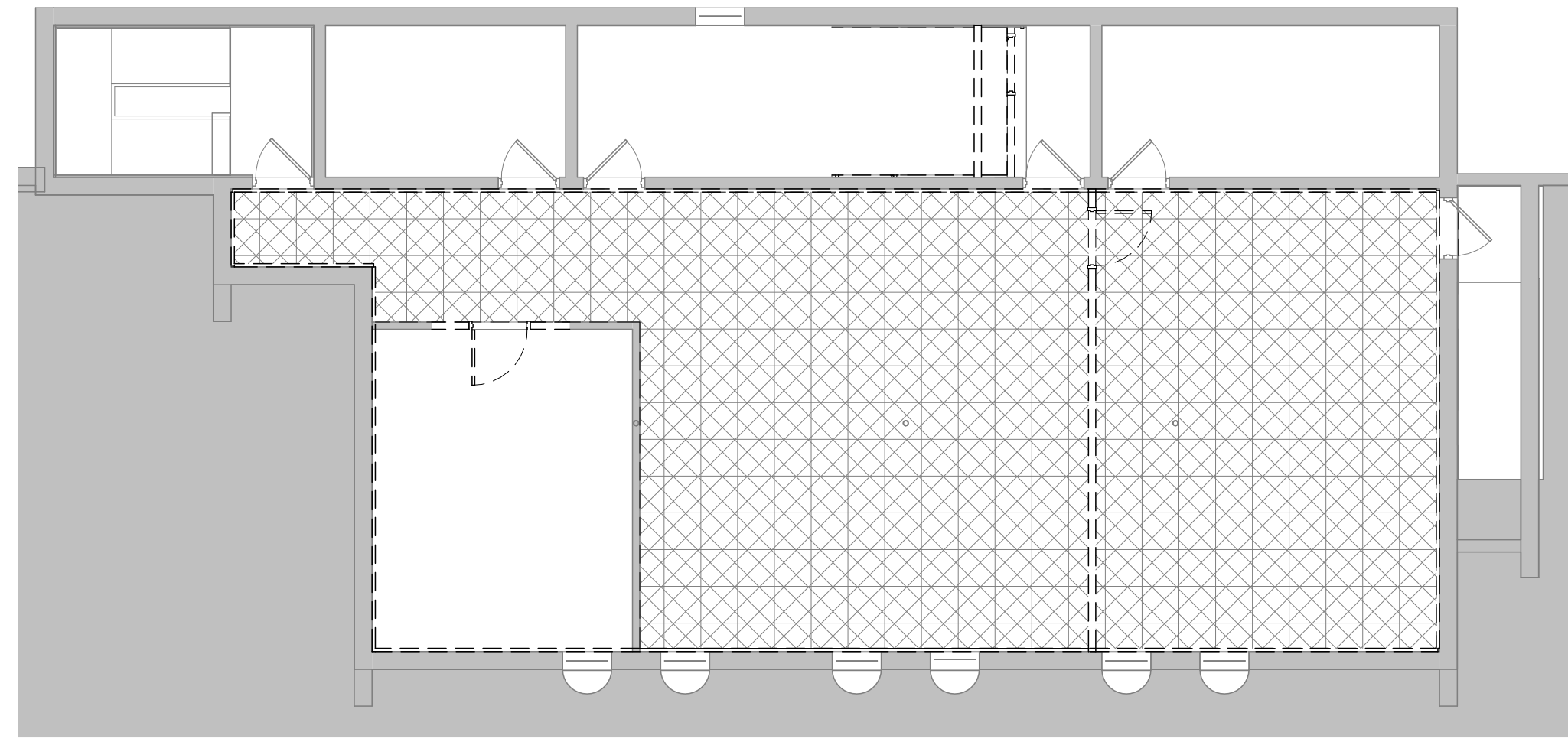
BASEMENT DEMOLITION PLAN

JOB NO: 2322

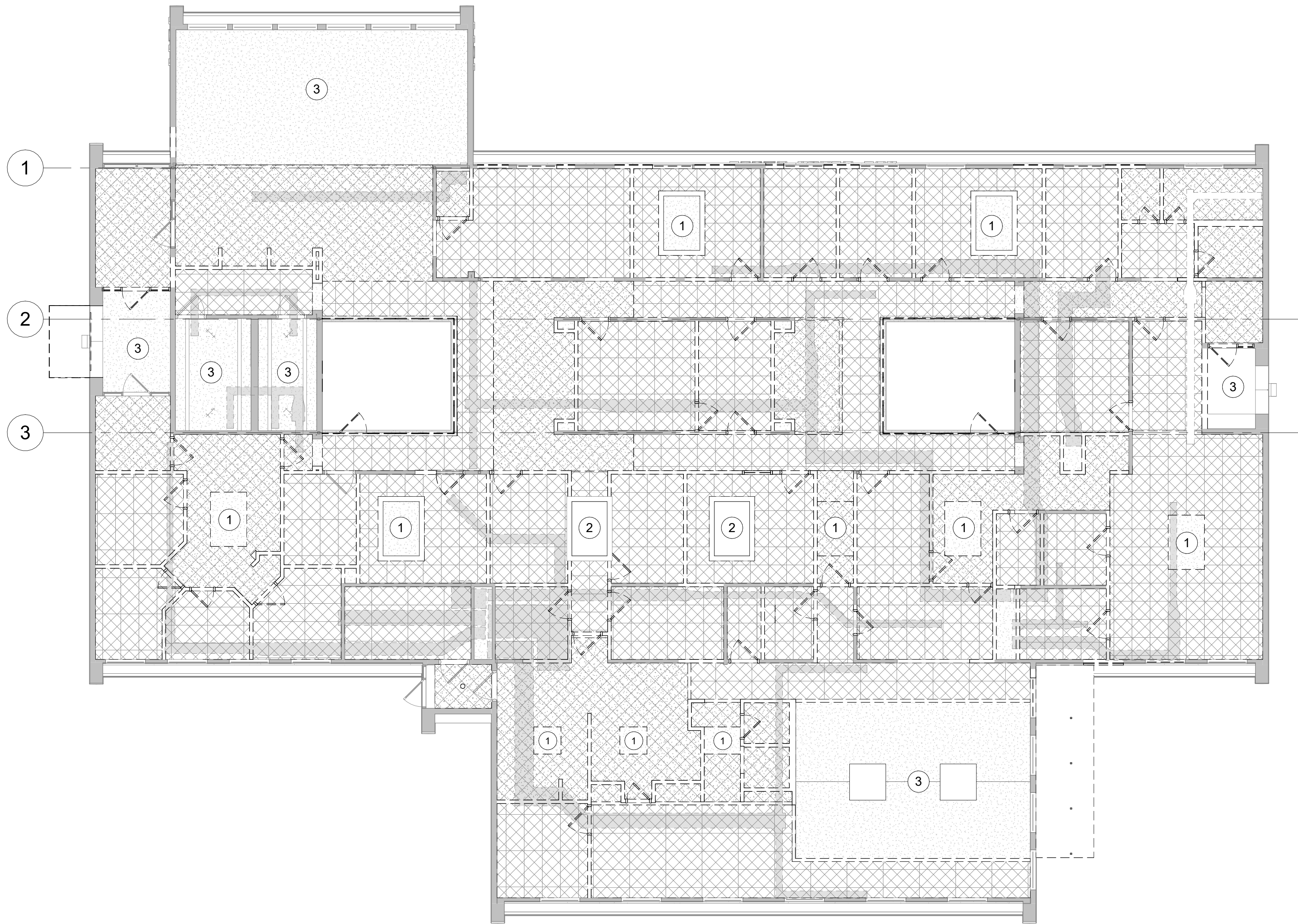
DRAWN BY: CG  
CHECKED BY: SLS  
Construction Documents

**D1.2**

DATE 2024-04-04  
PRINT DATE: 4/25/2024 4:20:57 PM



**2** Basement Demo  
SCALE: 1/8" = 1'-0"

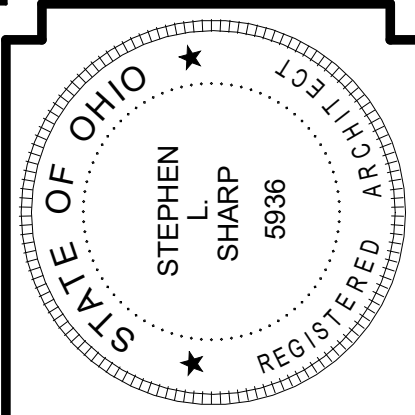


**1** Level 1 Demo  
SCALE: 1/8" = 1'-0"

**LEGEND**

- EXISTING CEILINGS TO BE REMOVED
- EXISTING DUCTWORK TO BE REMOVED, TYPICAL
- 1** LIGHTWELL FRAMING AND DRYWALL MAY REMAIN REMOVE AS NEEDED FOR INSTALLATION OF NEW CEILING AND MEP WORK
- 2** LIGHTWELL FRAMING AND DRYWALL SHALL REMAIN FULLY INTACT FOR NEW LIGHTWELL
- 3** EXISTING DRYWALL CEILING MAY REMAIN REMOVE AS NEEDED FOR INSTALLATION OF FIRE SUPPRESSION SYSTEM

SHEET ADDED TO THE SET



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2	04/25/2024 ADDENDUM 2
3	

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Heart House Renovation  
FOR  
McKinley Hall  
1911 East High Street Springfield Ohio  
DEMOLITION PLAN CEILING

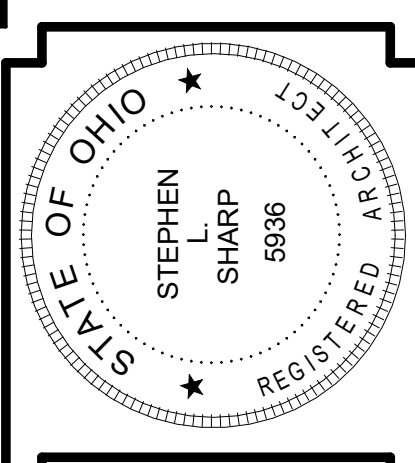
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Construction Documents

**D2.1**

DATE: 2024-04-04  
PRINT DATE: 4/25/2024 3:14:07 PM





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REVISIONS			
NO.	DATE	DESCRIPTION	SUBMITTED FOR BID/PERMIT
1	04/25/2024	ADDENDUM 2	
2	04/25/2024	ADDENDUM 2	

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Heart House Renovation  
FOR  
McKinley Hall  
1911 East High Street Springfield Ohio

SITE PLAN

JOB NO: 2322

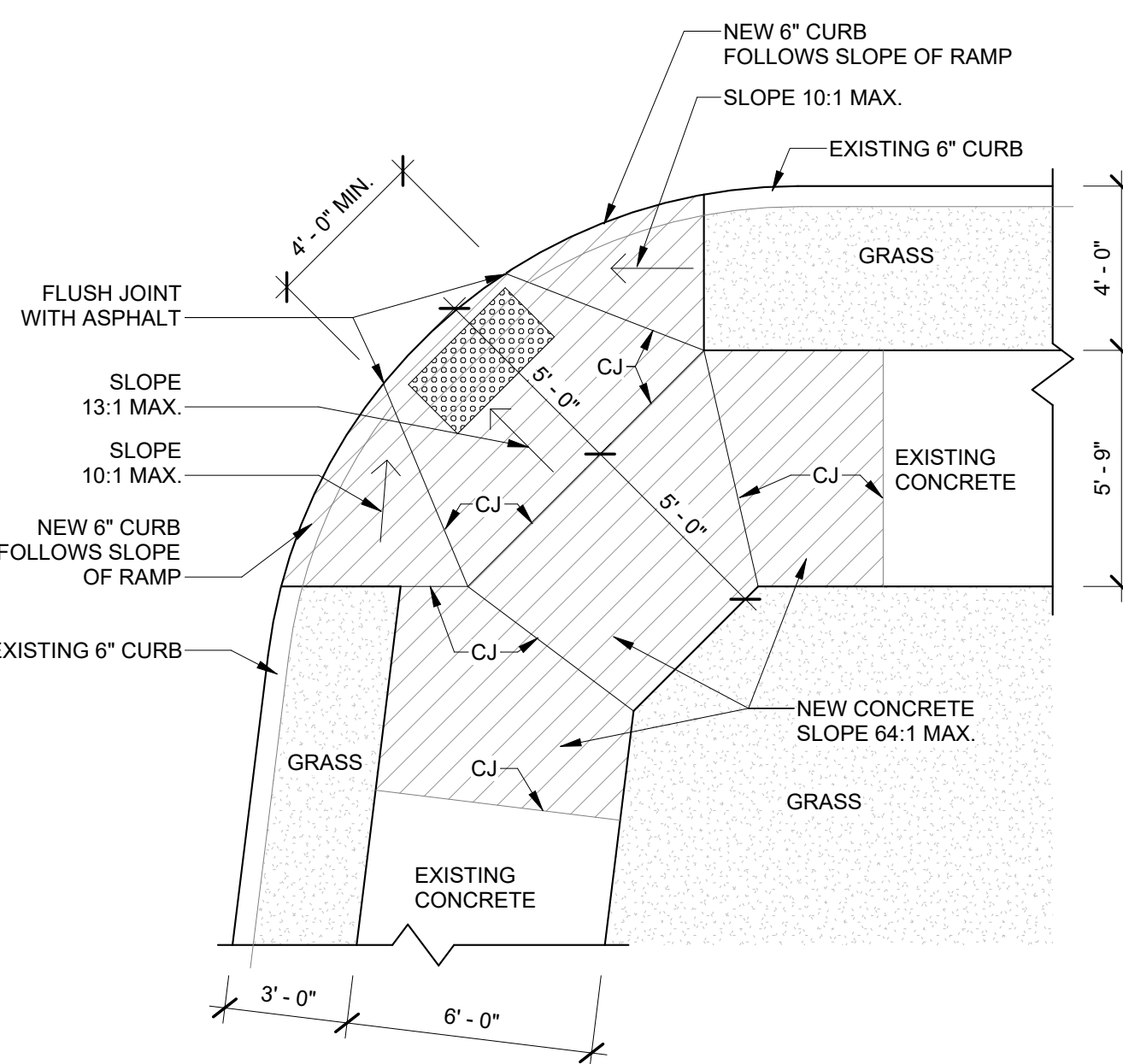
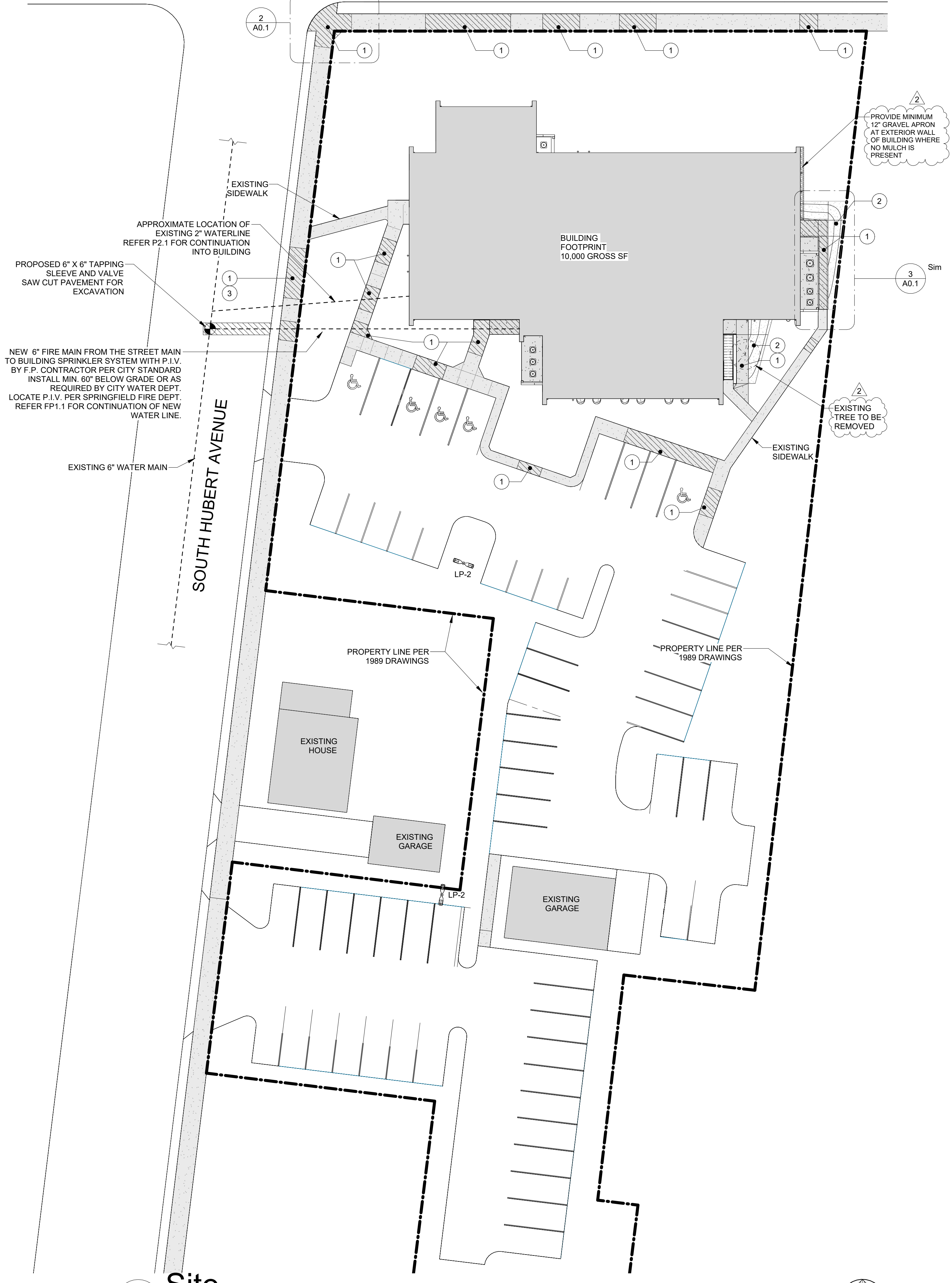
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CHECKED BY: SLS  
Construction Documents

**A0.1**  
DATE: 2024-04-04  
PRINT DATE: 4/25/2024 3:37:49 PM

HIGH STREET

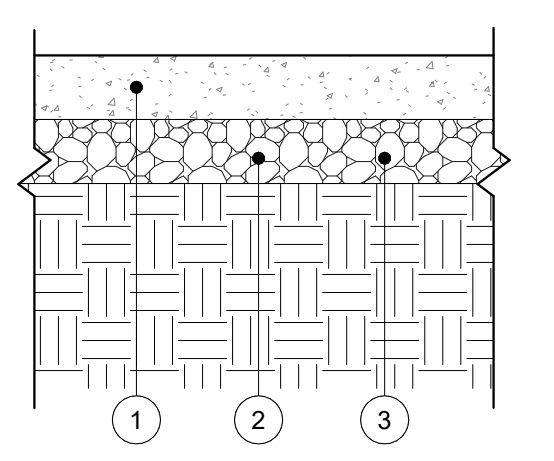
SITE PLAN LEGEND

- EXISTING SIDEWALK
- REMOVE EXISTING UNEVEN OR DAMAGED CONCRETE, REPLACE WITH NEW CONCRETE APPROX 1,140 SF
- ① INSTALL NEW 4" CONCRETE WITH 6X6 1.4 X 1.4 WWF OVER 304 GRAVEL
- ② SLOPE GROUND UP TO NEW RAMPED SIDEWALK
- ③ REMOVE ROOTS BELOW SIDEWALK
- LP2 LIGHT POLE WITH 2 LIGHTS

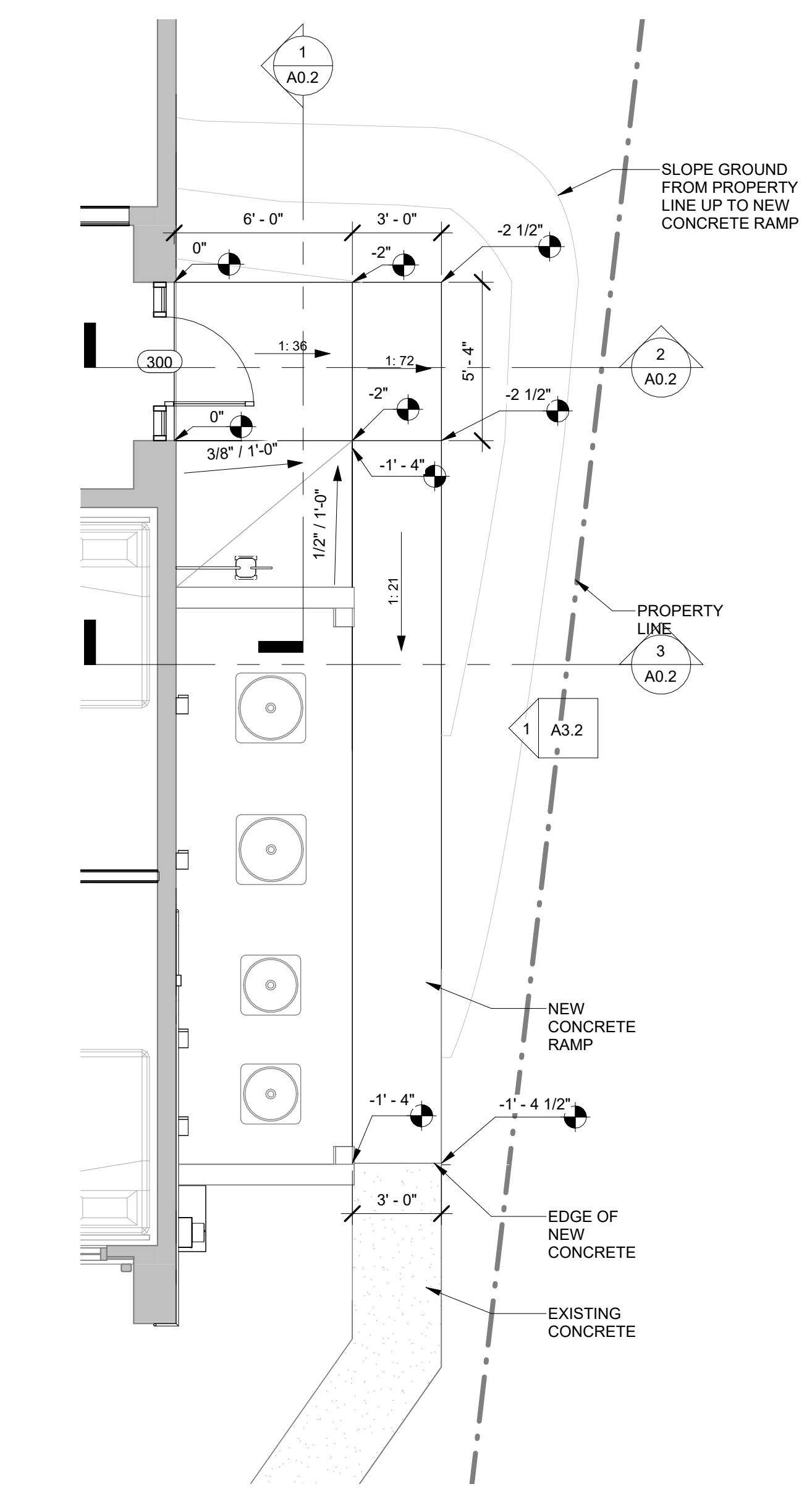


② Street Corner Detail  
1/4" = 1'-0"

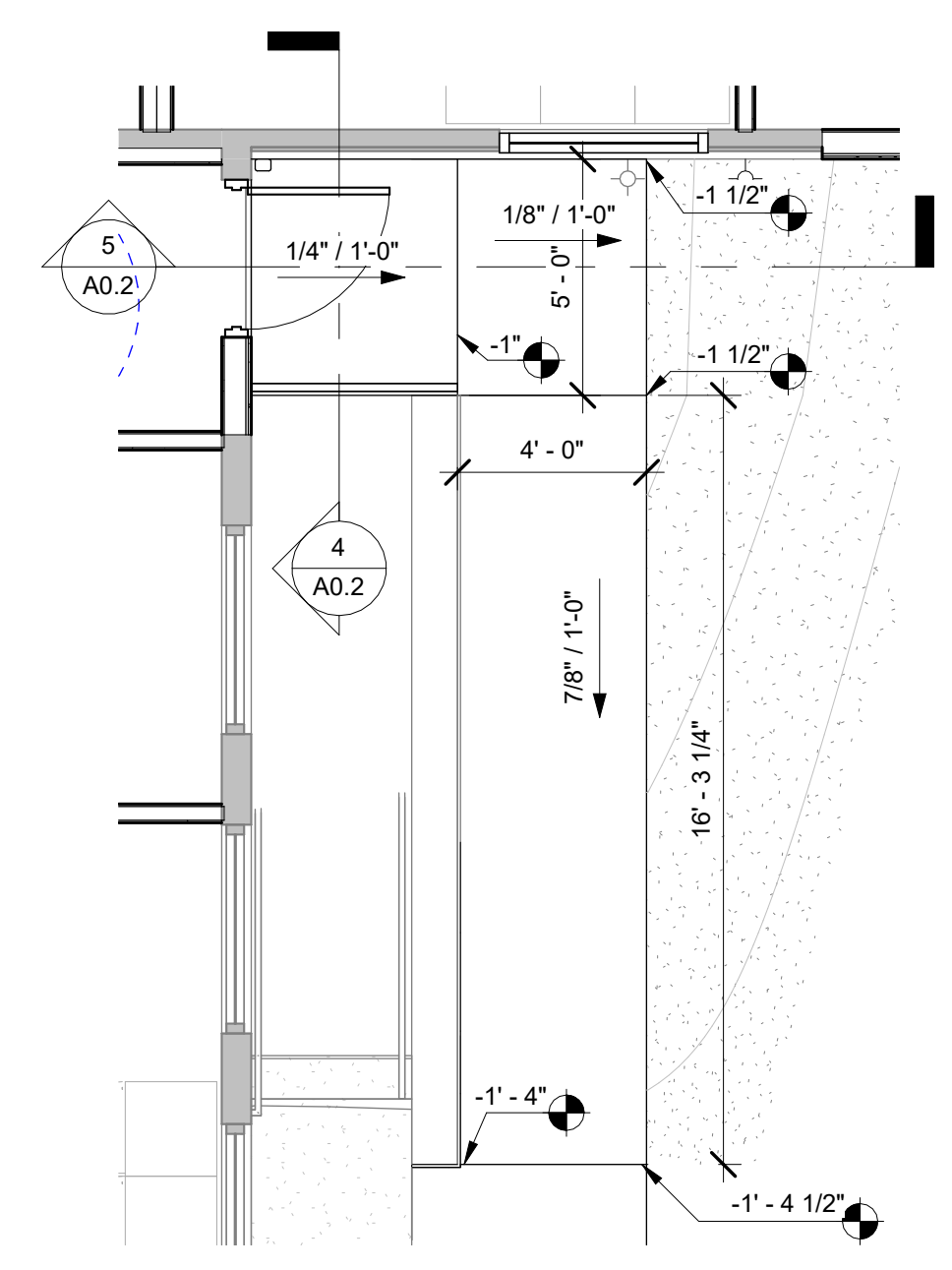
SIDEWALK SECTION



- ① 4" OF PLAIN PORTLAND CEMENT CONCRETE PAVEMENT, ITEM 452
- ② 4" OF AGGREGATE BASE, ITEM 304
- ③ COMPACTED SUBGRADE, ITEM 204

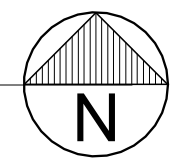


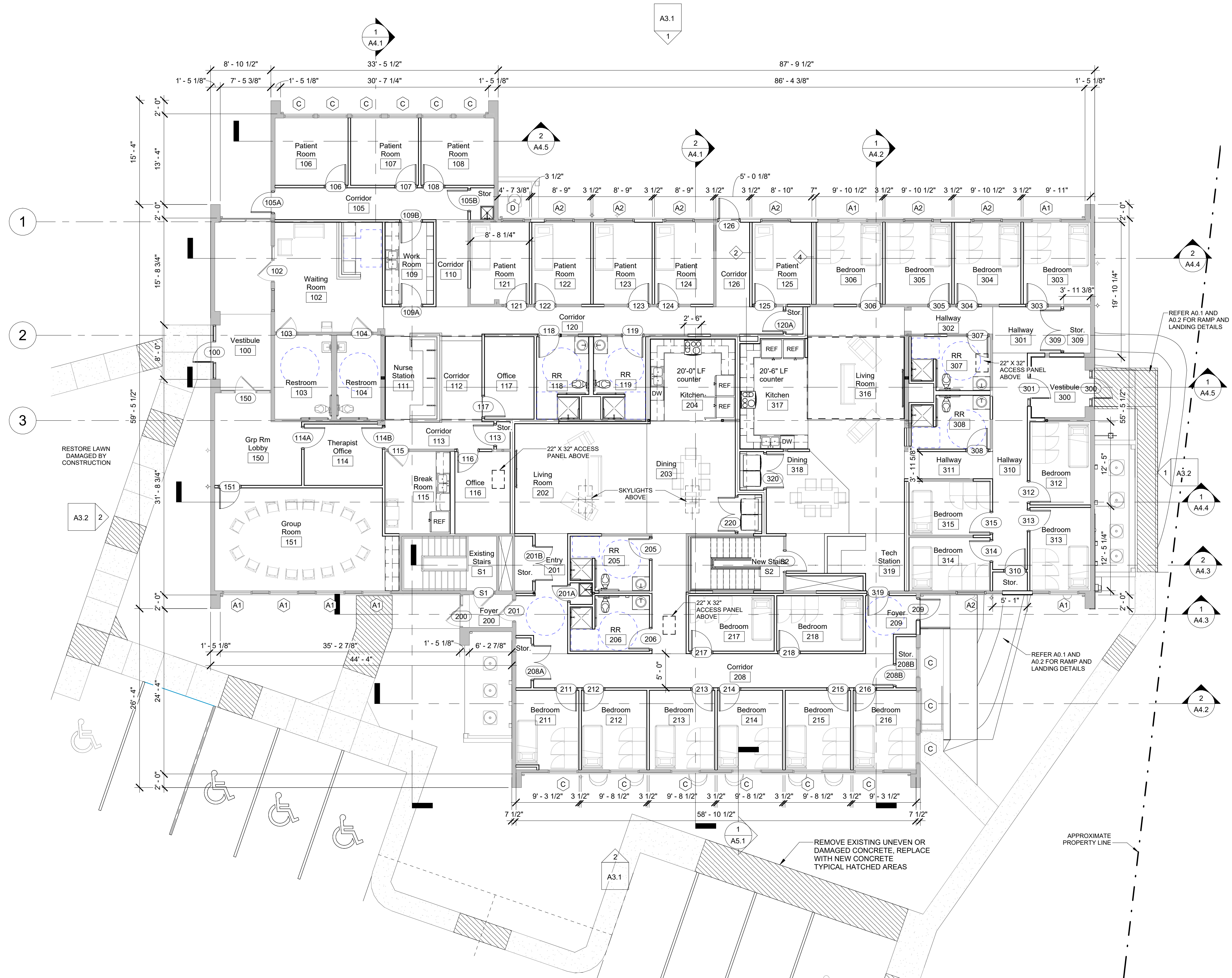
③ East Exit Ramp 1  
1/4" = 1'-0"



⑤ East Exit Ramp 2  
1/4" = 1'-0"

① Site  
SCALE: 1" = 20'-0"



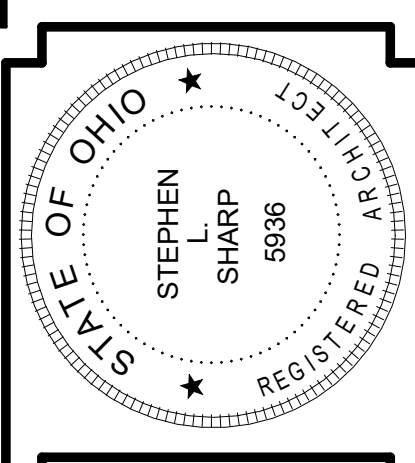


**WALL TYPE LEGEND**

REFER SHEETS A1.2 THROUGH A1.4 FOR WALL TYPES

WINDOW TYPES REFER A7.3

DOOR TYPES REFER A7.2



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REVISIONS	
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1	SUBMITTED FOR BID PERMIT
2	ADDENDUM 2

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Heart House Renovation  
FOR  
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FIRST FLOOR PLAN

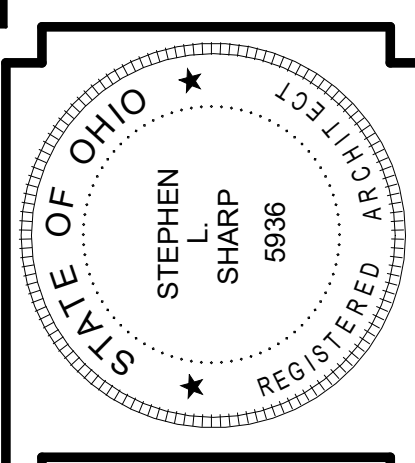
**1 Level 1 New**  
SCALE: 1/8" = 1'-0"

JOB NO: 2322

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Construction Documents

**A1.1**

DATE: 2024-04-04



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Heart House Renovation  
FOR  
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1911 East High Street Springfield Ohio  
FLOOR PLAN CLINIC

JOB NO: 2322

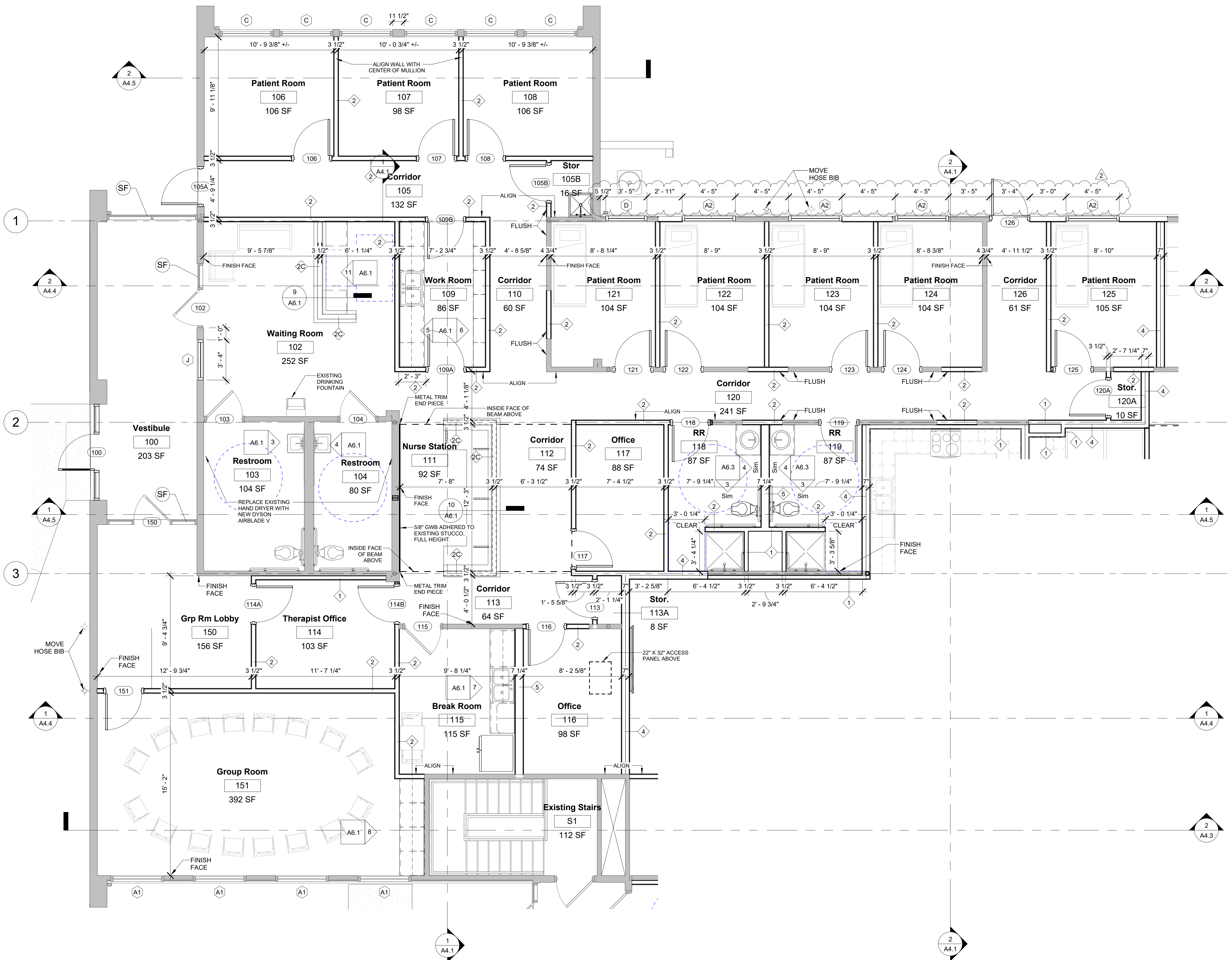
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CHECKED BY: SLS  
Construction Documents

**A1.2**

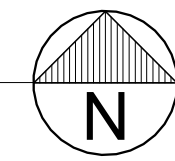
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### WALL TYPE LEGEND

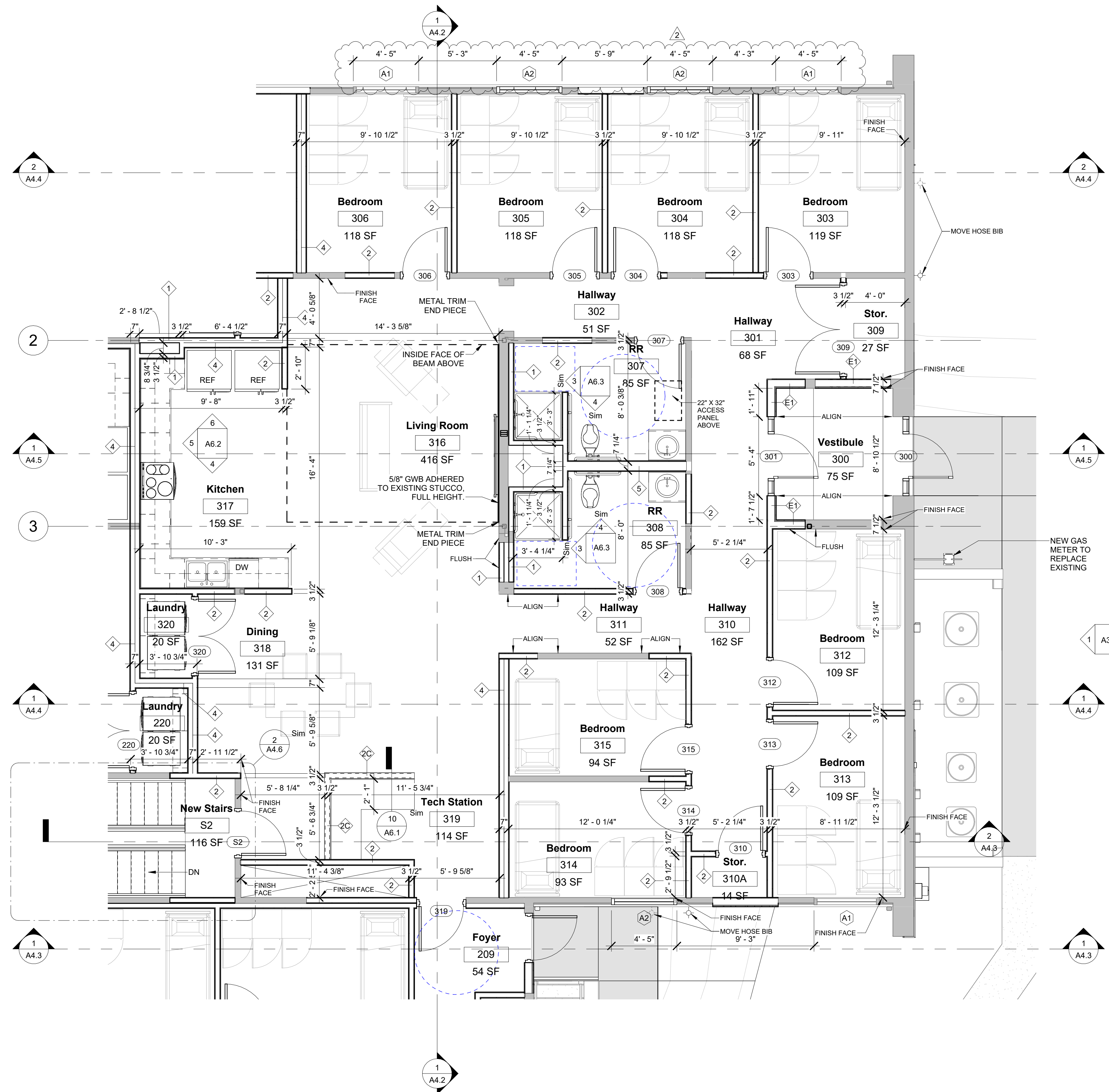
- DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE.
- EXISTING WALLS TO REMAIN
  - \* COLD FORMED METAL STUDS, MINIMUM 20 GAUGE, MAY BE USED IN LIEU OF WOOD STUDS
  - 1 3/4" WOOD STUDS WITH 5/8" GWB ON ONE SIDE. STUDS AND GWB EXTEND FROM SUBFLOOR TO GWB ON UNDERSIDE OF TRUSSES.
  - 2 3/4" WOOD STUDS WITH 5/8" GWB ON BOTH SIDES. PROVIDE SOUND BATT INSULATION IN WALLS. STUDS AND GWB EXTEND FROM SUBFLOOR TO GWB ON UNDERSIDE OF TRUSSES.
  - 3 3/4" WOOD STUDS WITH 5/8" GWB ON BOTH SIDES. STUDS TO EXTEND TO 42" A.F.F. U.N.O.
  - 5 1/2" WOOD STUDS WITH 5/8" GWB ON BOTH SIDES. PROVIDE SOUND BATT INSULATION IN WALLS. STUDS AND GWB EXTEND FROM SUBFLOOR TO GWB ON UNDERSIDE OF TRUSSES.
  - (2) 3 1/2" WOOD STUDS STAGGERED WITH 5/8" GWB ON BOTH SIDES. PROVIDE SOUND BATT INSULATION IN WALLS. STUDS AND GWB EXTEND FROM SUBFLOOR TO GWB ON UNDERSIDE OF TRUSSES.
  - 7/4" WOOD STUDS WITH 5/8" GWB ON BOTH SIDES. PROVIDE SOUND BATT INSULATION IN WALLS. STUDS AND GWB EXTEND FROM SUBFLOOR TO GWB ON UNDERSIDE OF TRUSSES.
  - 1 1/2" WOOD STUD FURRING WITH 5/8" GWB ON ONE SIDE. TYPICAL STUD LENGTH OF 92 5/8" R-11 INSULATION.
  - 3/4" STUCCO AND 5/8" PLYWOOD ON 2X6 STUDS @ 16" O.C.
  - SF EXISTING STOREFRONT GLAZING. REPAIR IF NECESSARY TO ASSURE WATER AND AIR TIGHTNESS. REPLACE IN KIND IF BEYOND REPAIR.
  - 11 WINDOW TYPES REFER A7.3
  - 101 DOOR TYPES REFER A7.2



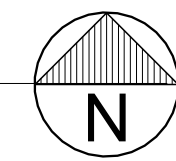
**1 Enlarged Plan Clinic**  
SCALE: 1/4" = 1'-0"





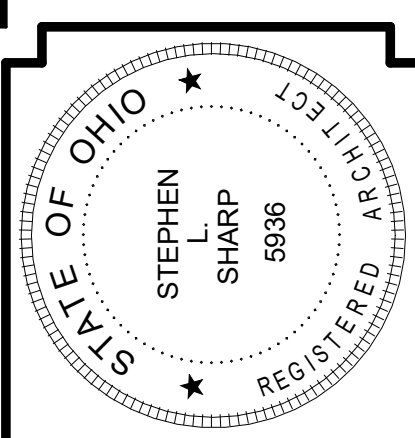


**1** Enlarged Plan House 1  
SCALE: 1/4" = 1'-0"



**WALL TYPE LEGEND**

- DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE.
- EXISTING WALLS TO REMAIN
  - \* COLD FORMED METAL STUDS, MINIMUM 20 GAUGE, MAY BE USED IN LIEU OF WOOD STUDS
  - 1 3/4" WOOD STUDS WITH 5/8" GWB ON ONE SIDE. STUDS AND GWB EXTEND FROM SUBFLOOR TO GWB ON UNDERSIDE OF TRUSSES
  - 2 3/4" WOOD STUDS WITH 5/8" GWB ON BOTH SIDES. PROVIDE SOUND BATT INSULATION IN WALLS. STUDS AND GWB EXTEND FROM SUBFLOOR TO GWB ON UNDERSIDE OF TRUSSES
  - 3 3/4" WOOD STUDS WITH 5/8" GWB ON BOTH SIDES. STUDS TO EXTEND TO 42" A.F.F. U.N.O.
  - 5 1/2" WOOD STUDS WITH 5/8" GWB ON BOTH SIDES. PROVIDE SOUND BATT INSULATION IN WALLS. STUDS AND GWB EXTEND FROM SUBFLOOR TO GWB ON UNDERSIDE OF TRUSSES
  - (2) 3 1/2" WOOD STUDS STAGGERED WITH 5/8" GWB ON BOTH SIDES. PROVIDE SOUND BATT INSULATION IN WALLS. STUDS AND GWB EXTEND FROM SUBFLOOR TO GWB ON UNDERSIDE OF TRUSSES
  - 7 1/4" WOOD STUDS WITH 5/8" GWB ON BOTH SIDES. PROVIDE SOUND BATT INSULATION IN WALLS. STUDS AND GWB EXTEND FROM SUBFLOOR TO GWB ON UNDERSIDE OF TRUSSES
  - 1 1/2" WOOD STUD FURRING WITH 5/8" GWB ON ONE SIDE. TYPICAL STUD LENGTH OF 92 5/8" R-11 INSULATION.
  - 3/4" STUCCO AND 5/8" PLYWOOD ON 2X8 STUDS @ 16" O.C.
  - (SF) EXISTING STOREFRONT GLAZING. REPAIR IF NECESSARY TO ASSURE WATER AND AIR TIGHTNESS. REPLACE IN KIND IF BEYOND REPAIR.
  - (11) WINDOW TYPES REFER A7.3
  - (101) DOOR TYPES REFER A7.2



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ARCHITECTURE

SPRINGFIELD OFFICE  
14 EAST MAIN STREET, SUITE 201  
SPRINGFIELD, OHIO 45502

P: (937)323-4300  
F: (937)322-8142

Heart House Renovation  
FOR  
McKinley Hall  
1911 East High Street Springfield Ohio

FLOOR PLAN DWELLING UNIT 1

JOB NO: 2322

DRAWN BY: CG  
CHECKED BY: SLS  
Construction Documents

**A1.3**

DATE 2024-04-04

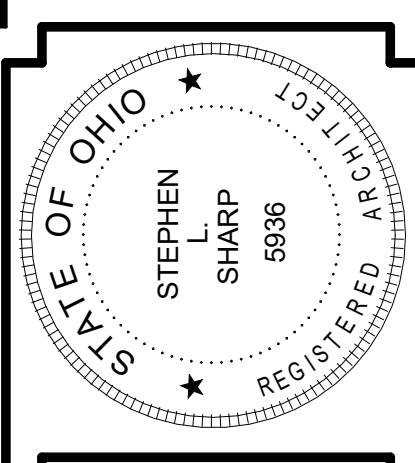


### WALL TYPE LEGEND

DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE.

EXISTING WALLS TO REMAIN	
	COLD FORMED METAL STUDS, MINIMUM 20 GAUGE, MAY BE USED IN LIEU OF WOOD STUDS
	3/4" WOOD STUDS WITH 5/8" GWB ON ONE SIDE. STUDS AND GWB EXTEND FROM SUBFLOOR TO GWB ON UNDERSIDE OF TRUSSES
	3/4" WOOD STUDS WITH 5/8" GWB ON BOTH SIDES. PROVIDE SOUND BATT INSULATION IN WALLS. STUDS AND GWB EXTEND FROM SUBFLOOR TO GWB ON UNDERSIDE OF TRUSSES
	3/4" WOOD STUDS WITH 5/8" GWB ON BOTH SIDES. STUDS TO EXTEND TO 42" A.F.F. U.N.O.
	5/8" WOOD STUDS WITH 5/8" GWB ON BOTH SIDES. PROVIDE SOUND BATT INSULATION IN WALLS. STUDS AND GWB EXTEND FROM SUBFLOOR TO GWB ON UNDERSIDE OF TRUSSES
	(2) 3/4" WOOD STUDS STAGGERED WITH 5/8" GWB ON BOTH SIDES. PROVIDE SOUND BATT INSULATION IN WALLS. STUDS AND GWB EXTEND FROM SUBFLOOR TO GWB ON UNDERSIDE OF TRUSSES
	7/4" WOOD STUDS WITH 5/8" GWB ON BOTH SIDES. PROVIDE SOUND BATT INSULATION IN WALLS. STUDS AND GWB EXTEND FROM SUBFLOOR TO GWB ON UNDERSIDE OF TRUSSES
	1 1/2" WOOD STUD FURRING WITH 5/8" GWB ON ONE SIDE. TYPICAL STUD LENGTH OF 92 5/8" R-11 INSULATION.
	3/4" STUCCO AND 5/8" PLYWOOD ON 2X6 STUDS @ 16" O.C.
	EXISTING STOREFRONT GLAZING. REPAIR IF NECESSARY TO ASSURE WATER AND AIR TIGHTNESS. REPLACE IN KIND IF BEYOND REPAIR.
	WINDOW TYPES REFER A7.3
	DOOR TYPES REFER A7.2

**1** Enlarged Plan House 2  
SCALE: 1/4" = 1'-0"



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REVISIONS	
NO.	DESCRIPTION
1	04/04/2024 SUBMITTED FOR BID PERMIT
2	04/25/2024 ADDENDUM 2

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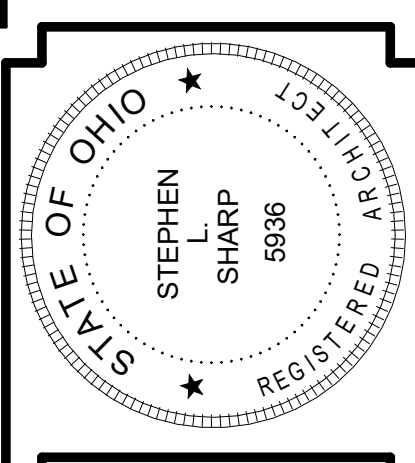
FLOOR PLAN DWELLING UNIT 2

JOB NO: 2322

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**A1.4**

DATE 2024-04-04



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REVISIONS	
NO.	DATE
1	04/26/2024
2	04/26/2024

NO.	DATE	DESCRIPTION FOR BID/PERMIT	ADDENDUM #
1	04/26/2024	SUBMITTED FOR BID/PERMIT	
2	04/26/2024	ADDENDUM 2	

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Heart House Renovation  
FOR  
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EXTERIOR ELEVATIONS

JOB NO: 2322

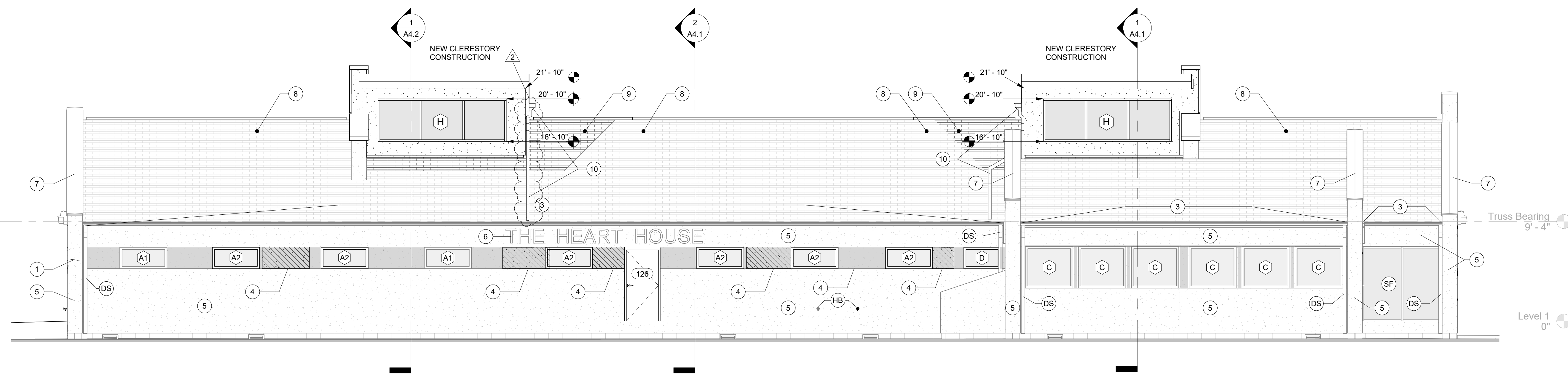
DRAWN BY: CG  
CHECKED BY: SLS  
Construction Documents

**A3.1**

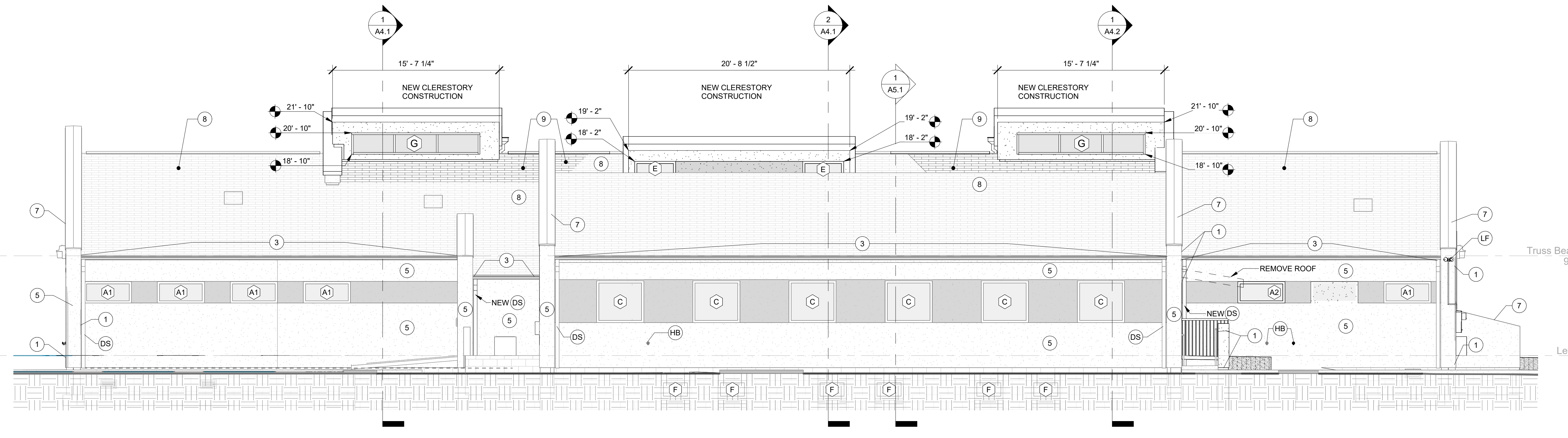
DATE 2024-04-04

**ELEVATION LEGEND**

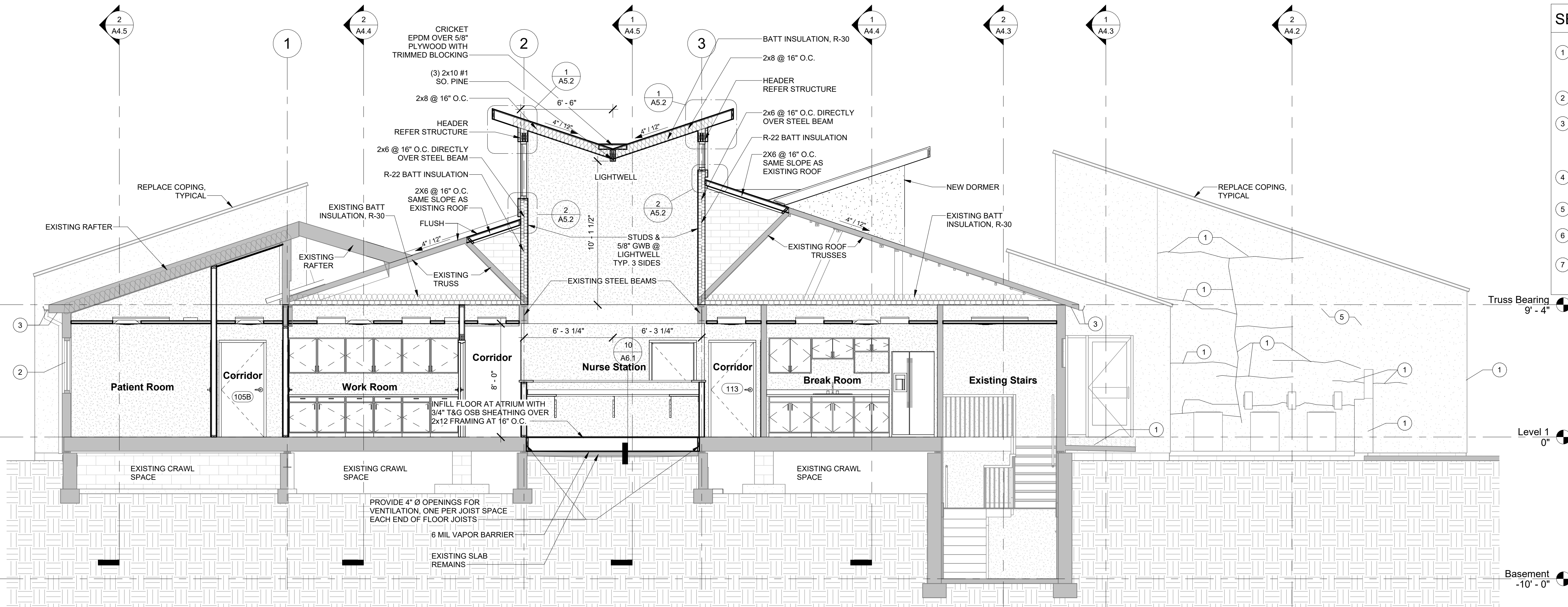
- 101 DOOR TAG  
REFER A7.2
- 11 WINDOW TAG  
REFER A7.3  
REPLACE EXISTING WINDOWS  
WITH NEW U.N.O.
- 1 CLEAN AND SMOOTH REPAIR  
CRACKED OR DAMAGED STUCCO  
PROVIDE FIBERGLASS  
REINFORCING MESH OVER  
CRACKS, 1" EACH SIDE, TYPICAL.
- 2 NOT USED
- 3 REPLACE EXISTING GUTTER AND  
FASCIA WITH NEW METAL.  
GUTTER AND NEW WOOD FASCIA  
WRAPPED IN METAL.  
VENTED SOFFIT TO REMAIN,  
REPLACE IN KIND IF DAMAGED.
- 4 INFILL WALL WHERE  
WINDOW WAS REMOVED  
MATCH ADJACENT WALL
- 5 POWERWASH, CLEAN  
AND RE-COAT STUCCO  
WITH EIFS TOP COAT  
MATCH EXISTING COLOR
- 6 EXISTING SIGNAGE TO REMAIN.  
CLEAN, REPAIR IF DAMAGED
- 7 REMOVE EXISTING COPING.  
NEW SNAP LOCK PAINTED  
STAINLESS STEEL COPING, SET  
ON NEW WATERPROOF EPDM  
MEMBRANE UNDER COPING.  
REFER 3/A5.1
- 8 EXISTING ASPHALT SHINGLES  
TO REMAIN
- 9 NEW ASPHALT SHINGLES  
MATCH EXISTING  
OVERLAY WITH ADJACENT  
EXISTING SHINGLES TO  
PREVENT WATER INFILTRATION
- 10 NEW SCUPPER AND 4 x 3  
DOWNSPOUT  
MATCH EXISTING GUTTER  
MATERIAL  
DOWNSPOUT TO EXTEND TO  
EXISTING GUTTER ON NORTH  
FACADE
- △ ELECTRICAL EQUIPMENT
- SF EXISTING STOREFRONT  
GLAZING, REPAIR IF  
NECESSARY TO ASSURE  
WATER AND AIR  
TIGHTNESS.  
REPLACE IN KIND IF  
BEYOND REPAIR.
- LF EXISTING LIGHT FIXTURE  
TO BE REPLACED WITH  
NEW LED FIXTURE  
REFER ELECTRIC
- DS EXISTING DOWNSPOUT  
REPLACE WITH SIMILAR SIZE  
AND MATERIAL  
TIE INTO EXISTING DRAIN  
SYSTEM IF AVAILABLE  
OTHERWISE, PROVIDE  
CONCRETE SPLASH BLOCK
- HB MOVE EXISTING HOSE BIB (IN GRAY)  
TO NEW LOCATION (IN BLACK)  
BASED ON LOCATION OF NEW  
INTERIOR WALLS.  
REFER A1.2 THRU A1.3 FOR  
LOCATIONS. REPAIR STUCCO AT OLD  
HOSE BIB LOCATION



**1 NORTH ELEVATION**  
SCALE: 3/16" = 1'-0"

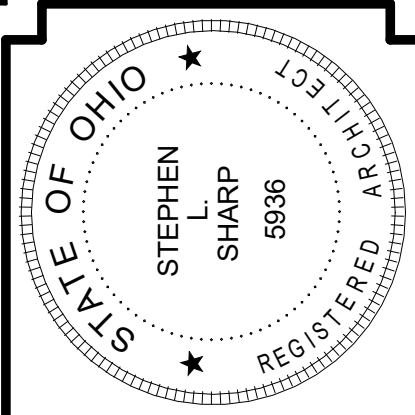


**2 SOUTH ELEVATION**  
SCALE: 3/16" = 1'-0"



**SECTION LEGEND**

- 1 CLEAN AND SMOOTH REPAIR CRACKED OR DAMAGED STUCCO PROVIDE FIBERGLASS REINFORCING MESH OVER CRACKS, 18" EACH SIDE, TYPICAL.
- 2 REPLACE EXISTING WINDOW WITH NEW
- 3 REPLACE EXISTING GUTTER AND FASCIA WITH NEW METAL GUTTER AND NEW WOOD FASCIA WRAPPED IN METAL. VENTED SOFFIT TO REMAIN. REPLACE IN KIND IF DAMAGED.
- 4 INFILL WALL WHERE WINDOW WAS REMOVED MATCH ADJACENT WALL
- 5 POWERWASH, CLEAN AND RE-COAT STUCCO WITH EIFS TOP COAT MATCH EXISTING COLOR
- 6 NOT USED
- 7 REMOVE EXISTING COPING. NEW SNAP-LOCK PAINTED STAINLESS STEEL COPING. SET ON NEW WATERPROOF EPDM MEMBRANE UNDER COPING. REFER 3/A5.1

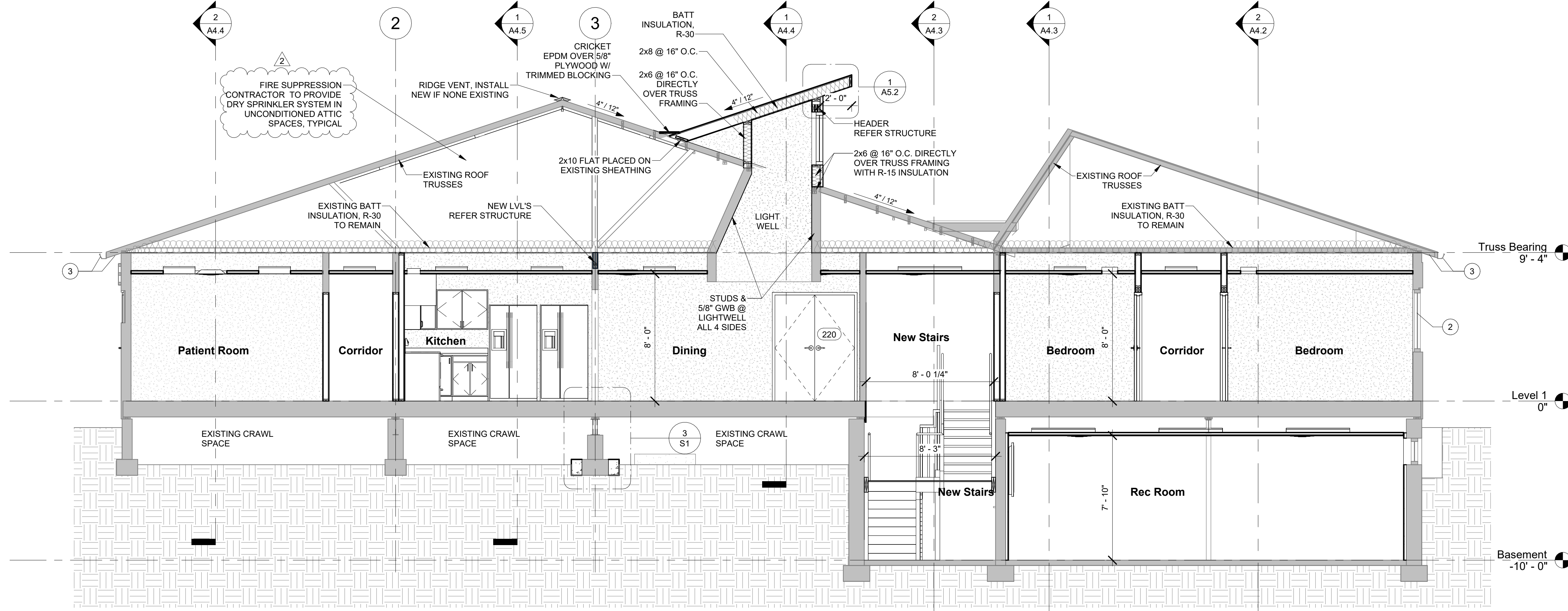


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1	DATE: 04/25/2024 SUBMITTED FOR BID PERMIT
2	DATE: 04/25/2024 ADDENDUM 2

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**1** Looking East 1  
SCALE: 1/4" = 1'-0"



**2** Looking East 2  
SCALE: 1/4" = 1'-0"

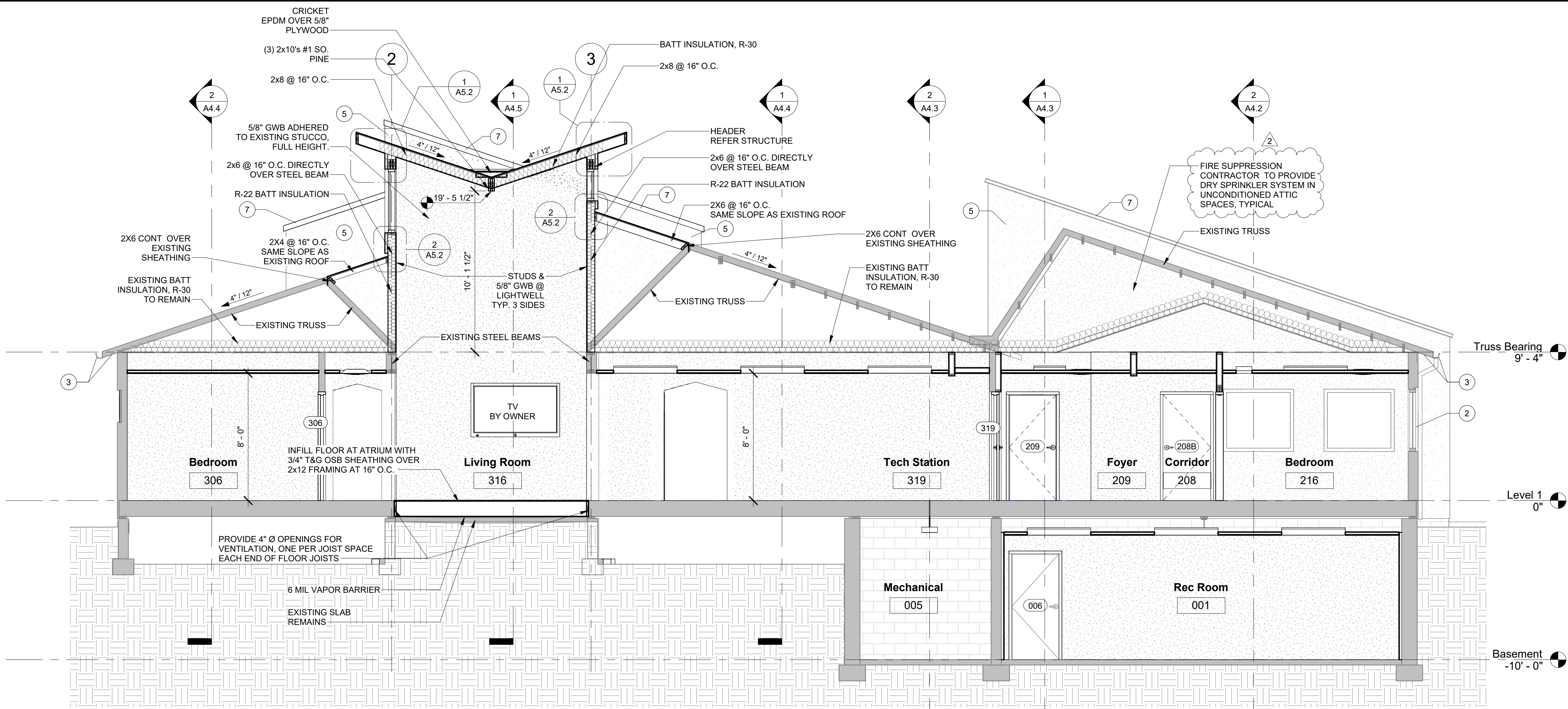
Heart House Renovation  
FOR  
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1911 East High Street Springfield Ohio  
BUILDING SECTIONS

JOB NO: 2322

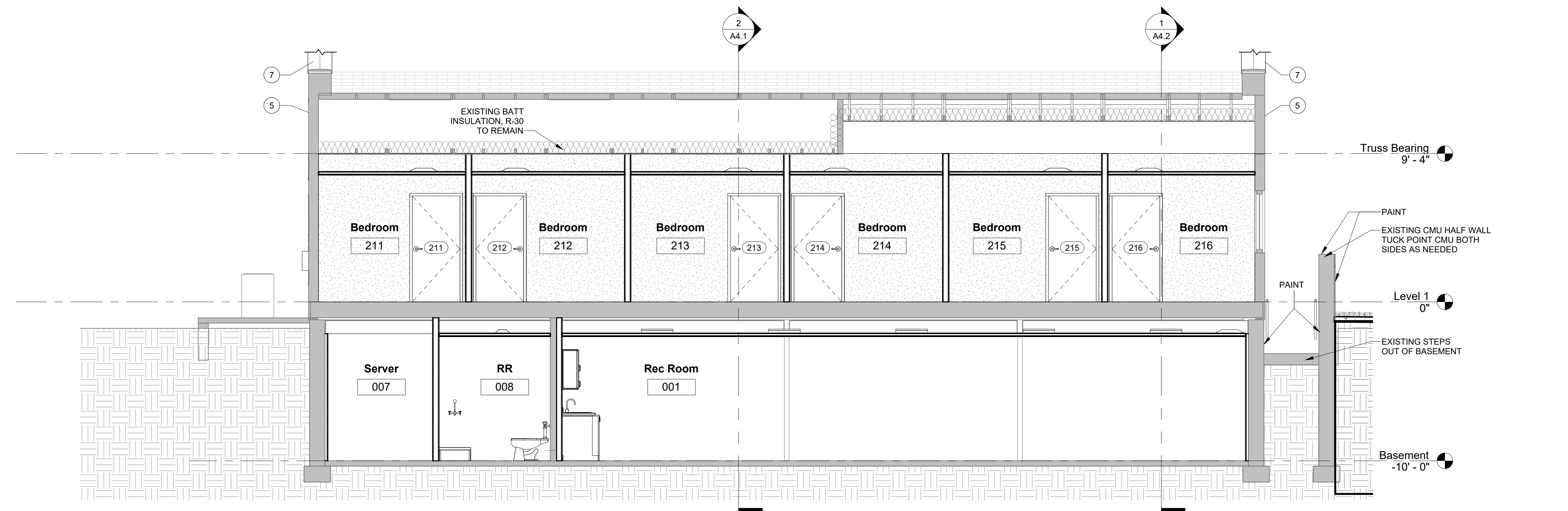
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CHECKED BY: SLS  
Construction Documents

**A4.1**

DATE: 2024-04-04  
PRINT DATE: 4/25/2024 3:38:09 PM



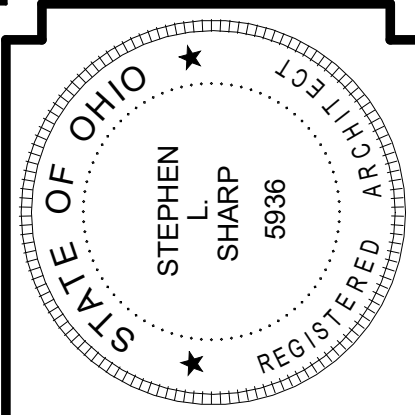
**1** Looking East 3  
SCALE: 1/4" = 1'-0"



**2** Looking North 1  
SCALE: 1/4" = 1'-0"

**SECTION LEGEND**

- 1 CLEAN AND SMOOTH REPAIR CRACKED OR DAMAGED STUCCO. PROVIDE FIBERGLASS REINFORCING MESH OVER CRACKS, 18" EACH SIDE, TYPICAL.
- 2 REPLACE EXISTING WINDOW WITH NEW
- 3 REPLACE EXISTING GUTTER AND FASCIA WITH NEW METAL GUTTER AND NEW WOOD FASCIA. WRAPPED IN METAL. VENTED SOFFIT TO REMAIN. REPLACE IN KIND IF DAMAGED.
- 4 INFILL WALL WHERE WINDOW WAS REMOVED. MATCH ADJACENT WALL.
- 5 POWERWASH, CLEAN AND RE-COAT STUCCO WITH EIFS TOP COAT. MATCH EXISTING COLOR.
- 6 NOT USED
- 7 REMOVE EXISTING COPING. NEW SNAP-LOCK PAINTED STAINLESS STEEL COPING. SET ON NEW WATERPROOF EPDM MEMBRANE UNDER COPING. REFER 3/A5.1



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2	04/26/2024	ADDENDUM 2

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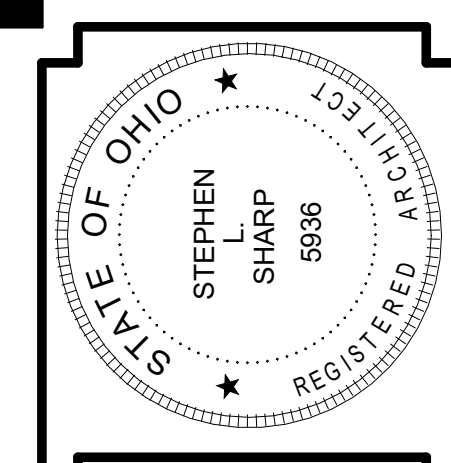
Heart House Renovation  
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JOB NO: 2322

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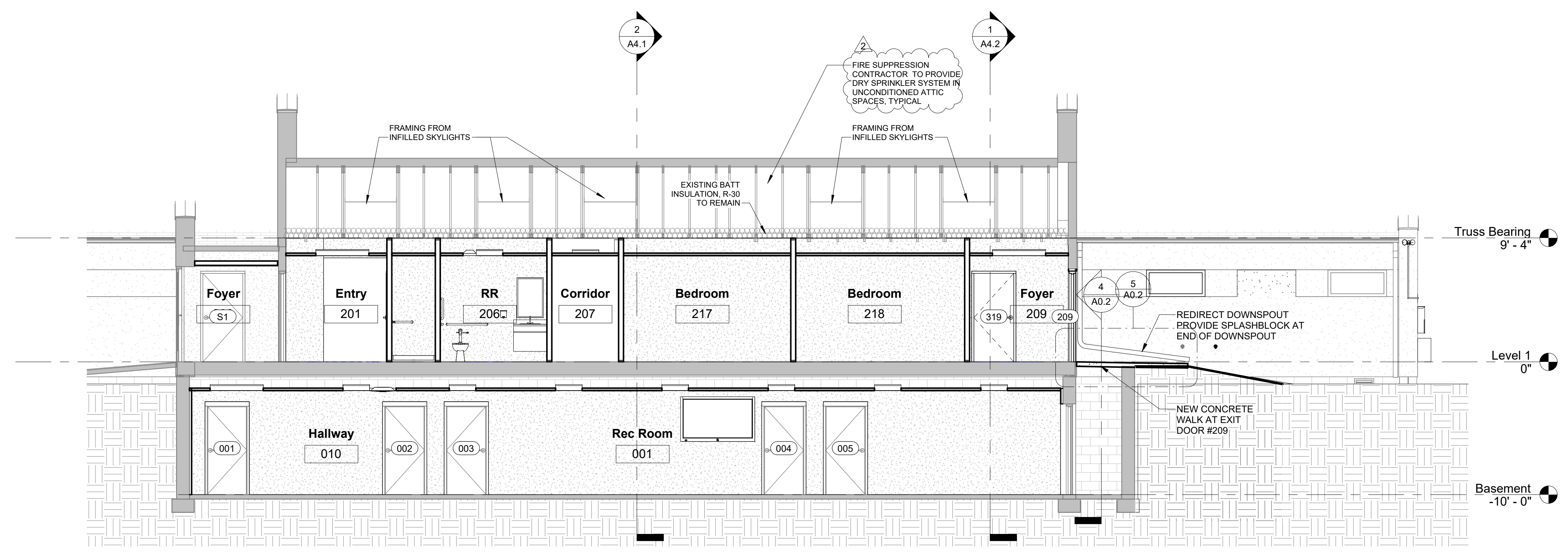
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PRINT DATE: 4/25/2024 3:38:11 PM

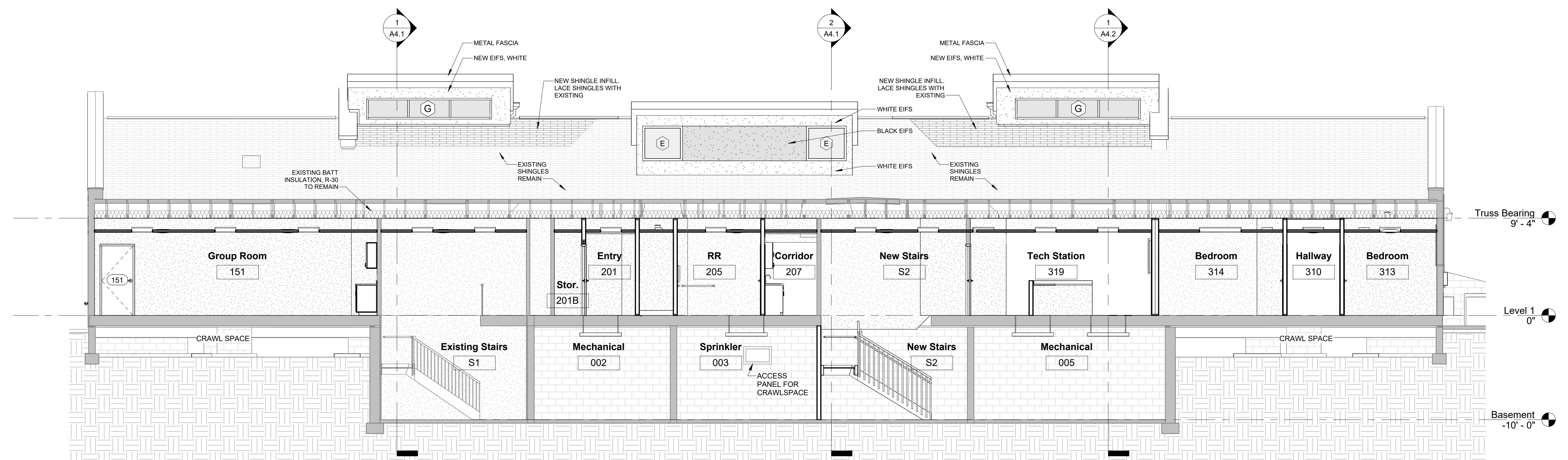


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NO.	DATE	DESCRIPTION
1	04/25/2024	SUBMITTED FOR BID PERMIT
2	04/25/2024	ADDENDUM 2



**1** Looking North 2  
SCALE: 3/16" = 1'-0"



**2** Looking North 3  
SCALE: 3/16" = 1'-0"

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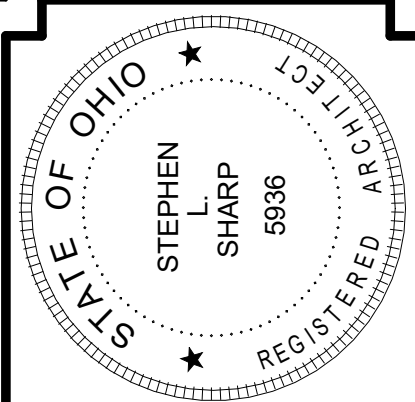
Heart House Renovation  
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JOB NO: 2322

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Construction Documents

**A4.3**

DATE: 2024-04-04  
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1	04/02/2024 SUBMITTED FOR BID PERMIT
2	04/25/2024 ADDENDUM 2

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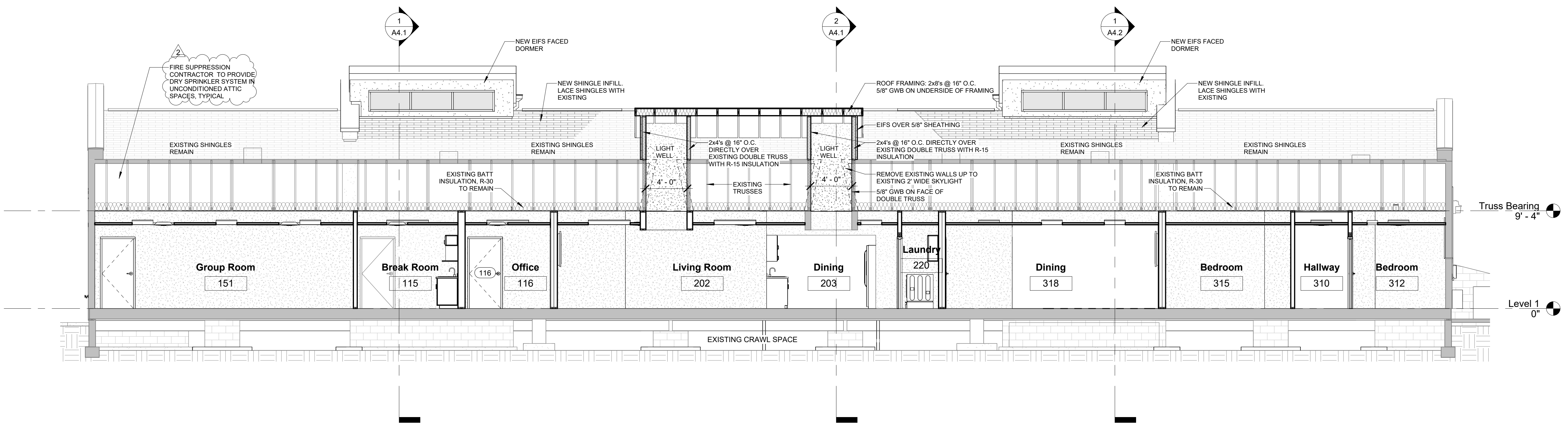
Heart House Renovation  
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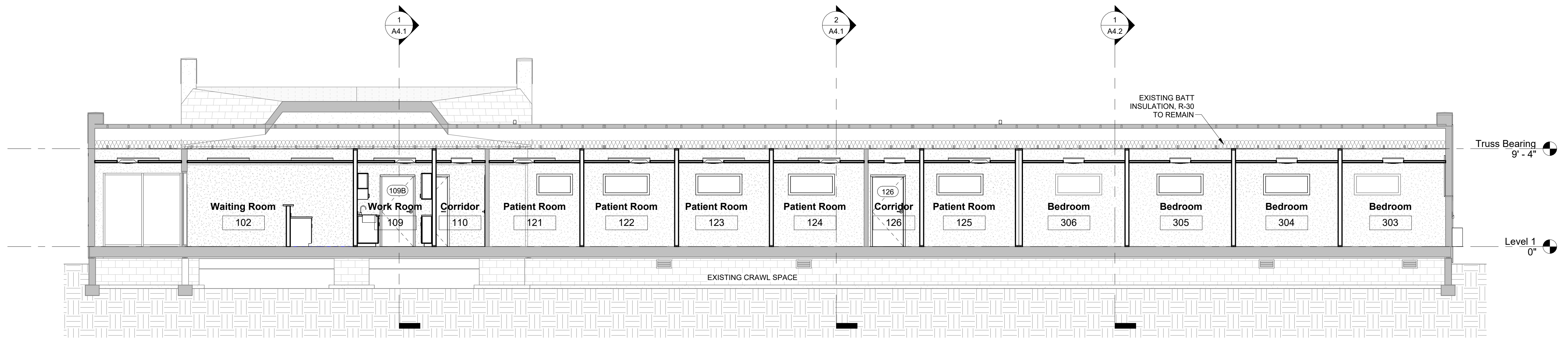
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Construction Documents

**A4.4**

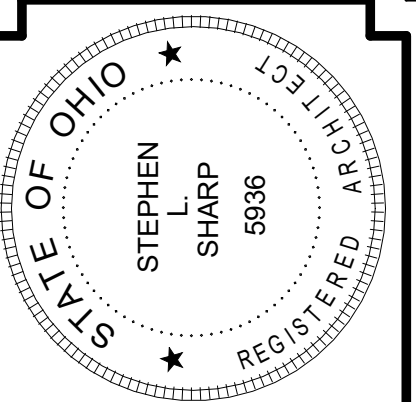
DATE 2024-04-04  
PRINT DATE: 4/25/2024 3:38:15 PM



**1** Looking North 4  
SCALE: 3/16" = 1'-0"



**2** Looking North 5  
SCALE: 3/16" = 1'-0"



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2	04/25/2024	ADDENDUM 2

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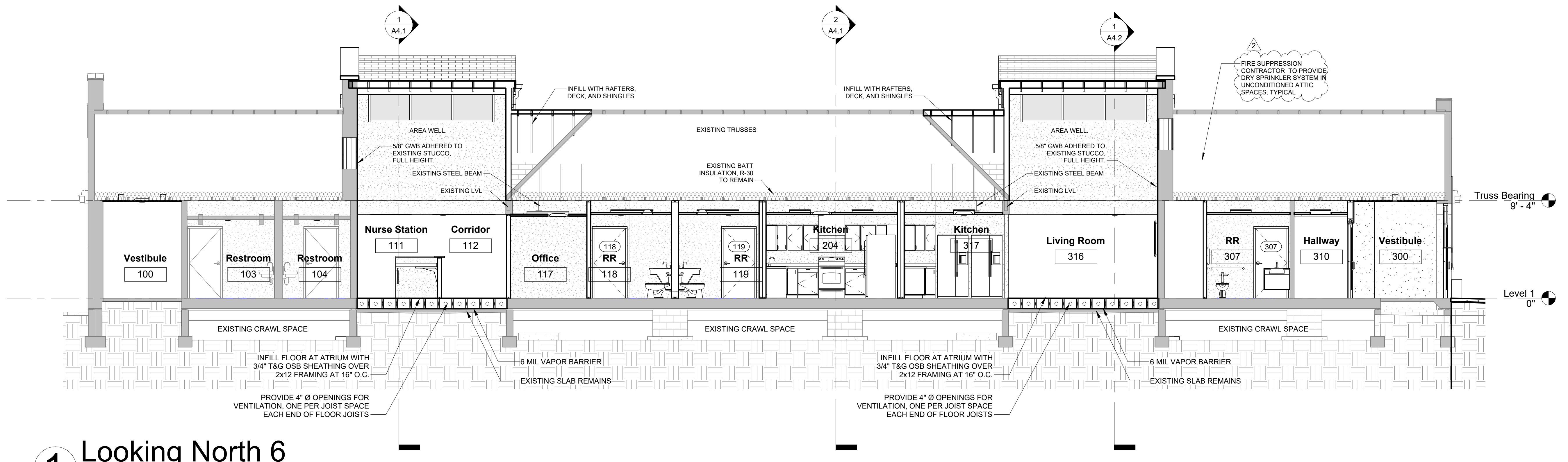
JOB NO: 2322

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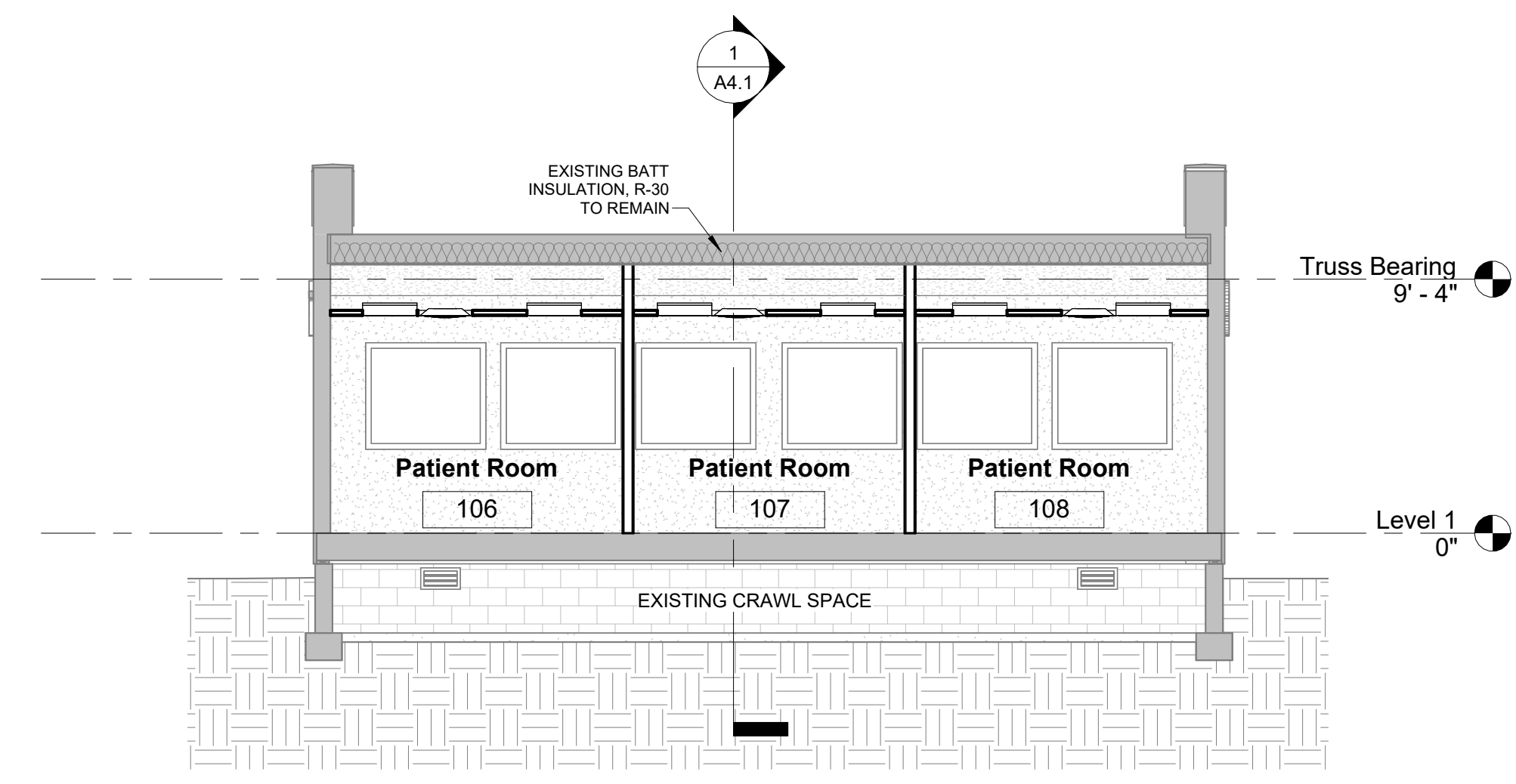
**A4.5**

DATE: 2024-04-04  
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**1 Looking North 6**  
SCALE: 3/16" = 1'-0"



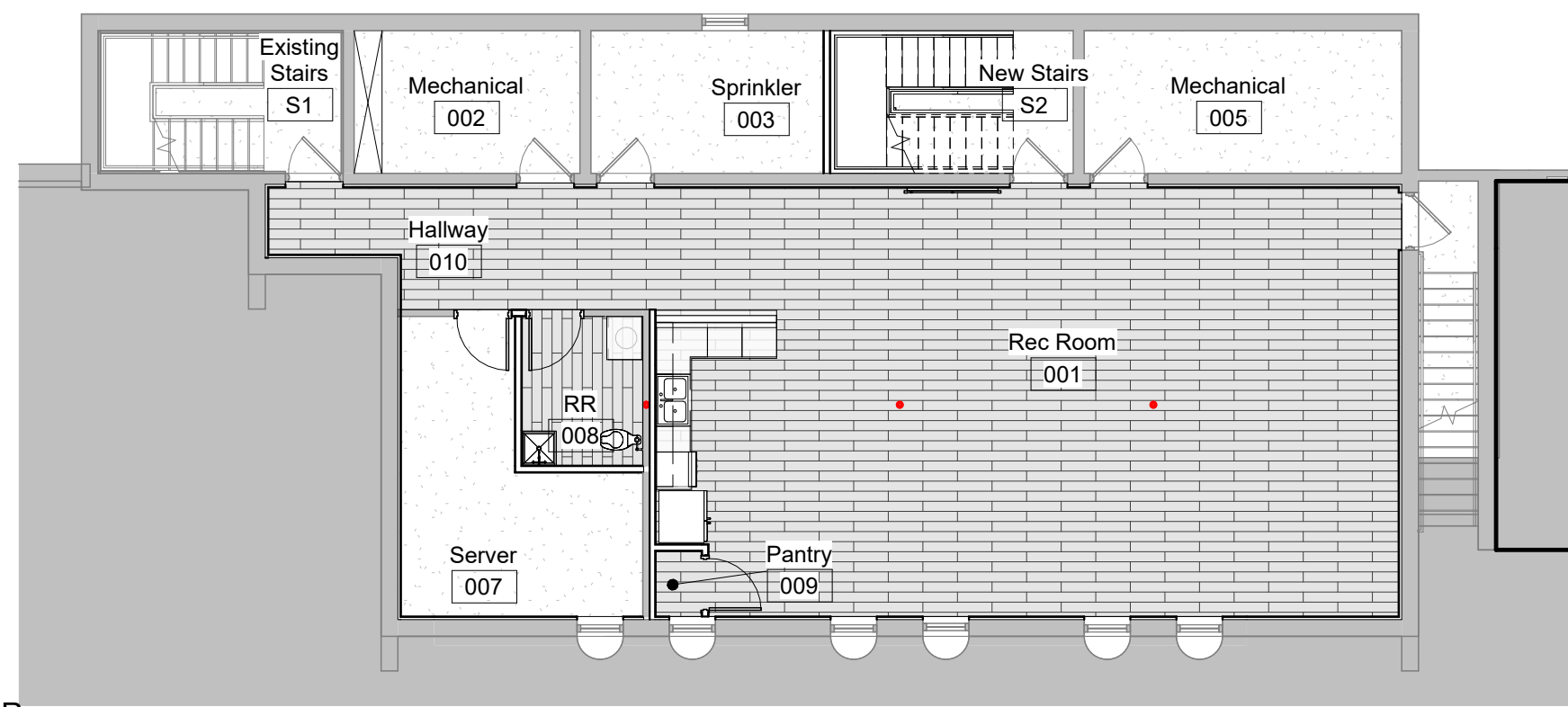
**2 Looking North 7**  
SCALE: 3/16" = 1'-0"





### FINISH LEGEND

- FLOORS**
- WM WALK-OFF MAT  
PATCRAFT ENTRY AESTHETIC  
MAKE YOUR WAY 10658  
18" X 36" ASHLAR PATTERN
  - CPT 1 SHAW CONNECTED THREADS  
QUILTED TILE  
VINTAGE GOLD 16762  
9" X 36" CARPET TILE, ASHLAR PATTERN
  - CPT 2 PATCRAFT ON NEUTRAL GROUND 2  
PARTITIONS STREAMLINED  
GREIGE 00520  
18" X 36" CARPET TILE, BRICK PATTERN
  - LVT 1A PATCRAFT TREELINE  
7" X 48", 20 MIL
  - LVT 1B PATCRAFT TREELINE  
7" X 48", 12 MIL
  - LVT 2 PATCRAFT EARTHEN  
12" X 24", 20 MIL UNLESS NOTED
- TILE** EXISTING TILE AND BASE TO REMAIN  
TILE TO BE THOROUGHLY CLEANED
- BASE**
- RUB RUBBER BASE, 4"
- TILE** EXISTING TILE BASE TO REMAIN
- WALLS**
- PT 1 PAINT COLOR 1  
SEMI GLOSS
  - PT 2 PAINT COLOR 2
- CEILING**
- ACT 1 ACOUSTICAL CEILING TILE  
2x2 CEILING GRID  
ARMSTRONG ULTIMA BEVELED TEGULAR
  - ACT 2 HUMIDITY RESISTANT ACOUSTICAL  
CEILING TILE  
2x2 CEILING GRID  
ARMSTRONG CERAMAGUARD  
UNPERFORATED SQUARE LAY IN
- GWB GYPSUM WALL BOARD CEILING



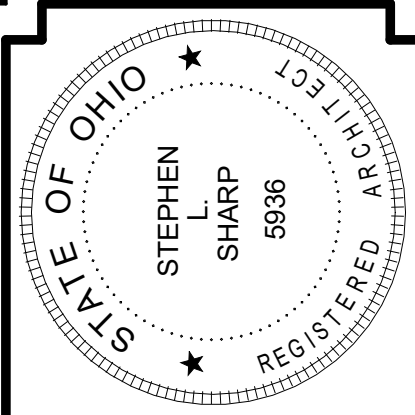
2 Basement Rooms  
1" = 10'-0"



1 Level 1 Rooms  
1" = 10'-0"



Room Finish Schedule							
Number	Name	Area	Floor Finish	Base Finish	Wall Finish	Ceiling Finish	Comments
001	Rec Room	1055 SF	LVT 1A	RUB	PT-1	ACT 1	
002	Mechanical	108 SF	SC	-	-	EXP	
003	Sprinkler	111 SF	SC	-	-	EXP	
005	Mechanical	152 SF	SC	-	-	EXP	
007	Server	176 SF	SC	-	-	EXP	
008	RR	60 SF	LVT 1A	RUB	PT-1	ACT 2	
009	Pantry	10 SF	LVT 1A	RUB	PT-1	ACT 1	
010	Hallway	130 SF	LVT 1A	RUB	PT-1	ACT 1	
S1	Existing Stairs	112 SF	-	RUB	PT-1	ACT 1	
S2	New Stairs	116 SF	-	RUB	PT-1	ACT 1	
100	Vestibule	203 SF	WM	RUB	PT-2	GWB / ACT	
102	Waiting Room	252 SF	LVT 1A	RUB	PT-1	ACT 1	
103	Restroom	104 SF	TILE	TILE	TILE, PT-1	GWB	
104	Restroom	80 SF	TILE	TILE	TILE, PT-1	GWB	
105	Corridor	132 SF	LVT 1A	RUB	PT-1	GWB	
105B	Stor	16 SF	LVT 1B	RUB	PT-1	ACT 1	
106	Patient Room	106 SF	LVT 1B	RUB	PT-1	ACT 1	
107	Patient Room	98 SF	LVT 1B	RUB	PT-1	ACT 1	
108	Patient Room	106 SF	LVT 1B	RUB	PT-1	ACT 1	
109	Work Room	86 SF	LVT 1A	RUB	PT-1	ACT 1	
110	Corridor	60 SF	LVT 1A	RUB	PT-1	ACT 1	
111	Nurse Station	92 SF	LVT 1A	RUB	PT-1	GWB	
112	Corridor	74 SF	LVT 1A	RUB	PT-1	GWB	
113	Corridor	64 SF	LVT 1A	RUB	PT-1	ACT 1	
113A	Stor	8 SF	LVT 1A	RUB	PT-1	ACT 1	
114	Therapist Office	103 SF	CPT 1	RUB	PT-1	ACT 1	
115	Break Room	115 SF	LVT 1A	RUB	PT-1	ACT 1	
116	Office	98 SF	CPT 1	RUB	PT-1	ACT 1	
117	Office	88 SF	CPT 1	RUB	PT-1	ACT 1	
118	RR	87 SF	LVT 1A	RUB	PT-1	ACT 2	
119	RR	87 SF	LVT 1A	RUB	PT-1	ACT 2	
120	Corridor	241 SF	LVT 1A	RUB	PT-1	ACT 1	
120A	Stor	10 SF	LVT 1B	RUB	PT-1	ACT 1	
121	Patient Room	104 SF	LVT 1B	RUB	PT-1	ACT 1	
122	Patient Room	104 SF	LVT 1B	RUB	PT-1	ACT 1	
123	Patient Room	104 SF	LVT 1B	RUB	PT-1	ACT 1	
124	Patient Room	104 SF	LVT 1B	RUB	PT-1	ACT 1	
125	Patient Room	105 SF	LVT 1B	RUB	PT-1	ACT 1	
126	Corridor	61 SF	LVT 1A	RUB	PT-1	ACT 1	
150	Grp Rm Lobby	156 SF	CPT 1	RUB	PT-1	ACT 1	
151	Group Room	392 SF	CPT 1	RUB	PT-1	ACT 1	
200	Foyer	34 SF	WM	RUB	-	GWB	
201	Entry	101 SF	LVT 1A	RUB	PT-1	ACT 1	
201A	Jan.	10 SF	LVT 1A	RUB	PT-1	ACT 1	
201B	Stor.	21 SF	LVT 1A	RUB	PT-1	ACT 1	
202	Living Room	314 SF	CPT 1	RUB	PT-1	ACT 1	
203	Dining	215 SF	LVT 2	RUB	PT-1	ACT 1	
204	Kitchen	147 SF	LVT 2	RUB	PT-1	ACT 1	
205	RR	87 SF	LVT 1A	RUB	PT-1	ACT 2	
206	RR	87 SF	LVT 1A	RUB	PT-1	ACT 2	
207	Corridor	88 SF	LVT 1A	RUB	PT-1	ACT 1	
208	Corridor	265 SF	LVT 1A	RUB	PT-1	ACT 1	
208A	Stor.	16 SF	LVT 1A	RUB	PT-1	ACT 1	
208B	Stor.	22 SF	LVT 1A	RUB	PT-1	ACT 1	
209	Foyer	54 SF	WM	RUB	-	ACT 1	
211	Bedroom	105 SF	CPT 2	RUB	PT-1	ACT 1	
212	Bedroom	112 SF	CPT 2	RUB	PT-1	ACT 1	
213	Bedroom	112 SF	CPT 2	RUB	PT-1	ACT 1	
214	Bedroom	112 SF	CPT 2	RUB	PT-1	ACT 1	
215	Bedroom	112 SF	CPT 2	RUB	PT-1	ACT 1	
216	Bedroom	108 SF	CPT 2	RUB	PT-1	ACT 1	
217	Bedroom	102 SF	CPT 2	RUB	PT-1	ACT 1	
218	Bedroom	103 SF	CPT 2	RUB	PT-1	ACT 1	
220	Laundry	20 SF	LVT 1A	RUB	PT-1	ACT 1	
300	Vestibule	75 SF	WM	RUB	PT-2	GWB	
301	Hallway	68 SF	LVT 1A	RUB	PT-1	ACT 1	
302	Hallway	51 SF	LVT 1A	RUB	PT-1	ACT 1	
303	Bedroom	119 SF	CPT 2	RUB	PT-1	ACT 1	
304	Bedroom	118 SF	CPT 2	RUB	PT-1	ACT 1	
305	Bedroom	118 SF	CPT 2	RUB	PT-1	ACT 1	
306	Bedroom	118 SF	CPT 2	RUB	PT-1	ACT 1	
307	RR	85 SF	LVT 1A	RUB	PT-1	ACT 2	
308	RR	85 SF	LVT 1A	RUB	PT-1	ACT 2	
309	Stor.	27 SF	LVT 1A	RUB	PT-1	ACT 1	
310	Hallway	162 SF	LVT 1A	RUB	PT-1	ACT 1	
310A	Stor.	14 SF	LVT 1A	RUB	PT-1	ACT 1	
311	Hallway	52 SF	LVT 1A	RUB	PT-1	ACT 1	
312	Bedroom	109 SF	CPT 2	RUB	PT-1	ACT 1	
313	Bedroom	109 SF	CPT 2	RUB	PT-1	ACT 1	
314	Bedroom	93 SF	CPT 2	RUB	PT-1	ACT 1	
315	Bedroom	94 SF	CPT 2	RUB	PT-1	ACT 1	
316	Living Room	416 SF	CPT 1	RUB	PT-1	GWB / ACT	
317	Kitchen	159 SF	LVT 2	RUB	PT-1	ACT 1	
318	Dining	131 SF	LVT 2	RUB	PT-1	ACT 1	
319	Tech Station	114 SF	LVT 1A	RUB	PT-1	ACT 1	
320	Laundry	20 SF	LVT 1A	RUB	PT-1	ACT 1	



Stephen L. Sharp, License #5936  
Expiration Date: 12/31/2024

REVISIONS			
NO.	DATE	DESCRIPTION	APP. FOR BID/PERMIT
1	04/02/2024	SUBMITTED FOR BID/PERMIT	
2	04/22/2024	ADDENDUM 1	

**McCall SHARP**  
ARCHITECTURE

SPRINGFIELD OFFICE  
14 EAST MAIN STREET, SUITE 201  
SPRINGFIELD, OHIO 45502

P: (937)323-4300  
F: (937)322-8142

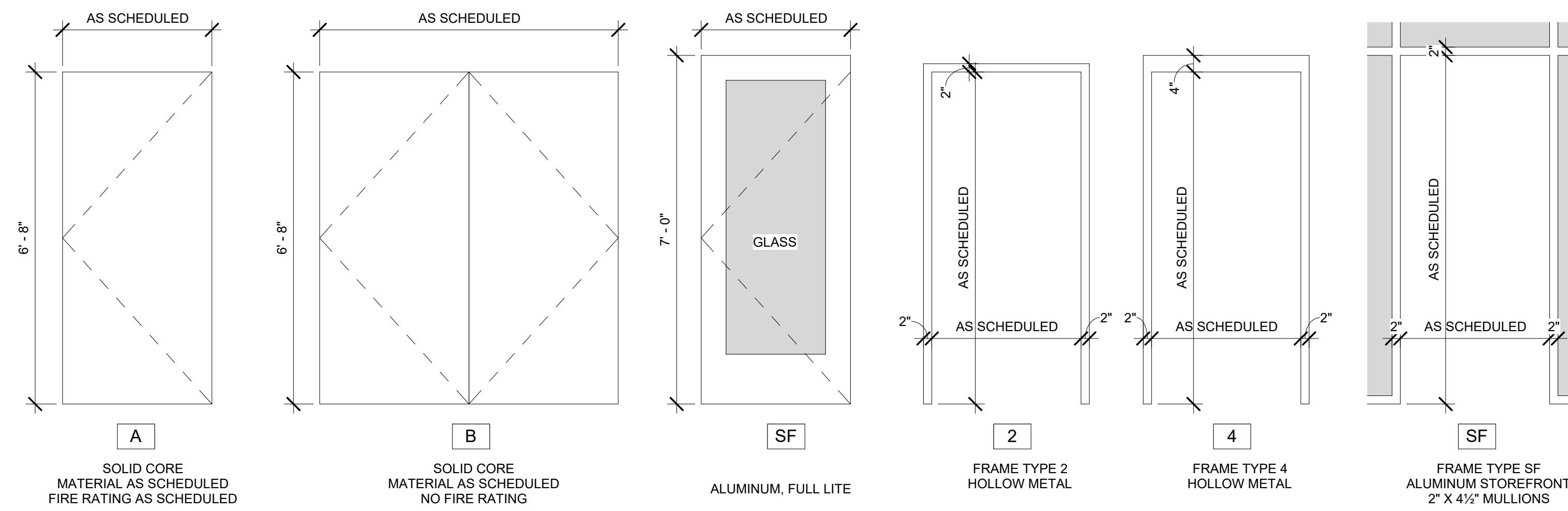
Heart House Renovation  
FOR  
McKinley Hall  
1911 East High Street Springfield Ohio

JOB NO: 2322

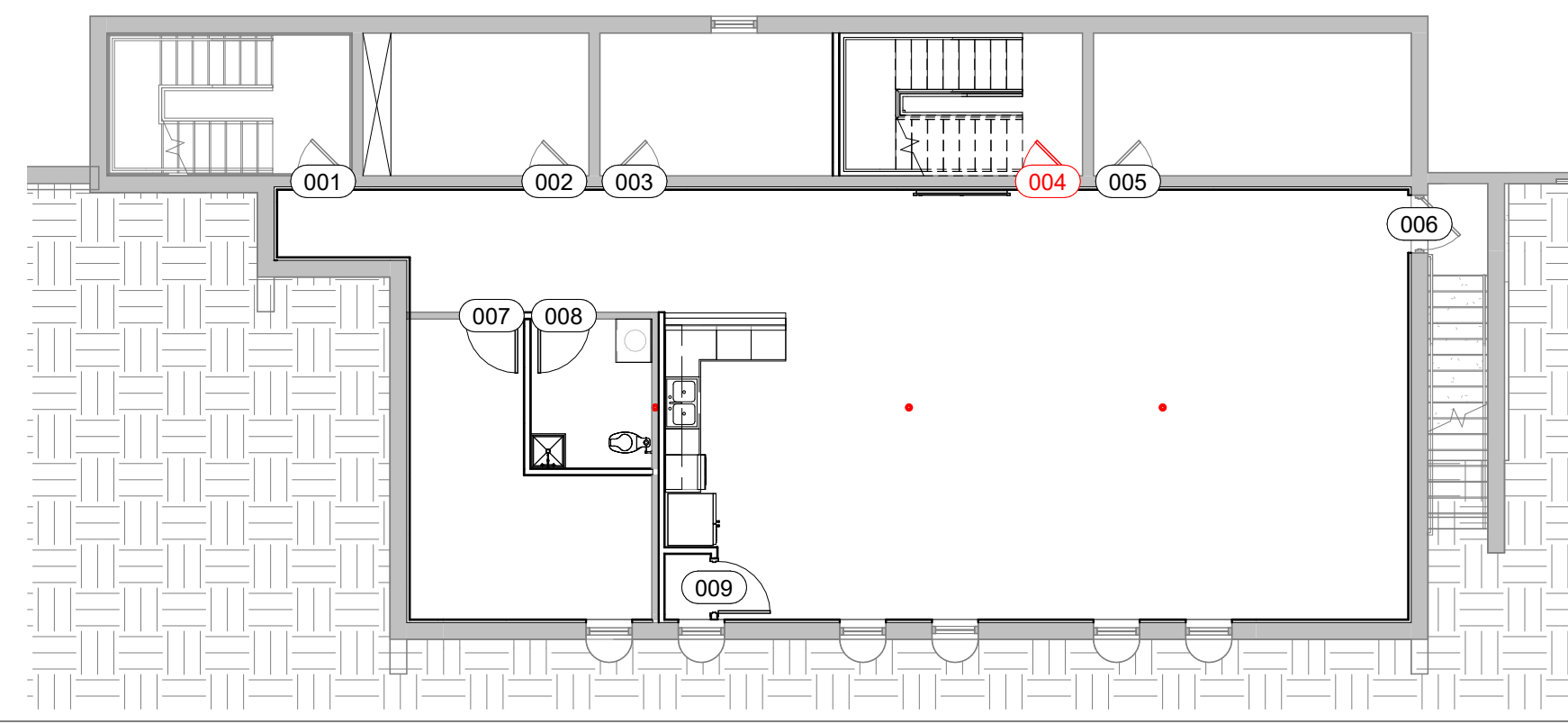
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Construction Documents

**A7.1**

DATE 2024-04-04  
PRINT DATE: 4/25/2024 3:38:21 PM



3 Door, Frame Types  
1/2" = 1'-0"



1 Basement Doors  
1" = 10'-0"



2 Level 1 Doors  
1" = 10'-0"

Door Schedule											
Mark	Type Mark	Material	Finish	Width	Height	Fire Rating	Frame Type	Frame Material	Frame Finish	Phase Created	Comments
001	A	HM	-	3'-0"	6'-8"		4	HM	-	Existing	1
002	A	HM	-	3'-0"	6'-8"		4	HM	-	Existing	1
003	A	HM	-	3'-0"	6'-8"		4	HM	-	Existing	1
004	A	HM	-	3'-0"	6'-8"		4	HM	-	Existing	1
005	A	HM	-	3'-0"	6'-8"		4	HM	-	Existing	1
006	A	HM	-	3'-0"	6'-8"		2	HM	-	Existing	2
007	A	WD	FF	3'-0"	6'-8"		2	HM	PT	New	
008	A	WD	FF	3'-0"	6'-8"		2	HM	PT	New	
009	A	WD	FF	3'-0"	6'-8"		2	HM	PT	New	
S1	A	WD	-	3'-0"	6'-8"	45 Min	2	HM	-	Existing	1
S2	A	WD	FF	3'-0"	6'-8"	45 Min	2	HM	PT	New	

100	SF	AL	FF	3'-0"	7'-0"		SF4	AL	FF	New	
102	SF	AL	-	3'-0"	7'-0"		SF2	AL	-	Existing	1
103	A	WD	-	3'-0"	6'-8"		2	HM	-	Existing	1
104	A	WD	-	3'-0"	6'-8"		2	HM	-	Existing	1
105A	A	HM	PT	3'-0"	6'-8"		2	HM	PT	New	
105B	A	WD	FF	3'-0"	6'-8"		2	HM	PT	New	
106	A	WD	FF	3'-0"	6'-8"	45 Min	2	HM	PT	New	
107	A	WD	FF	3'-0"	6'-8"	45 Min	2	HM	PT	New	
108	A	WD	FF	3'-0"	6'-8"	45 Min	2	HM	PT	New	
109A	A	WD	FF	3'-0"	6'-8"		2	HM	PT	New	
109B	A	WD	FF	3'-0"	6'-8"		2	HM	PT	New	
113	A	WD	FF	3'-0"	6'-8"		2	HM	PT	New	
114A	A	WD	FF	3'-0"	6'-8"		2	HM	PT	New	
114B	A	WD	FF	3'-0"	6'-8"		2	HM	PT	New	
115	A	WD	FF	3'-0"	6'-8"		2	HM	PT	Existing	2
116	A	WD	FF	3'-0"	6'-8"		2	HM	PT	New	
117	A	WD	FF	3'-0"	6'-8"		2	HM	PT	New	
118	A	WD	FF	3'-0"	6'-8"		2	HM	PT	New	
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120A	A	WD	FF	3'-0"	6'-8"		2	HM	PT	New	
121	A	WD	FF	3'-0"	6'-8"	45 Min	2	HM	PT	New	
122	A	WD	FF	3'-0"	6'-8"	45 Min	2	HM	PT	New	
123	A	WD	FF	3'-0"	6'-8"	45 Min	2	HM	PT	New	
124	A	WD	FF	3'-0"	6'-8"	45 Min	2	HM	PT	New	
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126	A	HM	PT	3'-0"	6'-8"		4	HM	PT	New	
150	SF	AL	-	3'-0"	7'-0"		SF1	AL	-	Existing	1
151	A	WD	FF	3'-0"	6'-8"		2	HM	PT	New	

200	SF	AL	-	3'-0"	7'-0"		SF2	AL	-	Existing	1
201	A	WD	-	3'-0"	6'-8"		2	HM	-	Existing	1
201A	A	WD	FF	2'-3"	6'-8"		2	HM	PT	New	
201B	B	WD	FF	5'-0"	6'-8"		2	HM	PT	New	
205	A	WD	FF	3'-0"	6'-8"		2	HM	PT	New	
206	A	WD	FF	3'-0"	6'-8"		2	HM	PT	New	
208A	B	WD	FF	5'-0"	6'-8"		2	HM	PT	New	
208B	A	WD	FF	3'-0"	6'-8"		2	HM	PT	New	
209	A	HM	PT	3'-0"	6'-8"		4	HM	PT	New	
211	A	WD	FF	3'-0"	6'-8"		2	HM	PT	New	
212	A	WD	FF	3'-0"	6'-8"		2	HM	PT	New	
213	A	WD	FF	3'-0"	6'-8"		2	HM	PT	New	
214	A	WD	FF	3'-0"	6'-8"		2	HM	PT	New	
215	A	WD	FF	3'-0"	6'-8"		2	HM	PT	New	
216	A	WD	FF	3'-0"	6'-8"		2	HM	PT	New	
217	A	WD	FF	3'-0"	6'-8"		2	HM	PT	New	
218	A	WD	FF	3'-0"	6'-8"		2	HM	PT	New	
220	B	WD	FF	5'-0"	6'-8"		2	HM	PT	New	

300	SF	AL	FF	3'-0"	7'-0"		SF3	AL	FF	New	
301	SF	AL	FF	3'-0"	7'-0"		SF1	AL	FF	New	
303	A	WD	FF	3'-0"	6'-8"		2	HM	PT	New	
304	A	WD	FF	3'-0"	6'-8"		2	HM	PT	New	
305	A	WD	FF	3'-0"	6'-8"		2	HM	PT	New	
306	A	WD	FF	3'-0"	6'-8"		2	HM	PT	New	
307	A	WD	FF	3'-0"	6'-8"		2	HM	PT	New	
308	A	WD	FF	3'-0"	6'-8"		2	HM	PT	New	
309	B	WD	FF	6'-0"	6'-8"		2	HM	PT	New	
310	A	WD	FF	3'-0"	6'-8"		2	HM	PT	New	
312	A	WD	FF	3'-0"	6'-8"		2	HM	PT	New	
313	A	WD	FF	3'-0"	6'-8"		2	HM	PT	New	
314	A	WD	FF	3'-0"	6'-8"		2	HM	PT	New	
315	A	WD	FF	3'-0"	6'-8"		2	HM	PT	New	
319	A	WD	FF	3'-0"	6'-8"	45 Min	2	HM	PT	New	
320	B	WD	FF	5'-0"	6'-8"		2	HM	PT	New	

COMMENTS

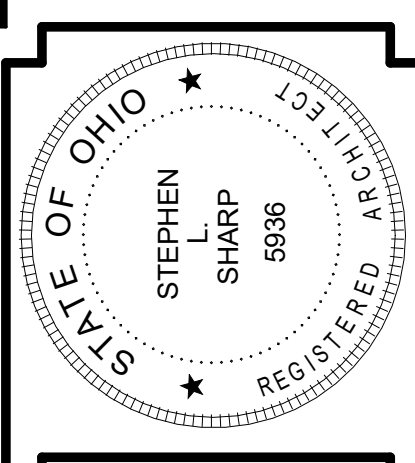
- REUSE BOTH DOOR FRAME AND DOOR PANEL
- REUSE DOOR FRAME, PROVIDE NEW DOOR PANEL

DOOR MATERIALS

HM HOLLOW METAL  
WD WOOD, SOLID CORE  
AL ALUMINUM

DOOR FINISHES

FF FACTORY FINISH  
PT PAINTED



Stephen L. Sharp, License #5936  
Expiration Date: 12/31/2024

REVISIONS

NO.	DATE	DESCRIPTION
1	04/02/2024	SUBMITTED FOR BID PERMIT
2	04/22/2024	ADDENDUM 1

**McCall SHARP**  
ARCHITECTURE

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Heart House Renovation  
FOR  
McKinley Hall  
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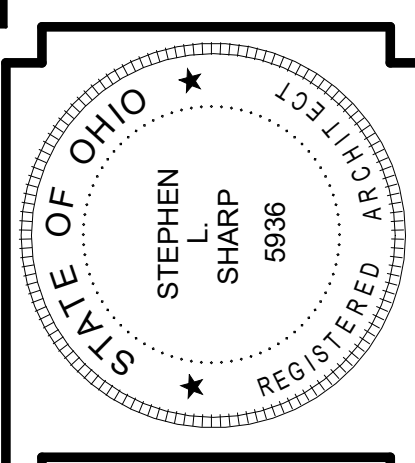
DOOR SCHEDULE

JOB NO: 2322

DRAWN BY: CG  
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Construction Documents

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DATE 2024-04-04  
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Expiration Date: 12/31/2024

REVISIONS	
NO.	DESCRIPTION
1	DATE: 04/02/2024 SUBMITTED FOR BID PERMIT
2	DATE: 04/22/2024 ADDENDUM 1
3	DATE: 04/25/2024 ADDENDUM 2

**McCall SHARP**  
ARCHITECTURE  
SPRINGFIELD OFFICE  
14 EAST MAIN STREET, SUITE 201  
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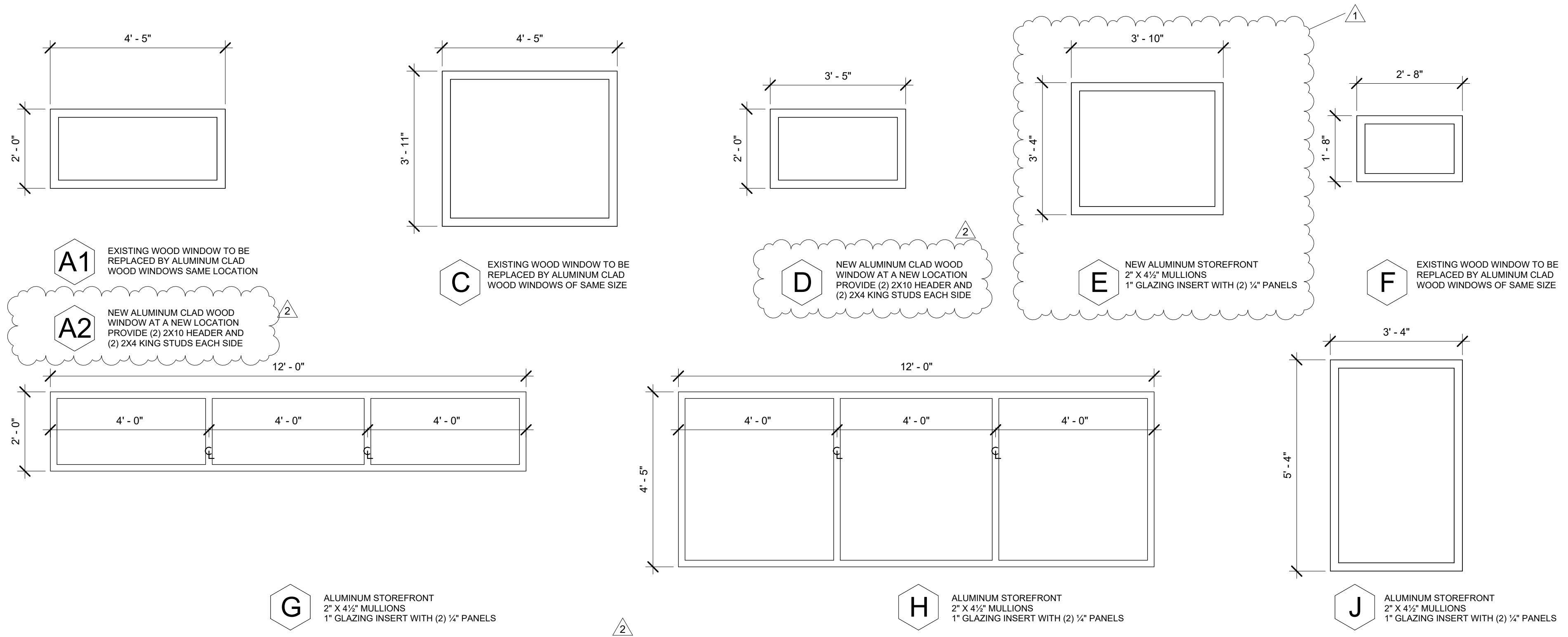
Heart House Renovation  
FOR  
McKinley Hall  
1911 East High Street Springfield Ohio  
WINDOW SCHEDULE

JOB NO: 2322

DRAWN BY: CG  
CHECKED BY: SLS  
Construction Documents

**A7.3**

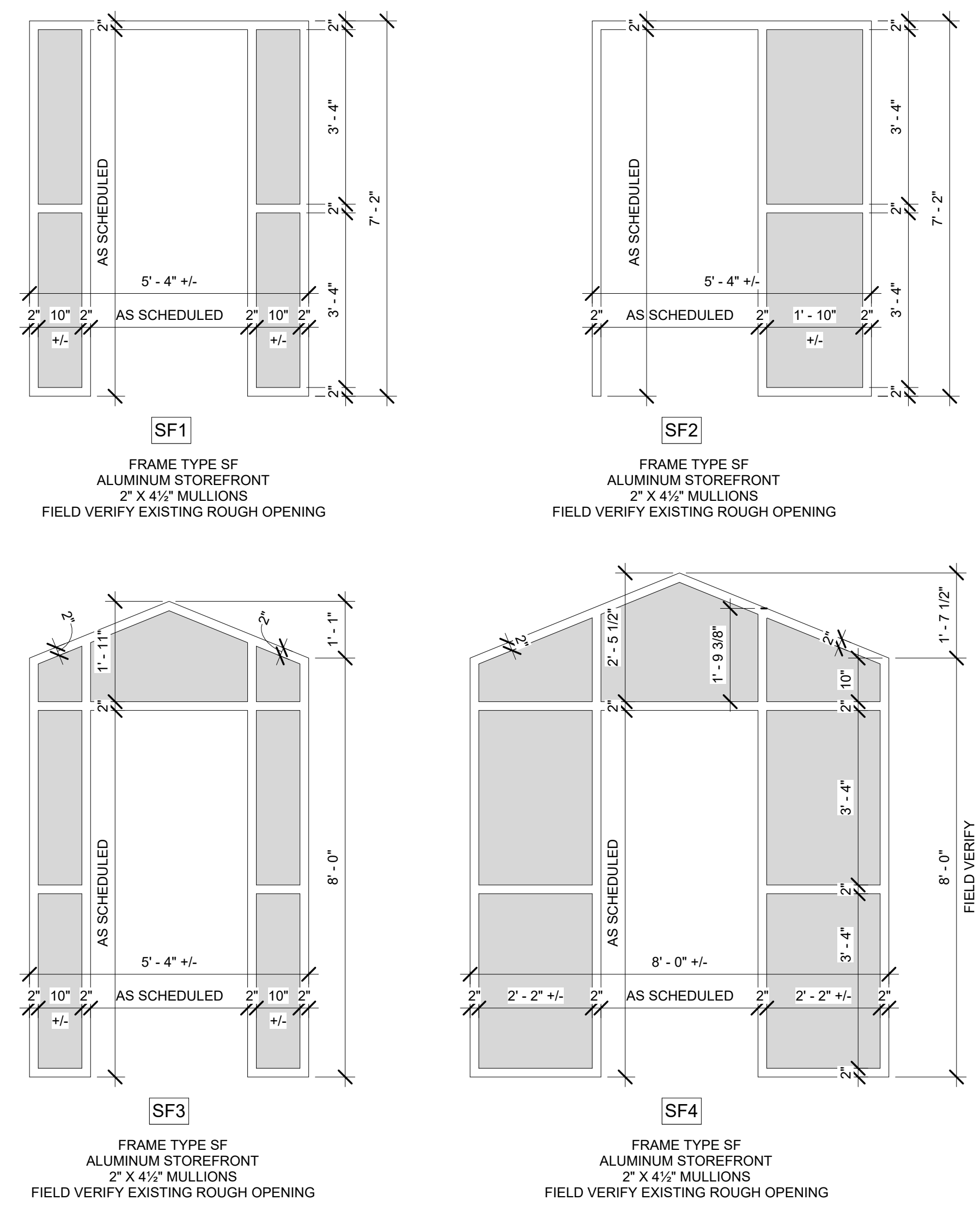
DATE: 2024-04-04  
PRINT DATE: 4/25/2024 3:38:27 PM



## Window Legend

SCALE: 1/2" = 1'-0"

ALL WINDOWS SHALL BE FIXED WINDOWS  
 DIMENSIONS ABOVE ARE APPROXIMATE AND MAY VARY SLIGHTLY BETWEEN WINDOWS OF THE SAME TYPE DESIGNATION CONTRACTOR TO VERIFY SIZE OF EXISTING WINDOW OPENINGS PRIOR TO ORDERING NEW WINDOWS

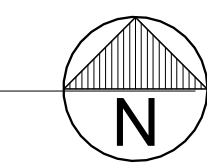
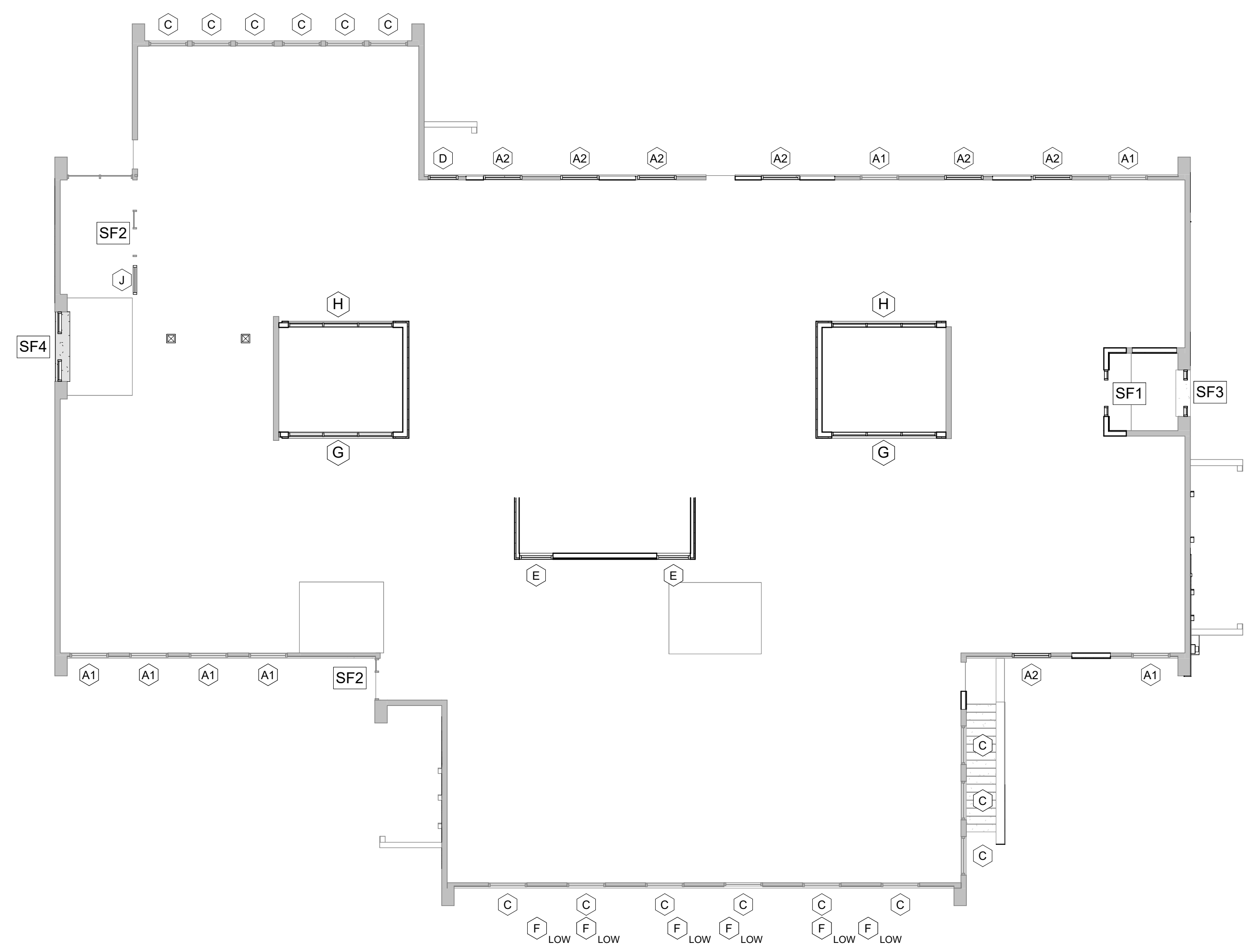


## 2 Storefront Legend

SCALE: 1/2" = 1'-0"

## 1 Level 1 Windows

SCALE: 1" = 10'-0"



**FIRE PROTECTION SPECIFICATION**

- SCOPE OF WORK
- THE FIRE PROTECTION CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, EQUIPMENT, SERVICES, TOOLS, TRANSPORTATION AND FACILITIES NECESSARY FOR, REASONABLY IMPLIED AND INCIDENTAL TO, THE FURNISHING, INSTALLATION, COMPLETION AND TESTING OF ALL THE WORK FOR THE SPRINKLER SYSTEMS AS SHOWN ON THE DRAWINGS, CALLED FOR IN THE SPECIFICATIONS, AND AS REQUIRED BY JOB CONDITIONS, TO INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING:
    - INSTALLATION OF NEW WET SPRINKLER SYSTEM AS REQUIRED TO PROVIDE COVERAGE IN ACCORDANCE WITH NFPA-13R, LOCAL CODES, OWNER'S CRITERIA, AND INSURANCE CARRIERS FOR THE OWNER AND TENANT.
    - TAPS, RISERS, LATERALS, BRANCHES, VALVES, ALARMS, SPRINKLER HEADS AND ALL COMPONENTS REQUIRED FOR A COMPLETE SYSTEM.
    - DESIGN DRAWINGS, CALCULATIONS, SUBMITTALS AND APPROVALS.
    - PERMITS, FEES, AND CHARGES.
    - TESTS AND TEST CERTIFICATES.
    - COST FOR SHUT DOWN FEES.
  - THE CONTRACTOR THAT DOES THE ACTUAL SPRINKLER WORK IS REQUIRED TO BE A OWNER APPROVED SPRINKLER CONTRACTOR.
  - BEFORE STARTING WORK, THE CONTRACTOR SHALL EXAMINE THE ARCHITECTURAL, STRUCTURAL, MECHANICAL AND ELECTRICAL PLANS AND SPECIFICATIONS TO SEQUENCE, COORDINATE, AND INTEGRATE THE VARIOUS ELEMENTS OF THE FIRE PROTECTION SYSTEM, MATERIALS, AND EQUIPMENT WITH OTHER CONTRACTORS TO AVOID INTERFERENCES AND CONFRONTATIONS.
- B. PERMIT AND REQUIREMENTS.
- THE FIRE PROTECTION CONTRACTOR SHALL PREPARE DETAILED SHOP DRAWINGS AND CALCULATIONS FOR HIS WORK. SUBMIT SIX (6) COPIES TO GENERAL CONTRACTOR FOR APPROVAL. NO WORK SHALL BEGIN UNTIL TENANT'S CONSTRUCTION MANAGER APPROVES HEAD AND PIPING LOCATIONS.
  - THE FIRE PROTECTION CONTRACTOR IS RESPONSIBLE FOR SUBMITTING COORDINATED DRAWINGS, CALCULATIONS, HEAD TYPES AND COLORS TO ALL AUTHORITIES HAVING JURISDICTION FOR APPROVAL. NO WORK SHALL BEGIN UNTIL ALL APPROVALS HAVE BEEN RECEIVED.
  - A COPY OF THE LETTER OF APPROVAL FROM THE OWNER'S INSURANCE RATING BUREAU SHALL BE FORWARDED TO THE OWNER'S AGENT AND TO THE TENANT'S CONSTRUCTION MANAGER.
  - FIRE PROTECTION CONTRACTOR SHALL PROVIDE FULL PERMIT SUBMISSION DOCUMENTS, AS REQUIRED BY THE AUTHORITY HAVING JURISDICTION, VIA A SEPARATE SUBMISSION. THIS SHALL BE INCLUDED IN THE BID FOR THIS PROJECT.
- C. EQUIPMENT
- SPRINKLER HEADS:
    - ALL SPRINKLER HEADS SHALL BE NEW, U.L. F.M. LISTED AND APPROVED AUTOMATIC SPRAY TYPE AS MANUFACTURED BY CENTRAL SPRINKLER CO., GLOBE, GRINNELL, RELIABLE, STAR, OR VIKING.
    - ALL SPRINKLER HEADS SHALL BE RATED FOR 165°F UNLESS INDICATED OTHERWISE ON DRAWINGS OR REQUIRED BY LOCAL CODES. VERIFY HEAD TYPES AND SUBMIT WITH SPRINKLER DRAWINGS FOR PERMIT. SPRINKLER HEAD TYPES SHALL BE AS FOLLOWS:
      - FINISHED CEILING - SEMI-RECESSED TYPE
      - NO-CEILING - CHROME UPRIGHT TYPE. NOTE: SEMI-RECESSED HEADS SHALL PROTRUDE NO MORE THAN 1" BELOW LEVEL OF CEILING OF SOFFIT. ALL HORIZONTAL SPRINKLER RUNS AT SIDEWALL SOFFITS SHALL BE CONCEALED WITHIN SOFFIT FRAMING.
  - GENERAL PIPING
    - NEW FIRE PROTECTION SYSTEM SHALL BE INSTALLED. SPRINKLER SPACING SHALL NOT EXCEED 225 SQ. FT. IN "OFFICE" & "PATIENT ROOMS" AREAS AND 130 SQ. FT. IN "UTILITY" AREAS. PIPE SIZING SHALL BE BASED ON NFPA LIGHT AND ORDINARY HAZARD.
    - ALL SPRINKLER LINES SHALL BE INSTALLED CONCEALED, AVOIDING INTERFERENCE WITH LIGHTS, DUCTS, PIPES, STORAGE DECK, ETC. FIRE PROTECTION CONTRACTOR SHALL PREPARE COORDINATED SHOP DRAWINGS INDICATING THE LOCATIONS OF ALL SPRINKLER HEADS, SPRINKLER LINES, LIGHTS, DIFFUSERS, GRILLES AND REGISTERS PRIOR TO INSTALLATION. NO SPRINKLER LINES RUN IN ATTIC OR EXTERIOR WALLS.
    - LOCATIONS OF ALL HEADS SHOULD BE APPROVED BY THE LOCAL FIRE PROTECTION OFFICIAL AND THE CONSTRUCTION MANAGER BEFORE INSTALLATION. HEADS MUST BE LOCATED IN THE CENTER OF CEILING TILES AND IN A SYMMETRICAL PATTERN WITH OTHER CEILING FIXTURES. ADDITIONAL MONIES WILL NOT BE ALLOCATED FOR ADDITIONAL HEADS REQUIRED BY FIELD FIRE INSPECTOR AFTER BIDS ARE ACCEPTED.
    - PROVIDE AND INSTALL A VALVED TEST CONNECTION FOR THE SPRINKLER SYSTEM. LOCAL INSPECTOR, OR INSURANCE CARRIER, COORDINATE LOCATION WITH LOCAL FIRE PROTECTION OFFICIAL PRIOR TO ROUGH-IN.
  - PIPING:
    - SCHEDULE 40, BLACK STEEL PIPE, ASTM A-53 FOR FERROUS PIPING, WELDED AND SEAMLESS, ANSI B-36-10-70 FOR WROUGHT STEEL PIPE.
    - CAST IRON OR MALLEABLE IRON SCREWED FITTINGS FOR PIPES 2 INCHES AND SMALLER. SCREWED OR CAST IRON FLANGED JOINTS FOR PIPES LARGER THAN 2 INCHES.
    - GALVANIZED OR BLACK MALLEABLE IRON WITH BRASS SEAT SCREWED UNIONS FOR PIPES 2 INCHES AND SMALLER.
    - VICTAULIC TYPE COUPLINGS ARE ACCEPTABLE, WHERE APPROVED BY CODE.
  - TESTS
    - WHEN COMPLETED, THE ENTIRE FIRE PROTECTION PIPING SYSTEM SHALL BE HYDROSTATICALLY TESTED AS REQUIRED BY THE RULES AND REGULATIONS OF THE AUTHORITIES HAVING JURISDICTION. SYSTEM SHALL SHOW NO SIGNS OF LEAKAGE OR OTHER DEFECTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO THE WORK OF THE OTHER CONTRACTORS OR TO THE BUILDING, OR TO ITS CONTENTS, PEOPLE, ETC., CAUSED BY LEAKS IN ANY OF THE EQUIPMENT INSTALLED BY HIM. ALL REPAIRS OR REPLACEMENT OF DAMAGES SHALL BE AT THIS CONTRACTOR'S EXPENSE.
    - PROPERLY COMPLETED AND SIGNED "SPRINKLER CONTRACTOR'S MATERIAL AND TEST CERTIFICATES" SHALL BE FURNISHED TO THE OWNER, AUTHORITIES HAVING JURISDICTION, AND TENANT'S CONSTRUCTION MANAGER.



NOTE:  
DRAWING IS FOR INTENT ONLY. ALL WORK AND CALCULATION TO BE PERFORMED BY A LICENSED CERTIFIED SPRINKLER CONTRACTOR UNDER SEPARATE PERMIT SUBMISSION, INCLUDED ALL COST IN BID. COORDINATE ALL FLOW AND TAMPER VALVE LOCATIONS AND FIRE ALARM INTERFACE REQUIREMENT WITH FIRE ALARM CONTRACTOR FOR ALL NEW WORK. (A CERTIFIED SPRINKLER CONTRACTOR IS RESPONSIBLE TO DESIGN AND INSTALL A DRY PIPE SPRINKLER SYSTEM (FOR ANY UN-CONDITION SPACES.), REFER TO ARCHITECTURAL DRAWINGS.

NOTE:  
INSTALLATION OR ALTERATIONS TO A SPRINKLER SYSTEM REQUIRES A SEPARATE SUBMITTAL AND PERMIT. WORK SHALL BE COMPLETED BY STATE LICENSED CONTRACTOR. PLAN APPROVAL AND PERMIT IS REQUIRED PRIOR TO START OF WORK AND BEFORE THE ABOVE CEILING INSPECTION.

FIRE PROTECTION LEGEND			
DETAIL	DESCRIPTION	DETAIL	DESCRIPTION
—A—	AIR LINE	SPRINKLER PIPING	
—D—	DRAIN LINE	⊘	GATE VALVE
—DPS—	DRY PIPE SYSTEM	⊘	FIRE SUPPRESSION VALVE
—F—	FIRE PROTECTION LINE	●	FLOOR CLEAN OUT
—W—	DOMESTIC WATER SERVICE LINE	⊘	METER
—Z—	ZONE LIMIT/BOUNDARY LINE	⊘	BACKFLOW PREVENTOR
		⊘	CONNECTION
		⊘	EQUIPMENT NUMBER

**LEVEL 1 OVERALL - FIRE PROTECTION FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

**FIRE PROTECTION CODED NOTES**

- 4" STAIRWELL STANDPIPE AND 3" DRAIN PIPE. PROVIDE FIRE HOSE VALVE ON MID-FLOOR RISER.
- PROVIDE FLOOR CONTROL VALVE AND TAMPER SWITCH. ALL SPRINKLERS TO BE CONNECTED AFTER FLOOR CONTROL VALVE.
- PROVIDE BRANCH PIPING AND GRID SIZED TO SPRINKLER THIS AREA PER LIGHT HAZARD DENSITY. SPRINKLE FINISHED AREAS PER SPECIFICATIONS.
- PROVIDE BRANCH PIPING AND GRID SIZED TO SPRINKLER THIS AREA PER ORDINARY HAZARD DENSITY. SPRINKLE FINISHED AREAS PER SPECIFICATIONS.



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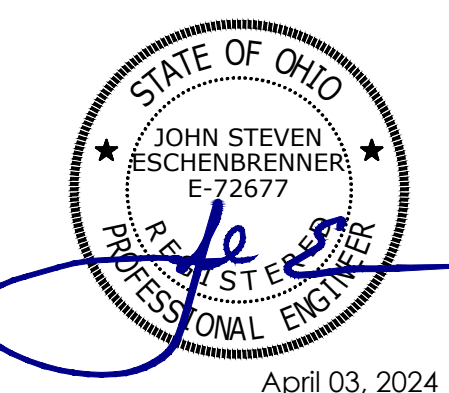
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PROJECT NUMBER: 230149  
DESIGN BY: TAR

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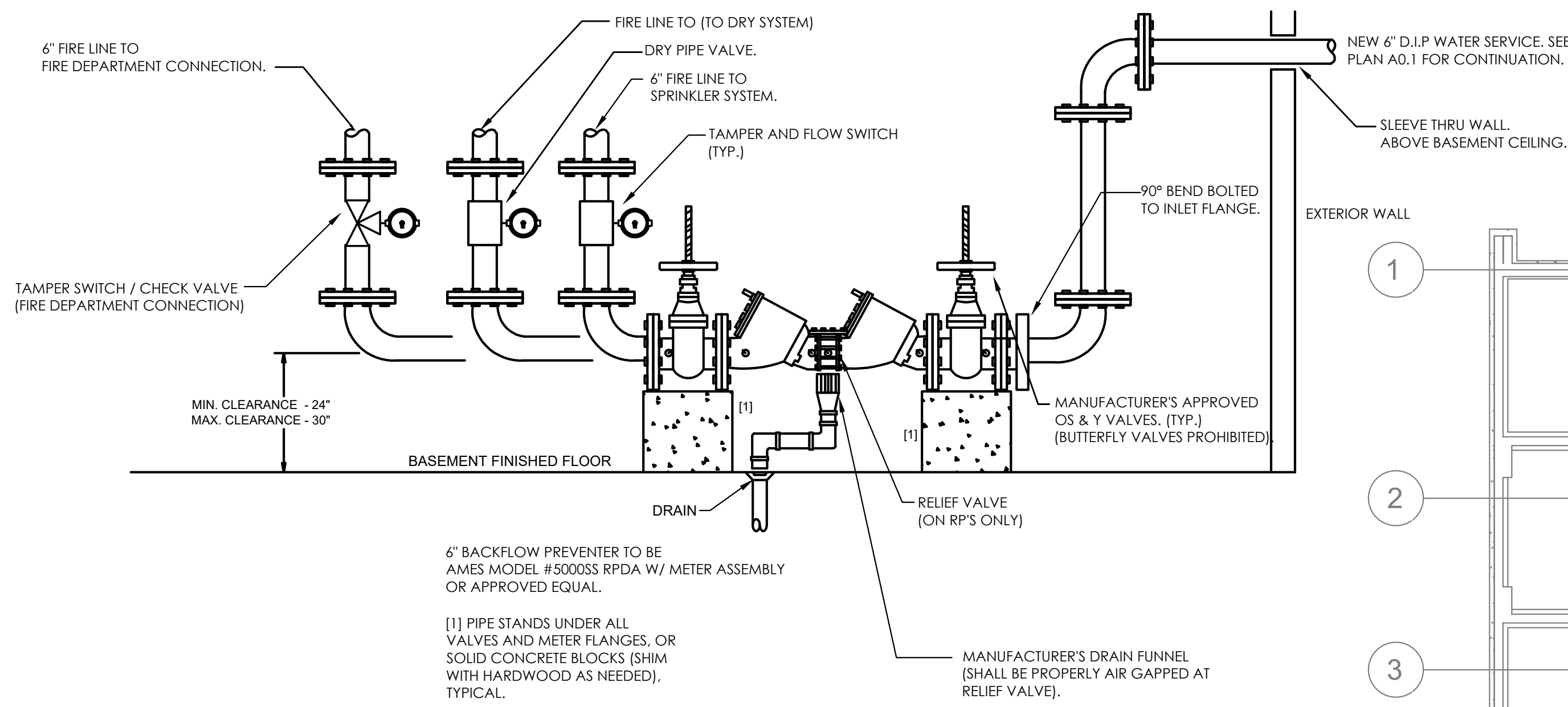
**Heart House Renovation**  
FOR  
**McKinley Hall**  
1911 East High Street Springfield, Ohio 45505

REV#	DATE	DESCRIPTION

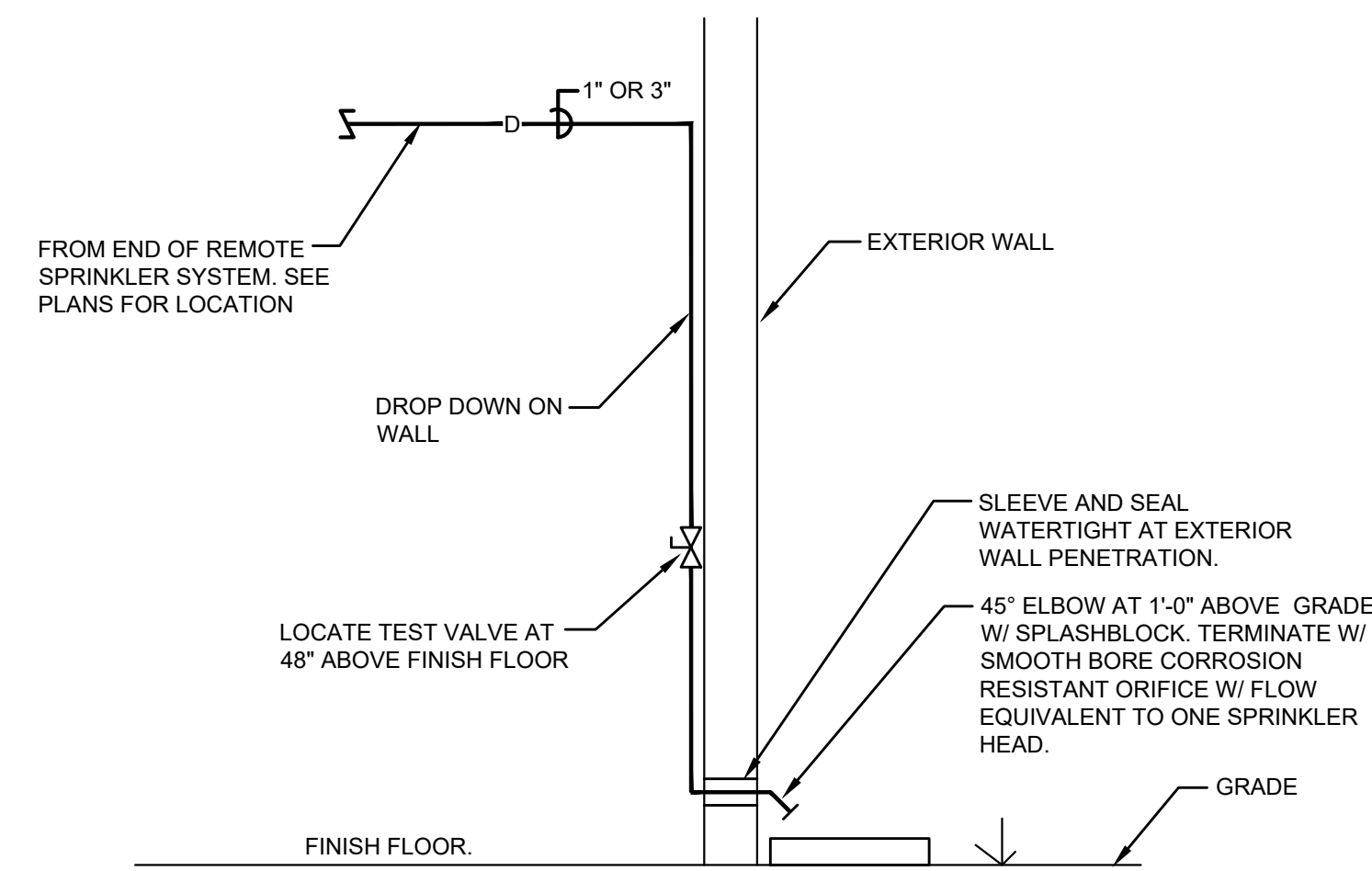


April 03, 2024  
LEVEL 1 OVERALL - FIRE PROTECTION FLOOR PLAN

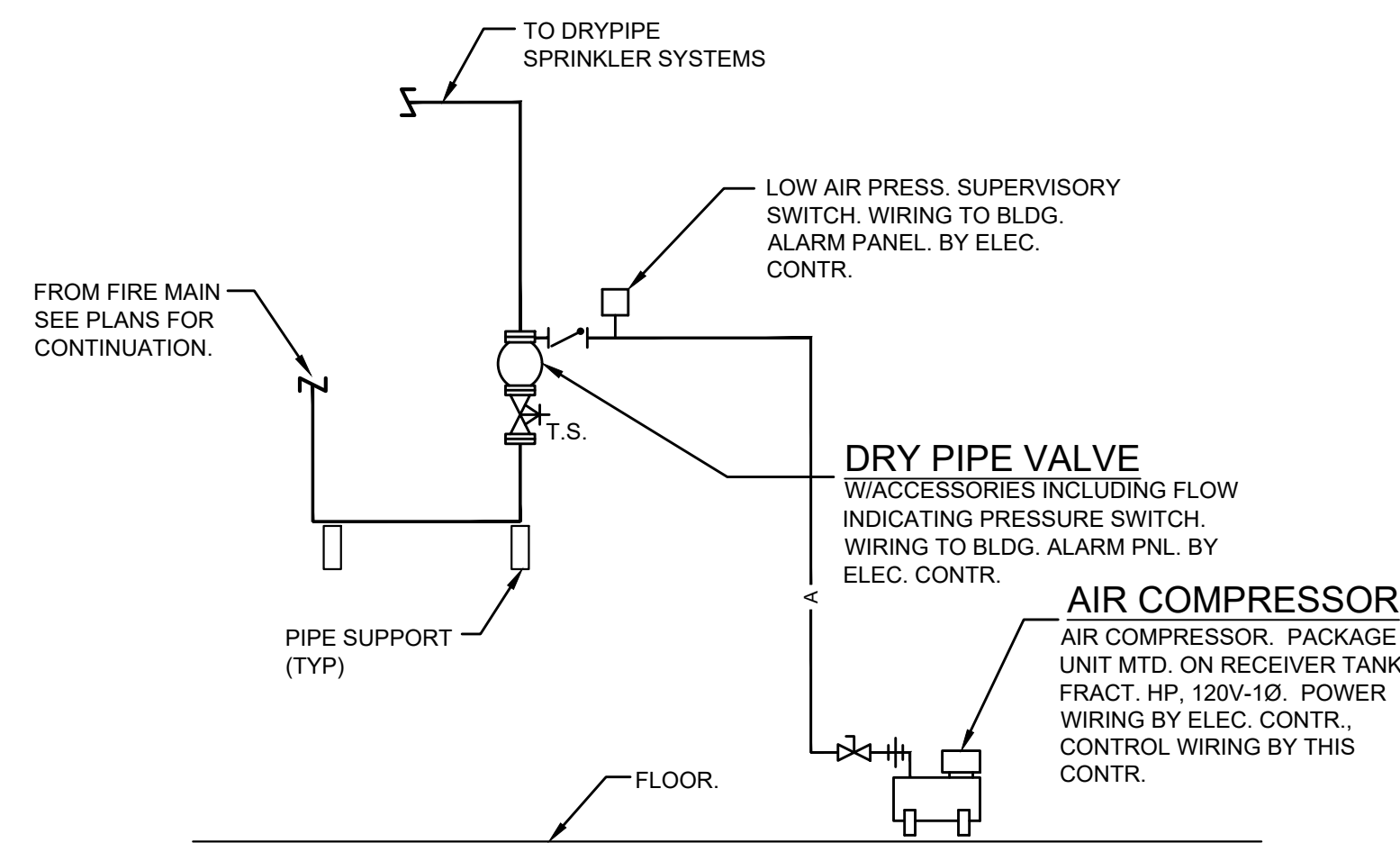
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**A FIRE PROTECTION RISER DETAIL**  
SCALE: N.T.S.



**B WET SPRINKLER SYSTEM TEST CONNECTION DIAGRAM**  
SCALE: N.T.S.

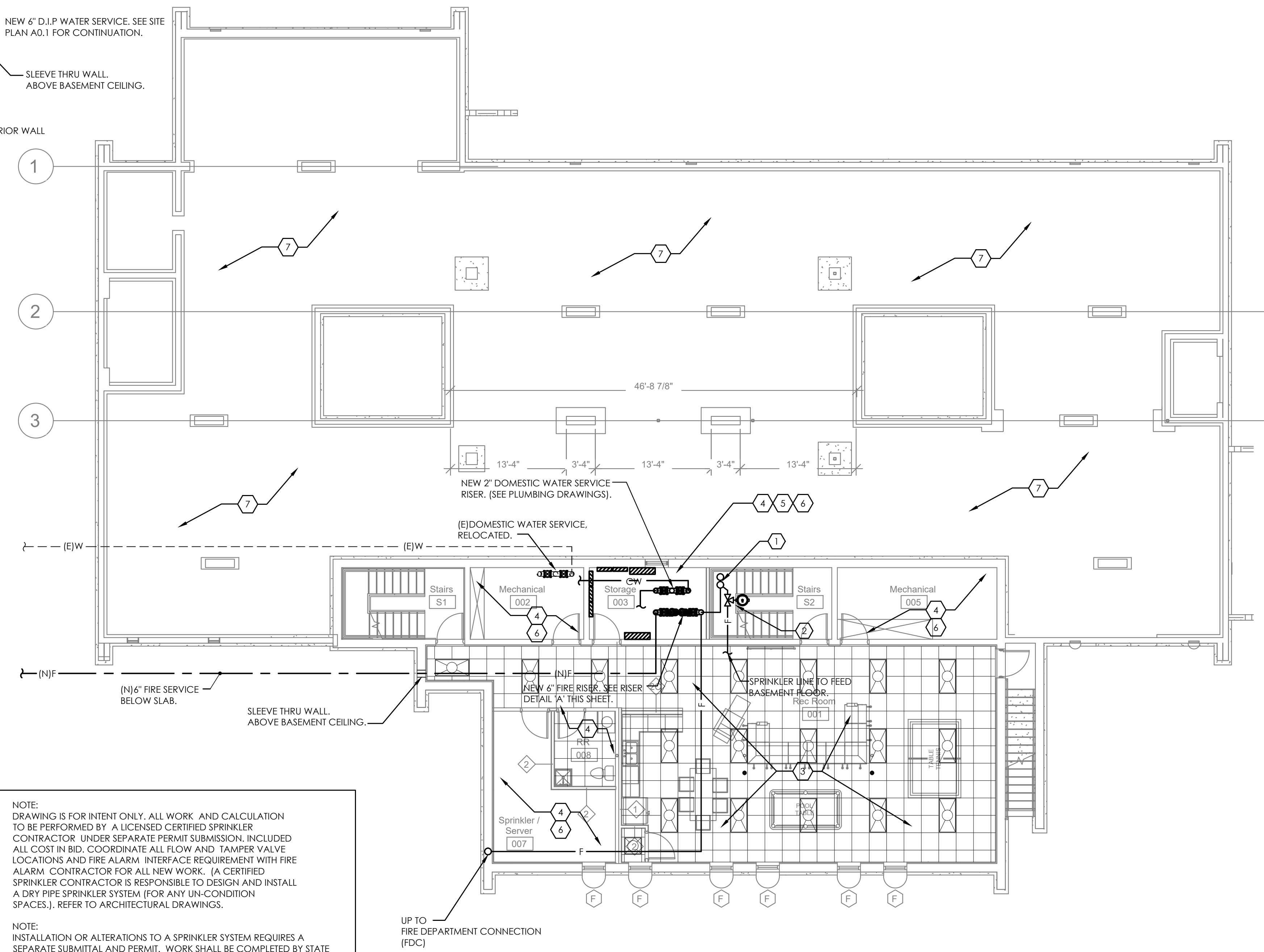


**C DRY PIPE ALARM VALVE RISER DIAGRAM**  
SCALE: N.T.S.

- DRY PIPE RISER NOTES:**
1. PROVIDE SUPPORTS AND BRACING AS REQUIRED TO SUPPORT AND SECURE PIPING AND EQUIPMENT.
  2. EXTEND ALL DRAINS FROM DRY PIPE SYSTEM HARDWARE TO POINT(S) AS INDICATED ON PLANS.
  3. THIS DIAGRAM IS FOR SPECIFIC INFORMATION PERTAINING TO ITEMS INDICATED. ALL PIPING AND EQUIPMENT REQUIRED FOR PROPER OPERATION IS NOT SHOWN. ACTUAL INSTALLATION OF DRY PIPE VALVE AND ACCESSORIES IS TO BE PER THE MANUFACTURER'S RECOMMENDATIONS, AND AS REQUIRED TO FIT IN THE AREA INDICATED ON PLANS.
  4. FIRE PROTECTION CONTRACTOR TO LOCATE AND INSTALL AIR COMPRESSOR AT ALARM VALVE INSTALLATION, COORDINATING WITH STRUCTURE AND WORK OF OTHER TRADES IN SAME AREA.
  5. WATER AND AIR PRESSURE GAUGES WITH GAUGE COCKS ARE PROVIDED WITH THE ALARM VALVE.

NOTE:  
DRAWING IS FOR INTENT ONLY. ALL WORK AND CALCULATION TO BE PERFORMED BY A LICENSED CERTIFIED SPRINKLER CONTRACTOR UNDER SEPARATE PERMIT SUBMISSION. INCLUDED ALL COST IN BID. COORDINATE ALL FLOW AND TAMPER VALVE LOCATIONS AND FIRE ALARM INTERFACE REQUIREMENT WITH FIRE ALARM CONTRACTOR FOR ALL NEW WORK. (A CERTIFIED SPRINKLER CONTRACTOR IS RESPONSIBLE TO DESIGN AND INSTALL A DRY PIPE SPRINKLER SYSTEM (FOR ANY UN-CONDITION SPACES). REFER TO ARCHITECTURAL DRAWINGS.

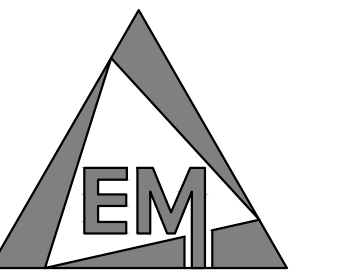
NOTE:  
INSTALLATION OR ALTERATIONS TO A SPRINKLER SYSTEM REQUIRES A SEPARATE SUBMITTAL AND PERMIT. WORK SHALL BE COMPLETED BY STATE LICENSED CONTRACTOR. PLAN APPROVAL AND PERMIT IS REQUIRED PRIOR TO START OF WORK AND BEFORE THE ABOVE CEILING INSPECTION.



**OVERALL BASEMENT & CRAWLSPACE - FIRE PROTECTION FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

**FIRE PROTECTION CODED NOTES**

1. 4" STAIRWELL STANDPIPE AND 3" DRAIN PIPE. PROVIDE FIRE HOSE VALVE ON MID-FLOOR RISER.
2. PROVIDE FLOOR CONTROL VALVE AND TAMPER SWITCH. ALL SPRINKLERS TO BE CONNECTED AFTER FLOOR CONTROL VALVE.
3. PROVIDE BRANCH PIPING AND GRID SIZED TO SPRINKLER THIS AREA PER LIGHT HAZARD DENSITY. SPRINKLE FINISHED AREAS PER SPECIFICATIONS.
4. PROVIDE BRANCH PIPING AND GRID SIZED TO SPRINKLER THIS AREA PER ORDINARY HAZARD DENSITY. SPRINKLE FINISHED AREAS PER SPECIFICATIONS.
5. PROVIDE SHIELDS OVER ELECTRICAL EQUIPMENT PER NFPA 13.
6. PROVIDE UPRIGHT TYPE SPRINKLER HEADS.
7. PROVIDE DRY TYPE COVERAGE FOR CRAWL SPACE.



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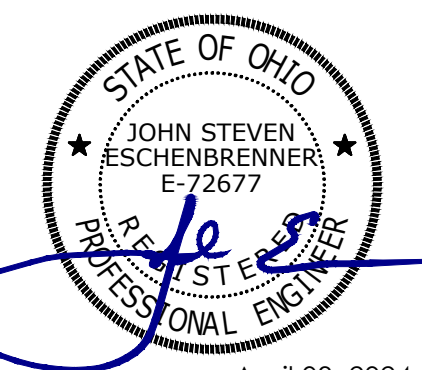
PROJECT NUMBER: 230149  
DESIGN BY: TAR

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**Heart House Renovation**  
FOR  
**McKinley Hall**

1911 East High Street Springfield, Ohio 45505

REV#	DATE	DESCRIPTION



April 03, 2024

OVERALL BASEMENT & CRAWLSPACE - FIRE PROTECTION PLAN

**FP1.1**