

Addendum

DATE: 12/22/2023

615 Woodside Drive, Englewood, Ohio 45322

T 937.836.8898 F 937.832.3696

PROJECT: 614, 624 & 702 Building Renovation and
Addition
East End Community Services / West Care

www.app-arch.com

PROJECT ADDRESS: 624 Xenia Avenue
Dayton, Ohio 45410

ADDENDUM NO. 1

RECEIPT OF THIS ADDENDUM MUST BE NOTED ON THE FORM OF PROPOSAL

TO ALL BIDDERS:

This addendum supplements and amends the original Plans and Specifications and shall be taken into account in preparing proposals and shall become part of the Contract Documents.

CIVIL DRAWINGS:

ITEM C1 SHEET C3.1 – LANDSCAPE PLAN (624 Building)
1. Revisions to landscape plantings

ITEM C2 SHEET C3.1 – LANDSCAPE PLAN (702 Garage)
1. Revisions to landscape plantings

ARCHITECTURAL SPECIFICATIONS:

ITEM AS1 SECTION 00 4113 – BID FORM
a. Revise bid form to include proposed Completion Time.

ITEM AS2 SECTION 01 2100 – ALLOWANCES
a. Revise Paragraph 3.3 Schedule of Allowance to indicate division of allowance between 3 building projects, for accounting purposes.

ITEM AS3 SECTION 14 4216 VERTICAL WHEELCHAIR LIFTS
a. Part 2.2, A, 1.
i. Model CRS 800 revised to CRS 1000
b. Part 2.2, B, 2.
i. Rated load revised to 1,000 lb capacity
c. Part 2.2, B, 4.
i. Car dimensions revised to 42" wide.

ARCHITECTURAL DRAWINGS:

- ITEM A1 SHEET A0.3 – DOOR & FRAME SCHEDULES (624 Building)
 1. Doors 150 & 201A revised to 2'-0" wide doors.
- ITEM A2 SHEET A1.3 – FIRST FLOOR DIMENSION PLAN (624 Building)
 SHEET A1.6 – SECOND FLOOR DIMENSION PLAN (624 Building)
 1. Elevator shaft dimensions revised.
 2. Doors E100 & E200 locations revised.
 3. Doors 150 & 201A revised to 2'-0" wide doors.
- ITEM A3 SHEET A7.1 – INTERIOR ELEVATIONS (624 Building)
 1. Casework revised in Room 102 Receptionist.

ELECTRICAL DRAWINGS:

- ITEM E1 SHEET E1.1 – ELECTRICAL POWER PLAN (624 Building)
 1. Power revised at Room 102 Receptionist.
- ITEM E2 SHEET E3.1 – ELECTRICAL SYSTEMS PLAN (624 Building)
 1. Sheet revised to show data devices.

END OF ADDENDUM NO. 1

ATTACHMENTS:

- Specifications – 00 4113 BID FORM – STIPULATED SUM REVISED
 01 2100 ALLOWANCES
 14 4216 VERTICAL WHEELCHAIR LIFTS
- Drawing sheets – 624 Xenia: C3.1, A0.3, A1.3, A1.6, A7.1, E1.1, E3.1
 702 Xenia: C3.1
- Miscellaneous – Pre-Bid Meeting Notes; 3 pages
 Pre-Bid Meeting Sign-in Sheets; 4 pages

B. *Completion Time*

Completion Time from Notice to Proceed: _____ *Calendar Days.*

C. Unit Prices

Unit Price No. 1: Removal of unsatisfactory soil and replacement with satisfactory soil material. For the unit price of:

_____ Dollars (\$_____/10 cubic yard.

Unit Price No. 2: Removal of unsatisfactory soil and replacement with low-strength concrete. For the unit price of:

_____ Dollars (\$_____/10 cubic yard.

Unit Price No. 3: Provide and place lime for the purpose of drying wet soils. For the unit price of:

_____ Dollars (\$_____/10 cubic yard.

Unit Price No. 4: Provide and place 304 gravel. For the unit price of:

_____ Dollars (\$_____/1 ton.

Unit Price No. 5: Provide CMU & brick masonry repointing. For the unit price of:

_____ Dollars (\$_____/100 SF area.

D. Bid Alternate No. A-1: Ballistic Window Film

If Alternate No. A-1 is accepted, revise Base Bid as follows:

All labor and material, for the sum of: **ADD or DEDUCT (circle one)**

For the sum of: _____ Dollars (\$_____).

1.3 ACKNOWLEDGEMENT OF ADDENDA

A. The undersigned Bidder acknowledges receipt of and use of the following Addenda in the preparation of this Bid:

1. Addendum No. ____, dated _____.
2. Addendum No. ____, dated _____.
3. Addendum No. ____, dated _____.
4. Addendum No. ____, dated _____.

1.4 ACKNOWLEDGEMENT OF MBE REQUIREMENT

- A. The undersigned Bidder acknowledges the MBE requirement set forth in the bidding documents:
 - 1. Goal has been met: YES or NO (circle one)
 - 2. If NO, what is the total MBE participation that is Bidder able to achieve? _____%

1.5 ACKNOWLEDGEMENT OF INSURANCES

- A. The undersigned Bidder acknowledges the following insurances and bonding will be provided and costs are included in the bid amount.
 - 1. Liability and Builder's Risk Insurances as listed in Article 11 of the General and Supplemental Conditions: YES or NO (circle one)
 - 2. Performance Bond: YES or NO (circle one)
 - 3. Payment Bond: YES or NO (circle one)

1.6 BIDDERS CHECKLIST

- A. One copy of the following documents must accompany the bid form:
 - 1. Section 00 4336 "Subcontractor List."
 - 2. Section 00 4513 "Contractor's Qualification Statement."
 - 3. Section 00 4519 "Non-Collusion Affidavit Form."
 - 4. Section 00 4600 "Contractor's Personal Property Tax Affidavit."
 - 5. Bid Guaranty & Contract Bond
 - 6. Certificate of Builder's Risk Insurance

1.7 CONTRACTOR'S LICENSE

- A. The undersigned further states that it is a duly licensed contractor, for the type of work proposed, in Montgomery County.

1.8 SUBMISSION OF BID

- A. Respectfully submitted this ____ day of _____, 2023.
- B. Submitted By: _____
(Name of bidding firm or corporation)
- C. Authorized Signature: _____
(Handwritten signature)
- D. Signed By: _____
(Type or print name)

E. Title: _____
(Owner/Partner/President/Vice President)

F. Witnessed By: _____
(Handwritten signature)

G. Attest: _____
(Handwritten signature)

H. By: _____
(Type or print name)

I. Title: _____
(Corporate Secretary or Assistant Secretary)

J. Street Address: _____

K. City, State, Zip: _____

L. Phone: _____

M. License No.: _____

N. Federal ID No.: _____
(Affix Corporate Seal Here)

PART 2 - PRODUCTS (Not Used)

PART 3 - EXECUTION (Not Used)

END OF DOCUMENT 00 4113

SECTION 01 2100 – ALLOWANCES (*REVISED*)

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and other Division 01 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. Section includes administrative and procedural requirements governing allowances.
- B. Types of allowances include the following:
 - 1. Lump-sum allowances.
- C. Related Requirements:
 - 1. Section 01 2600 "Contract Modification Procedures" for procedures for submitting and handling Change Orders.

1.3 DEFINITIONS

- A. Allowance: A quantity of work or dollar amount included in the Contract, established in lieu of additional requirements, used to defer selection of actual materials and equipment to a later date when direction will be provided to Contractor. If necessary, additional requirements will be issued by Change Order.

1.4 ACTION SUBMITTALS

- A. Submit proposals for purchase of products or systems included in allowances in the form specified for Change Orders.

1.5 LUMP-SUM ALLOWANCES

- A. Allowance shall include all costs to Contractor of specific products and materials selected by Architect under allowance and shall include material, installation, taxes, freight and delivery to Project site.

PART 2 - PRODUCTS (Not Used)

PART 3 - EXECUTION

3.1 EXAMINATION

- A. Examine products covered by an allowance promptly on delivery for damage or defects. Return damaged or defective products to manufacturer for replacement.

3.2 PREPARATION

- A. Coordinate materials and their installation for each allowance with related materials and installations to ensure that each allowance item is completely integrated and interfaced with related work.

3.3 SCHEDULE OF ALLOWANCES

- A. Allowance No. 1: Include an allowance of \$75,000.00 for unforeseen conditions.
Breakdown for each building as:
 - 1. 614 Xenia Avenue = \$5,000
 - 2. 624 Xenia Avenue = \$55,000
 - 3. 702 Xenia Avenue = \$15,000

END OF SECTION 01 2100

SECTION 14 4216 – VERTICAL WHEELCHAIR LIFTS *Revised Addendum No. 1*

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 01 Specification Sections, apply to this Section.

1.2 SUMMARY

A. Section Includes:

- 1. Enclosed vertical platform lifts.

B. Related Requirements:

- 1. Section 04 2000 "Unit Masonry" for setting sleeves, inserts, and anchoring devices in masonry.
- 2. Division 26 Electrical for dedicated telephone service, power and lighting.

1.3 DEFINITIONS AND REFERENCES

- A. Definitions in ASME A18.1 apply to Work of this Section.

B. References:

- 1. ASME A17.1 - Safety Code for Elevators and Escalators.
- 2. ASME A17.5 - Elevator and Escalator Electrical Equipment.
- 3. ASME A18.1 - Safety Standard for Platform Lifts and Stairway Chairlifts.
- 4. ICC/ANSI A117.1 - Accessible and Usable Buildings and Facilities.
- 5. NFPA 70 - National Electric Code.

1.4 ACTION SUBMITTALS

A. Product Data: For each type of product.

- 1. Include construction details, material descriptions, dimensions of individual components, and finishes for lifts.
- 2. Include rated capacities, operating characteristics, electrical characteristics, safety features, controls, finishes, and accessories.

B. Shop Drawings: For each lift.

1. Include plans, elevations, sections, attachment details, and required clearances.
2. Indicate dimensions, weights, loads, and points of load to building structure.
3. Include details of equipment assemblies, method of field assembly, components, and location and size of each field connection.
4. Include diagrams for power, signal, and control wiring.

C. Samples for Initial Selection: For surfaces and components with factory-applied color finishes.

1. Include Samples of integrally colored materials and accessories involving color selection.

1.5 CLOSEOUT SUBMITTALS

A. Operation and Maintenance Data: For each type of lift to include in operation and maintenance manuals.

1. In addition to items specified in Section 017823 "Operation and Maintenance Data," include the following:
 - a. Parts list with sources indicated.
 - b. Recommended parts inventory list.

B. Inspection and Acceptance Certificates and Operating Permits: As required by authorities having jurisdiction for normal, unrestricted use of lifts.

C. Installer Qualifications: An authorized representative who is trained and approved by manufacturer.

1.6 WARRANTY

A. Special Warranty: Manufacturer agrees to repair or replace components of lifts that fail in materials or workmanship within specified warranty period.

1. Warranty Period: Two years from date of Substantial Completion.

PART 2 - PRODUCTS

2.1 PERFORMANCE REQUIREMENTS

A. Accessibility Standard: Comply with applicable provisions in the USDOJ's "2010 ADA Standards for Accessible Design".

B. Regulatory Requirements: Comply with ASME A18.1, "Safety Standard for Platform Lifts and Stairway Chairlifts."

- C. Fire-Rated Door Assemblies: Assemblies complying with NFPA 80 that are listed and labeled by a qualified testing agency, for fire-protection ratings indicated, based on testing at as close to neutral pressure as possible according to NFPA 252 or UL 10B.

2.2 ENCLOSED VERTICAL PLATFORM LIFT

A. Manufacturers:

- 1. Acceptable Manufacturers: RAM Commercial Crystal Elevator. Model ~~CRS-800~~ **CRS 1000**.
- 2. Or approved equal by Architect.

B. Product Specifics:

- 1. Number of Stops: Two.
- 2. Rated Load: ~~800~~ **1,000** lb capacity.
- 3. Rated Speed: 30 FPM with variable speed drive.
- 4. Car Dimensions: ~~41²²~~ **42²²** wide x 61" long (or as required to a max 18 sq ft).
 - a. Option Finish: Stainless steel kick plates in car with laminate panels with stainless steel trim. Laminate color to be selected by Architect.
- 5. Operation: Constant pressure as per code.
- 6. Key Operated: Illuminated keyed call button at each landing.
- 7. Power supply: 220v/110V/1Ph/160Hz 20A breaker.
- 8. Lighting Supply: 110V/1Ph/15A.
- 9. Door Opening Type: Automatic Niagara Belco Swing Door with vision panel, 45-minute rating.
- 10. Interlocks: Maintains door in a closed and locked position when lift is not at the landing.
- 11. Emergency operation: Emergency Alarm & Manual Lowering Device. Standard manual crank for emergency raising & lowering.
- 12. Backup: Full DC Battery backup for full operation.

2.3 MATERIALS

A. Lift Components:

- 1. Guide Rails
 - a. Rigid guide rail system requires no backing plates or structural supports in the hoistway walls, and no pit.
- 2. Drive System
 - a. Traction sheave driven by 1 HP or 1.5 HP AC Motor.
 - b. Manual lowering capability.
 - c. 220V/110V Single Phase Power Supply.

- d. Drive system integrates with structural guide rail framework, requires no machine room and is located at top of shaft on guide rail system.
- e. Full Battery Backup, that will operate the carriage in both directions under full load during power failure for up to 30 cycles (1 cycle = lift traveling from bottom floor to top floor). Power requirements for this option – 110V/1PH/60hz c/w 15A fused.

2.4 GENERAL FINISH REQUIREMENTS

- A. Protect mechanical finishes on exposed surfaces from damage by applying a strippable, temporary protective covering before shipping.
- B. Appearance of Finished Work: Noticeable variations in same piece are not acceptable. Variations in appearance of adjoining components are acceptable if they are within the range of approved Samples and are assembled or installed to minimize contrast.

PART 3 - EXECUTION

3.1 EXAMINATION

- A. Examine substrates, areas, and conditions, with Installer present, for compliance with requirements for installation tolerances, critical dimensions, and other conditions affecting performance of the Work.
- B. Prepare written report, endorsed by Installer, listing conditions detrimental to performance.
- C. Proceed with installation only after unsatisfactory conditions have been corrected.

3.2 INSTALLATION

- A. General: Comply with ASME A18.1 and manufacturer's written instructions for installation of lifts unless otherwise indicated.
- B. Secure lifts to building construction as follows unless otherwise indicated:
 - 1. For concrete and solid masonry anchorage, use post-installed anchors.
 - 2. For hollow masonry anchorage, use toggle bolts.
- C. Wiring Method: Conceal conductors and cables within housings of units or building construction. Do not install conduit exposed to view in finished spaces. Bundle, lace, and route conductors to terminal points with no excess and without exceeding manufacturer's limitations on bending radii.
- D. Position sills accurately and fill space under sills solidly with nonshrink, nonmetallic grout.
- E. Coordinate platform doors with platform travel and positioning.

- F. Adjust stops for accurate stopping and leveling at each landing, within required tolerances.
- G. Lubricate operating parts of lift, including drive mechanism, guide rails, hinges, safety devices, and hardware.
- H. Test safety devices and verify smoothness of required protective enclosures and other surfaces.

3.3 FIELD QUALITY CONTROL

- A. Acceptance Testing: On completion of lift installation and before permitting use of lifts, perform acceptance tests as required and recommended by ASME A18.1 and authorities having jurisdiction.
- B. Operating Test: In addition to acceptance testing, load lifts to rated capacity and operate continuously for 30 minutes between lowest and highest landings served. Readjust stops, signal equipment, and other devices for accurate stopping and operation of system.
- C. Advise Owner, Architect, and authorities having jurisdiction in advance of dates and times tests are to be performed on lifts.

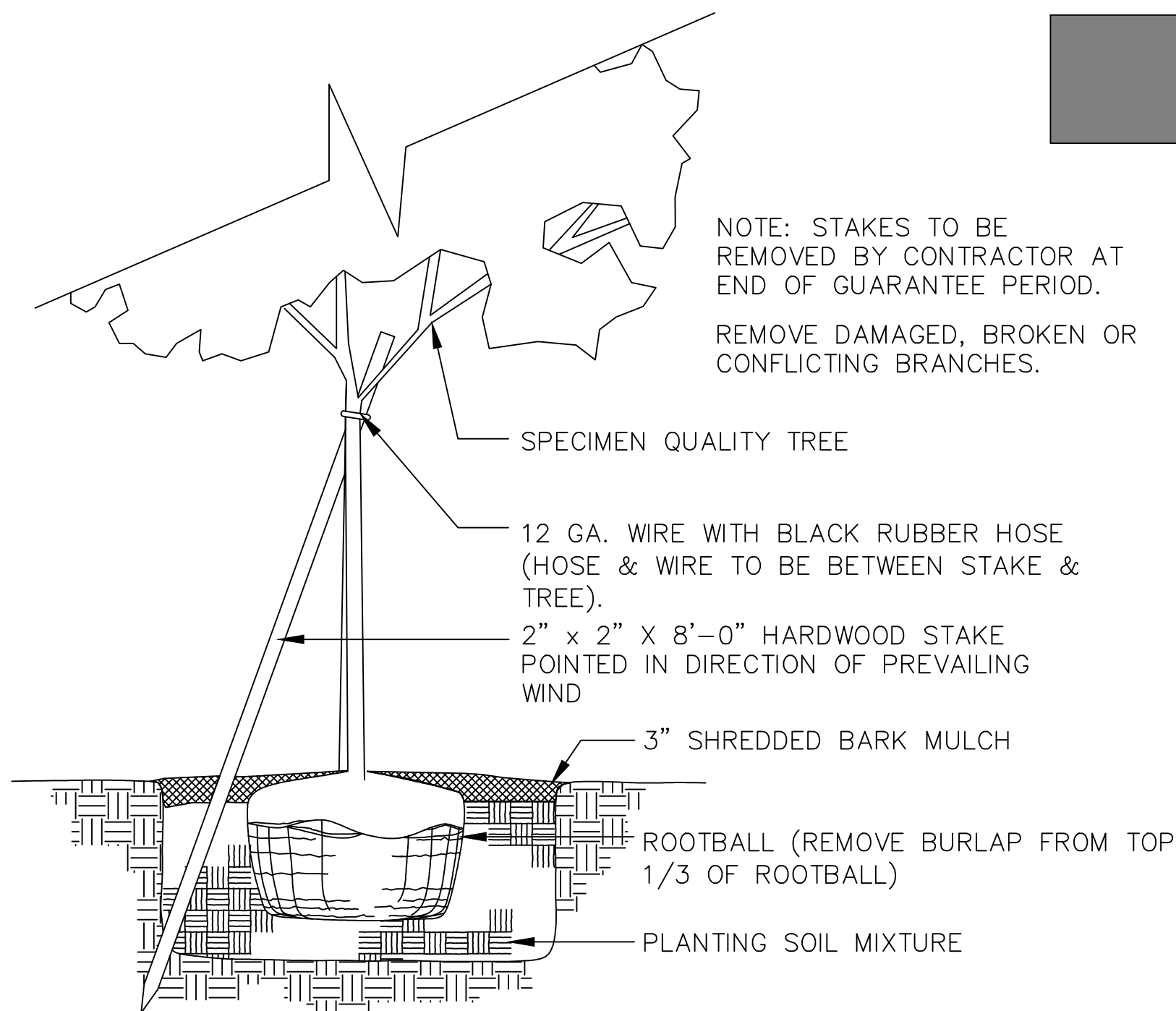
3.4 DEMONSTRATION

- A. Engage a factory-authorized service representative to train Owner's maintenance personnel to adjust, operate, and maintain lifts. Include a review of emergency systems and emergency procedures to be followed at time of operational failure and other building emergencies.
- B. Check operation of lifts with Owner's personnel present and before date of Substantial Completion. Determine that operating systems and devices are functioning properly.
- C. Check operation of lifts with Owner's personnel present not more than one month before end of warranty period. Determine that operating systems and devices are functioning properly.

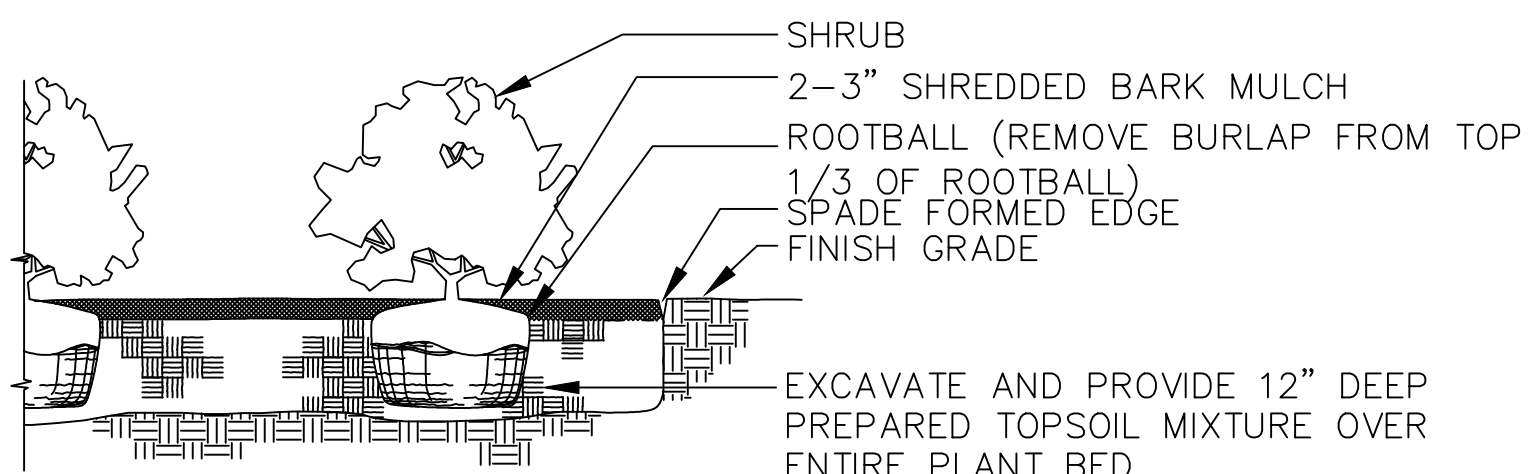
END OF SECTION 14 4216

WORK OUTLINED UNDER SEPARATE PLANSET

NOTE: STAKES TO BE REMOVED BY CONTRACTOR AT END OF GUARANTEE PERIOD.
REMOVE DAMAGED, BROKEN OR CONFLICTING BRANCHES.



TREE PLANTING DETAIL



SHRUB PLANTING DETAIL

GENERAL NOTES

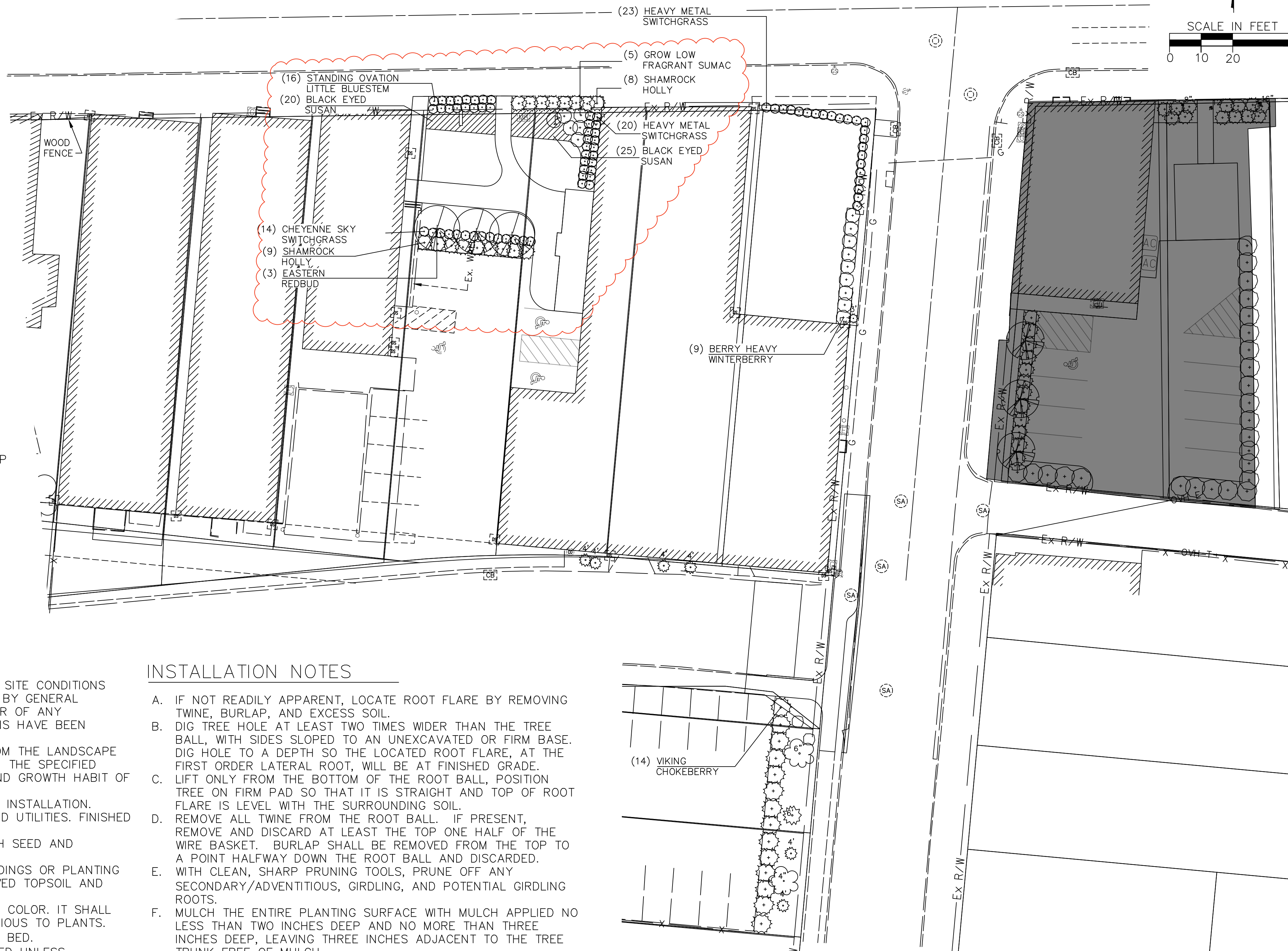
- PRIOR TO INSTALLATION, THE LANDSCAPE CONTRACTOR SHALL INSPECT THE GENERAL SITE CONDITIONS AND VERIFY THE SUBGRADE, ELEVATIONS, UTILITY LOCATIONS AND TOPSOIL PROVIDED BY GENERAL CONTRACTOR. THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE GENERAL CONTRACTOR OF ANY UNSATISFACTORY CONDITIONS AND WORK SHALL NOT PROCEED UNTIL SUCH CONDITIONS HAVE BEEN CORRECTED AND ARE ACCEPTABLE TO THE LANDSCAPE CONTRACTOR.
- SUBSTITUTIONS SHALL BE PERMITTED WITH NOTIFICATION AND WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT. SUBSTITUTED MATERIAL SHALL BE EQUIVALENT OR GREATER IN SIZE THAN THE SPECIFIED PLANT. SUBSTITUTED PLANTS SHALL HAVE THE SAME ESSENTIAL CHARACTERISTICS AND GROWTH HABIT OF THE SPECIFIED PLANT.
- CONFIRM LOCATION OF ALL UTILITIES AND SUBSURFACE DRAIN LINES PRIOR TO PLANT INSTALLATION.
- CONTRACTOR MAY SLIGHTLY FIELD ADJUST PLANT LOCATIONS AS NECESSARY TO AVOID UTILITIES. FINISHED PLANTING BEDS SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE.
- CONTRACTOR SHALL REPAIR ALL LAWN AREAS DISTURBED DURING CONSTRUCTION WITH SEED AND WARRANT A HEALTHY, WEED FREE LAWN PRIOR TO PROJECT ACCEPTANCE.
- SEED ALL AREAS WITHIN CONTRACT LIMITS THAT ARE NOT COVERED BY PAVING, BUILDINGS OR PLANTING BEDS UNLESS OTHERWISE NOTED. SEEDING SHALL NOT BEGIN UNTIL AREA HAS RECEIVED TOPSOIL AND FINISHED GRADE.
- MULCH PLANTING BEDS WITH SHREDDED HARDWOOD MULCH OF UNIFORM DARK BROWN COLOR. IT SHALL BE FREE OF TWIGS, LEAVES DISEASE, PEST OR OTHER MATERIAL UNSIGHTLY OR INJURIOUS TO PLANTS. AVERAGE APPLIED THICKNESS SHALL BE 3" DEPTH. MULCH HEDGES IN A CONTINUOUS BED.
- BED EDGE SHALL BE SMOOTH, CONSISTENT, HAND TRENCHED 6" DEEP AND "V" SHAPED UNLESS OTHERWISE NOTED. ALL EXCAVATED MATERIAL SHALL BE REMOVED FROM THE BED EDGE AND PLANTING BED.
- ALL PLANTING BED EDGES TO BE SMOOTH FLOWING ARCS OR STRAIGHT LINES AS SHOWN ON PLAN.
- INSTALL ALL PLANTS IN ACCORDANCE WITH PLANING DETAILS AND SPECIFICATIONS.
- PARKING LOT AND STREET TREES SHALL HAVE A CLEAR CANOPY HEIGHT OF 6' MIN.
- TREE SHALL BE PLACED A MINIMUM OF 3' FROM SIDEWALKS AND CURBS.
- LAWN AREAS TO BE BACKFILLED WITH TOPSOIL TO A MINIMUM SETTLED THICKNESS OF 6 INCHES.
- CONTRACTOR TO DETERMINE PLANT LIST QUANTITIES FROM THE PLAN. GRAPHIC REPRESENTATION ON PLAN SUPERSEDES IN CASE OF DISCREPANCY WITH QUANTITIES ON SCHEDULE.
- CONTRACTOR SHALL THOROUGHLY WATER ALL PLANTS AT TIME OF INSTALLATION AND AS NEEDED UNTIL PROJECT ACCEPTANCE BY OWNER. CONTRACTOR SHALL GUARANTEE ALL PLANTS INSTALLED FOR ONE FULL YEAR FROM DATE OF ACCEPTANCE BY THE OWNER. ALL PLANTS SHALL BE ALIVE AND AT A VIGOROUS RATE OF GROWTH AT THE END OF GUARANTEE PERIOD.

INSTALLATION NOTES

- IF NOT READILY APPARENT, LOCATE ROOT FLARE BY REMOVING TWINE, BURLAP, AND EXCESS SOIL.
- DIG TREE HOLE AT LEAST TWO TIMES WIDER THAN THE TREE BALL, WITH SIDES SLOPED TO AN UNEXCAVATED OR FIRM BASE. DIG HOLE TO A DEPTH SO THE LOCATED ROOT FLARE, AT THE FIRST ORDER LATERAL ROOT, WILL BE AT FINISHED GRADE.
- LIFT ONLY FROM THE BOTTOM OF THE ROOT BALL, POSITION TREE ON FIRM PAD SO THAT IT IS STRAIGHT AND TOP OF ROOT FLARE IS LEVEL WITH THE SURROUNDING SOIL.
- REMOVE ALL TWINE FROM THE ROOT BALL. IF PRESENT, REMOVE AND DISCARD AT LEAST THE TOP ONE HALF OF THE WIRE BASKET. BURLAP SHALL BE REMOVED FROM THE TOP TO A POINT HALFWAY DOWN THE ROOT BALL AND DISCARDED.
- WITH CLEAN, SHARP PRUNING TOOLS, PRUNE OFF ANY SECONDARY/ADVENTITIOUS, GIRDLING, AND POTENTIAL GIRDLING ROOTS.
- MULCH THE ENTIRE PLANTING SURFACE WITH MULCH APPLIED NO LESS THAN TWO INCHES DEEP AND NO MORE THAN THREE INCHES DEEP, LEAVING THREE INCHES ADJACENT TO THE TREE TRUNK FREE OF MULCH.
- SPECIES AND SIZE IDENTIFIED IN PLANT SCHEDULE, GROWN IN CLIMATIC CONDITIONS SIMILAR TO THOSE IN LOCALITY OF THE WORK.
- PROVIDE HEALTHY, SOUND, VIGOROUS PLANT MATERIALS, FREE FROM PLANT DISEASES, INSPECT PESTS, HEALTHY WELL-DEVELOPED ROOT SYSTEMS, FRESHLY DUG, NURSERY GROWN, WELL-BRANCHED, DENSELY FOLIATED WHEN IN LEAF AND WELL-PROPORTIONED, PARTICULARLY WITH RESPECT TO THE WIDTH-HEIGHT RELATIONSHIP.
- DAMAGED OR BROKEN BRANCHES, BROKEN BALL AND LOOSE TOP BALL ARE.
- SET PLANTS IN CENTER OF HOLE, PLUMB AND STRAIGHT. REMOVE 1/3 TOP OF BURLAP (IF APPLICABLE).
- SATURATE SOIL WITH WATER WHEN THE HOLE IS HALF FULL OF TOPSOIL AND AGAIN WHEN FULL.
- DO NOT INSTALL PLANT LIFE WHEN AMBIENT TEMPERATURES MAY DROP BELOW 35 DEGREES F OR RISE ABOVE 90 DEGREES F.

PLANTING SCHEDULE

QTY.	COMMON NAME	BOTANICAL NAME	SIZE	ROOT
TREES				
3	EASTERN REDBUD	AMELANCHIER 'AUTUMN BRILLIANCE'	2" CAL.	B&B
SHRUBS/GRASSES				
14	VIKING CHOKEBERRY	ARONIA M. 'VIKING'	24" SPR.	B&B
43	HEAVY METAL SWITCHGRASS	PANICUM V. 'HEAVY METAL'	CLUMP	NO. 2 CONT.
17	SHAMROCK HOLLY	ILEX G. 'SHAMROCK'	18" SPR.	NO. 3 CONT.
5	GROW LOW FRAGRANT SUMAC	RHUS AROMATICA 'GROW LOW'	24" SPR.	NO. 5 CONT.
16	STANDING OVATION LITTLE BLUESTEM	SCHIZACHYRIUM S. 'STANDING OVATION'	CLUMP	NO. 2 CONT.
14	CHEYENNE SKY SWITCHGRASS	PANICUM V. 'CHEYENNE SKY'	CLUMP	NO. 2 CONT.
45	BLACK EYED SUSAN	RUDBECKIA	CLUMP	NO. 2 CONT.
9	BERRY HEAVY WINTERBERRY	ILEX VERTICILLATA 'BERRY HEAVY'	24" SPR.	NO. 5 CONT.

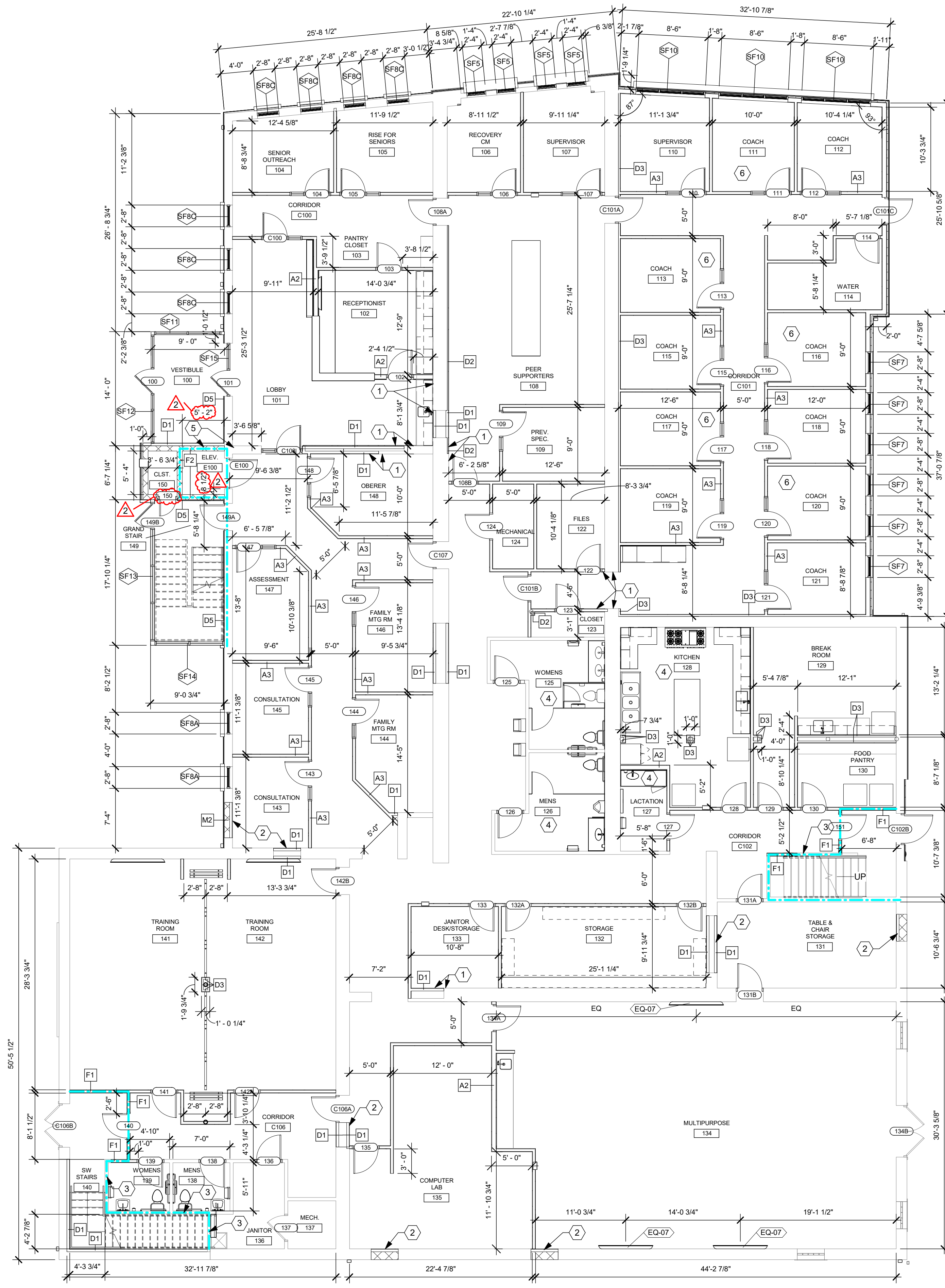


ISSUE	
DATE	DESCRIPTION
12/07/23	FOR CONSTRUCTION
12/22/23	ADDENDUM 1

DATE	12-07-2023
JOB NO.	4132.00
DRAWN	JLH
CHECKED	MSK
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TITLE	LANDSCAPE PLAN

DOOR AND FRAME SCHEDULE

ROOM NAME	HDW. SET	DOOR							FRAME							FIRE RTG.	REMARKS
		SIZE			MAT.	TYPE	FIN.	U/C	MAT.	TYPE	FIN.	DETAILS					
		W	H	T								JAMB	HEAD	SILL			
100 VESTIBULE	1	3'-0"	7'-0"	1 3/4"	ALUM	AL1	ALUM	ALUM	ANODIZED	-	-	-	-	-	-	6	
101 VESTIBULE	1	3'-0"	7'-0"	1 3/4"	ALUM	AL1	ALUM	ALUM	ANODIZED	F2/A0.6	F1/A0.6	F6/A0.7	-	-	-	4,6	
102 RECEPTIONIST	20	3'-0"	7'-0"	1 3/4"	WD	NL1	ALUM	ALUM	2	ANODIZED	B2/A0.9	D1/A0.9	-	-	-	14	
103 RECEPTIONIST	13	3'-0"	7'-0"	1 3/4"	WD	NL1	ALUM	ALUM	2	ANODIZED	D2/A0.9	D1/A0.9	-	-	-	7	
104 SENIOR OUTREACH	19	3'-0"	7'-0"	1 3/4"	WD	FG1	ALUM	ALUM	3	ANODIZED	D2/A0.9, C1/A0.9	D1/A0.9	C2/A0.09	-	-	7	
105 RISE FOR SENIORS	19	3'-0"	7'-0"	1 3/4"	WD	FG1	ALUM	ALUM	3	ANODIZED	D2/A0.9, C1/A0.9	D1/A0.9	C2/A0.09	-	-	7	
106 RECOVERY CM	19	3'-0"	7'-0"	1 3/4"	WD	FG1	ALUM	ALUM	3	ANODIZED	D2/A0.9, C1/A0.9	D1/A0.9	C2/A0.09	-	-	7	
107 SUPERVISOR	19	3'-0"	7'-0"	1 3/4"	WD	FG1	ALUM	ALUM	3	ANODIZED	D2/A0.9, C1/A0.9	D1/A0.9	C2/A0.09	-	-	7	
108A PEER SUPPORTERS	14	3'-0"	7'-0"	1 3/4"	WD	NL1	ALUM	ALUM	2	ANODIZED	E2/A0.7	E1/A0.9	-	-	-	8	
108B PEER SUPPORTERS	4	3'-0"	7'-0"	1 3/4"	WD	NL1	ALUM	ALUM	2	ANODIZED	D2/A0.9	D1/A0.9	-	-	-	7	
109 PREV. SPEC.	19	3'-0"	7'-0"	1 3/4"	WD	FG1	ALUM	ALUM	3	ANODIZED	D2/A0.9, C1/A0.9	D1/A0.9	C2/A0.09	-	-	7	
110 SUPERVISOR	19	3'-0"	7'-0"	1 3/4"	WD	FG1	ALUM	ALUM	3	ANODIZED	D2/A0.9, C1/A0.9	D1/A0.9	C2/A0.09	-	-	7	
111 COACH	19	3'-0"	7'-0"	1 3/4"	WD	FG1	ALUM	ALUM	3	ANODIZED	D2/A0.9, C1/A0.9	D1/A0.9	C2/A0.09	-	-	7	
112 COACH	19	3'-0"	7'-0"	1 3/4"	WD	FG1	ALUM	ALUM	3	ANODIZED	D2/A0.9, C1/A0.9	D1/A0.9	C2/A0.09	-	-	7	
113 COACH	19	3'-0"	7'-0"	1 3/4"	WD	FG1	ALUM	ALUM	3	ANODIZED	D2/A0.9, C1/A0.9	D1/A0.9	C2/A0.09	-	-	7	
114 WATER	6	3'-0"	7'-0"	1 3/4"	WD	F1	ALUM	ALUM	2	ANODIZED	D2/A0.9	D1/A0.9	-	-	-	7	
115 COACH	19	3'-0"	7'-0"	1 3/4"	WD	FG1	ALUM	ALUM	3	ANODIZED	D2/A0.9, C1/A0.9	D1/A0.9	C2/A0.09	-	-	7	
116 COACH	19	3'-0"	7'-0"	1 3/4"	WD	FG1	ALUM	ALUM	3	ANODIZED	D2/A0.9, C1/A0.9	D1/A0.9	C2/A0.09	-	-	7	
117 COACH	19	3'-0"	7'-0"	1 3/4"	WD	FG1	ALUM	ALUM	3	ANODIZED	D2/A0.9, C1/A0.9	D1/A0.9	C2/A0.09	-	-	7	
118 COACH	19	3'-0"	7'-0"	1 3/4"	WD	FG1	ALUM	ALUM	3	ANODIZED	D2/A0.9, C1/A0.9	D1/A0.9	C2/A0.09	-	-	7	
119 COACH	19	3'-0"	7'-0"	1 3/4"	WD	FG1	ALUM	ALUM	3	ANODIZED	D2/A0.9, C1/A0.9	D1/A0.9	C2/A0.09	-	-	7	
120 COACH	19	3'-0"	7'-0"	1 3/4"	WD	FG1	ALUM	ALUM	3	ANODIZED	D2/A0.9, C1/A0.9	D1/A0.9	C2/A0.09	-	-	7	
121 COACH	19	3'-0"	7'-0"	1 3/4"	WD	FG1	ALUM	ALUM	3	ANODIZED	D2/A0.9, C1/A0.9	D1/A0.9	C2/A0.09	-	-	7	
122 FILES	19	3'-0"	7'-0"	1 3/4"	WD	F1	ALUM	ALUM	2	ANODIZED	D2/A0.9	D1/A0.9	-	-	-	7	
123 CLOSET	15	3'-0"	7'-0"	1 3/4"	WD	F1	ALUM	ALUM	2	ANODIZED	D2/A0.9	D1/A0.9	-	-	-	7	
124 MECHANICAL	7	3'-0"	7'-0"	1 3/4"	WD	F1	ALUM	ALUM	2	ANODIZED	D2/A0.9	D1/A0.9	-	-	-	7	
125 WOMENS	17	3'-0"	7'-0"	1 3/4"	WD	F1	ALUM	ALUM	2	ANODIZED	F2/A0.9	F1/A0.9	-	-	-	3,9	
126 MENS	17	3'-0"	7'-0"	1 3/4"	WD	F1	ALUM	ALUM	2	ANODIZED	F2/A0.9	F1/A0.9	-	-	-	2,9	
127 LACTATION	22	3'-0"	7'-0"	1 3/4"	WD	F1	ALUM	ALUM	2	ANODIZED	D2/A0.9	D1/A0.9	-	-	-	5,7	
128 KITCHEN	14	3'-0"	7'-0"	1 3/4"	WD	NL1	ALUM	ALUM	2	ANODIZED	D2/A0.9	D1/A0.9	-	-	-	7	
129 BREAK ROOM	14	3'-0"	7'-0"	1 3/4"	WD	NL1	ALUM	ALUM	2	ANODIZED	D2/A0.9	D1/A0.9	-	-	-	7	
130 BREAK ROOM	9	3'-0"	7'-0"	1 3/4"	WD	F1	ALUM	ALUM	2	ANODIZED	D2/A0.9	D1/A0.9	-	-	-	7	
131A TABLE & CHAIR STORAGE	9	3'-0"	7'-0"	1 3/4"	WD	F1	ALUM	ALUM	2	ANODIZED	F2/A0.9	F1/A0.9	-	-	-	9	
131B TABLE & CHAIR STORAGE	2	3'-0"	7'-0"	1 3/4"	WD	F1	ALUM	ALUM	2	ANODIZED	E2/A0.9	E1/A0.9	-	-	-	8	
132A STORAGE	4	3'-0"	7'-0"	1 3/4"	WD	F1	ALUM	ALUM	2	ANODIZED	D2/A0.9	D1/A0.9	-	-	-	7	
132B STORAGE	9	3'-0"	7'-0"	1 3/4"	WD	F1	ALUM	ALUM	2	ANODIZED	D2/A0.9	D1/A0.9	-	-	-	7	
133 JANITOR DESK/STORAGE	9	3'-0"	7'-0"	1 3/4"	WD	F1	ALUM	ALUM	2	ANODIZED	D2/A0.9	D1/A0.9	-	-	-	7	
134A MULTIPURPOSE	20	3'-0"	7'-0"	1 3/4"	WD	NL1	ALUM	ALUM	2	ANODIZED	B2/A0.9	B1/A0.9	-	-	-	14	
134B MULTIPURPOSE	10	6'-0"	6'-8"	1 3/4"	EX	EX	HM	EX	EP-4/EP-5	B6/A0.6	B4/A0.6	-	-	-	4		
135 COMPUTER LAB	20	3'-0"	7'-0"	1 3/4"	WD	NL1	ALUM	ALUM	2	ANODIZED	D2/A0.9	D1/A0.9	-	-	-	7	
136 JANITOR	7	3'-0"	7'-0"	1 3/4"	WD	F1	ALUM	ALUM	2	ANODIZED	F2/A0.9	F1/A0.6	-	-	-	9	
137 MECH.	5	3'-0"	7'-0"	1 3/4"	WD	F1	EX	EX	EX	EX	-	-	-	-	-	11	
138 MENS	23	3'-0"	7'-0"	1 3/4"	WD	F1	ALUM	ALUM	2	ANODIZED	F2/A0.9	F1/A0.6	-	-	-	2,9	
139 WOMENS	23	3'-0"	7'-0"	1 3/4"	WD	F1	ALUM	ALUM	2	ANODIZED	F2/A0.9	F1/A0.6	-	-	-	3,9	
140 SW STAIRS	13	3'-0"	7'-0"	1 3/4"	WD	F1	ALUM	ALUM	2	ANODIZED	F2/A0.9	F1/A0.9	-	-	45 MIN.	4,10	
141 TRAINING ROOM	20	3'-0"	7'-0"	1 3/4"	WD	NL1	ALUM	ALUM	2	ANODIZED	D2/A0.9	D1/A0.9	-	-	-	7	
142A TRAINING ROOM	20	3'-0"	7'-0"	1 3/4"	WD	NL1	ALUM	ALUM	2	ANODIZED	D2/A0.9	D1/A0.9	-	-	-	7	
142B TRAINING ROOM	20	3'-0"	7'-0"	1 3/4"	WD	NL1	ALUM	ALUM	2	ANODIZED	E2/A0.9	E1/A0.9	-	-	-	8	
143 CONSULTATION	21	3'-0"	7'-0"	1 3/4"	WD	F1	ALUM	ALUM	3	ANODIZED	D2/A0.9, C1/A0.9	D1/A0.9	C2/A0.09	-	-	7	
144 FAMILY MTG RM	21	3'-0"	7'-0"	1 3/4"	WD	F1	ALUM	ALUM	3	ANODIZED	D2/A0.9, C1/A0.9	D1/A0.9	C2/A0.09	-	-	7	
145 CONSULTATION	21	3'-0"	7'-0"	1 3/4"	WD	F1	ALUM	ALUM	3	ANODIZED	D2/A0.9, C1/A0.9	D1/A0.9	C2/A0.09	-	-	7	
146 FAMILY MTG RM	21	3'-0"	7'-0"	1 3/4"	WD	F1	ALUM	ALUM	3	ANODIZED	D2/A0.9, C1/A0.9	D1/A0.9	C2/A0.09	-	-	7	
147 ASSESSMENT	21	3'-0"	7'-0"	1 3/4"	WD	F1	ALUM	ALUM	3	ANODIZED	D2/A0.9, C1/A0.9	D1/A0.9	C2/A0.09	-	-	7	
148 OBERER	19	3'-0"	7'-0"	1 3/4"	WD	F1	ALUM	ALUM	3	ANODIZED	D2/A0.9, C1/A0.9	D1/A0.9	C2/A0.09	-	-	7	
149A GRAND STAIR	12	3'-0"	7'-0"	1 3/4"	HM	NL1	HM	1	EP-3/EP-5	F2/A0.6	F1/A0.6	-	-	45 MIN.	4,15		
149B GRAND STAIR	8	3'-0"	7'-0"	1 3/4"	ALUM	AL1	ALUM	-	ANODIZED	E6/A0.6, D1/A0.7	E7/A0.6	F7/A0.6	-	-	6		
150 CLST.	6	3'-0"	7'-0"	1 3/4"	HM	F12	HM	1	EP-3	D2/A0.6	D1/A0.6	-	-	-	15		
151 STAIR EX.	12	3'-0"	7'-0"	1 3/4"	WD	F1	ALUM	ALUM	2	ANODIZED	F2/A0.9	F1/A0.9	-	-	45 MIN.	4,10	
201 GRAND STAIR	12	3'-0"	7'-0"	1 3/4"	HM	NL1	HM	1	EP-3/EP-5	F2/A0.6	F1/A0.6	-	-	45 MIN.	4,15		
201A CLST.	7	3'-0"	7'-0"	1 3/4"	HM	F12	HM	1	EP-3	D2/A0.6	D1/A0.6	-	-	-	15		
202 H&WB DIRECTOR	19	3'-0"	7'-0"	1 3/4"	WD	F1	ALUM	ALUM	3	ANODIZED	D2/A0.9, C1/A0.9	D1/A0.9	C2/A0.09	-	-	7	
203A CLOSET	15	3'-0"	7'-0"	1 3/4"	WD	F1	ALUM	ALUM	2	ANODIZED	D2/A0.9	D1/A0.9	-	-	-	7	
203B CLOSET	15	3'-0"	7'-0"	1 3/4"	WD	F1	ALUM	ALUM	2	ANODIZED	D2/A0.9	D1/A0.9	-	-	-	7	
204 DEVELOPMENT DIRECTOR	19	3'-0"	7'-0"	1 3/4"	WD	F1	ALUM	ALUM	3	ANODIZED	D2/A0.9, C1/A0.9	D1/A0.9	C2/A0.09	-	-	7	
205 COMMUNITY DEV. DIRECTOR	19	3'-0"	7'-0"	1 3/4"	WD	F1	ALUM	ALUM	3	ANODIZED	D2/A0.9, C1/A0.9	D1/A0.9	C2/A0.09	-	-	7	
206 ADMIN MTG.	23	3'-0"	7'-0"	1 3/4"	WD	NL1	ALUM	ALUM	2	ANODIZED	F2/A0.9	F1/A0.9	-	-	-	9	
207 DATA	4	3'-0"	7'-0"	1 3/4"	WD	F1	ALUM	ALUM	2	ANODIZED	D2/A0.9	D1/A0.9	-	-	-	7	
208 STORAGE	11	3'-0"	7'-0"	1 3/4"	WD	F1	ALUM	ALUM	2	ANODIZED	F2/A0.9	F1/A0.9	-	-	45 MIN.	10	
209 SOLARMECH	06A	3'-0"	7'-0"	1 3/4"	EX	EX	EX	EX	EP-5	-	-	-	-	-	-	-	
210 WORKFORCE DIRECTOR	19	3'-0"	7'-0"	1 3/4"	WD	F1	ALUM	ALUM	3	ANODIZED	D2/A0.9, C1/A0.9	D1/A0.9	C2/A0.09	-	-	7	
211 RR	23	3'-0"	7'-0"	1 3/4"	WD	F1	ALUM	ALUM	2	ANODIZED	D2/A0.9	D1/A0.9	-	-	-	1,7	
212 RR	23	3'-0"	7'-0"	1 3/4"	WD	F1	ALUM	ALUM	2	ANODIZED	D2/A0.9	D1/A0.9	-	-	-	1,7	
213 JAN.	16	3'-0"	7'-0"	1 3/4"	WD	F1	ALUM	ALUM	2	ANODIZED	D2/A0.9	D1/A0.9	-	-	-	7	
215 EXECUTIVE DIRECTOR	18	3'-0"	7'-0"	1 3/4"	WD	F1	ALUM	ALUM	3	ANODIZED	D2/A0.9, C1/A0.9	D1/A0.9	C2/A0.09	-	-	7	
216 MARKETING MGR.	19	3'-0"	7'-0"	1 3/4"	WD	F1	ALUM	ALUM	3	ANODIZED	D2/A0.9, C1/A0.9	D1/A0.9	C2/A0.09	-	-	7	
217 DEPUTY ED	19	3'-0"	7'-0"	1 3/4"	WD	F1	ALUM	ALUM	3	ANODIZED	D2/A0.9, C1/A0.9	D1/A0.9	C2/A0.09	-			



F2 FIRST FLOOR NEW WORK DIMENSION PLAN
1/8" = 1'-0"

GENERAL NOTES

- A. A. LEGEND, TYPICAL:
CR = CARD READER
- B. NEW EASED EDGE SOLID SURFACE (SSM-1) WINDOW SILL BY G.C. AT ALL WINDOWS.
- C. NEW ROLLER SHADES TO BE PROVIDED AND INSTALLED AT ALL EXTERIOR WINDOWS (CFCI).
- D. PROVIDE AND MAINTAIN NEGATIVE AIR PRESSURE DURING CONSTRUCTION ACTIVITIES. COORDINATE WITH HVAC CONTRACTOR. REFER TO SPECIFICATION SECTION 01 5000 AND MECHANICAL DRAWINGS.
- E. REPAIR, LEVEL AND PREPARE EXISTING SUBFLOORS AND SLABS TO RECEIVE NEW FLOOR FINISH, INCLUDING AREAS WHERE OLD EXISTING WALLS ARE REMOVED. SUBFLOORS ARE CONCRETE ON FIRST FLOOR AND PLYWOOD ON SECOND FLOOR.
- F. INSTALL SOLID WOOD BLOCKING IN WALLS BEHIND WALL-MOUNTED ITEMS INCLUDING CASEWORK, RAILINGS, TOILET ACCESSORIES, ETC.
- G. IT IS INTENDED THAT THE CONSTRUCTION DOCUMENTS INDICATE A NEW FINISH ON ALL EXPOSED SURFACES OF THE AREA OF WORK. WHERE A SPECIFIC FINISH IS NOT INDICATED, THE CONTRACTOR SHALL PROVIDE THE FINISH INDICATED FOR OTHER SIMILAR SURFACES.
- H. EXISTING WALL SURFACES TO RECEIVE NEW SCHEDULED FINISHES SHALL BE PREPARED IN A MANNER ACCEPTABLE TO THE FINISH MANUFACTURER.
- I. CONTRACTORS SHALL PATCH AND REPAIR WALLS AT ALL ABANDONED UTILITIES (E.G. LIGHT SWITCHES, OUTLETS, FIRE ALARM, ETC.) FILL VOID WITH COMPATIBLE FILLER MATERIAL AND FINISH FLUSH WITH EXISTING FACE OF WALL. COORDINATE WITH P.M.E DRAWINGS.
- J. ALL CUTTING AND PATCHING SHALL BE PROVIDED BY THE TRADE REQUIRING THE NEW OPENING OR NEEDING TO PATCH AN OPENING WHERE A SERVICE IS REMOVED EXCEPT WHERE SPECIFICALLY NOTED OTHERWISE.
- K. WHERE FINISH FLOOR MATERIALS OF DIFFERENT THICKNESS COME TOGETHER, INSTALL ALUMINUM TERMINATION STRIPS. LOCATE CHANGES IN MATERIAL OR DIRECTION AT OPENINGS (UNDER DOORS).
- L. EXISTING FLOORING IS A COMBINATION OF CONCRETE (FIRST FLOOR) AND PLYWOOD (SECOND FLOOR) SUBFLOORING. RE-SECURE ANY LOOSE PLYWOOD SHEATHING AND REPLACE DAMAGED SHEATHING. FOR BIDDING PURPOSES CONSIDER 25% OF THE EXISTING PLYWOOD SUBFLOORING TO REMAIN TO NEED REPLACED.
- M. IN PREPARATION FOR NEW FLOORING, SEVERAL AREAS OF THE FLOOR WILL REQUIRE INSTALLATION OF A SELF-LEVELING CEMENTITIOUS UNDERLAYMENT. FLOOR CONDITIONS ARE UNKNOWN UNTIL EXISTING FINISHED FLOORING IS REMOVED. FOR BIDDING PURPOSES CONSIDER 50% OF THE FLOOR AREA FOR INSTALLATION OF CEMENTITIOUS UNDERLAYMENT. WHERE REQUIRED, LEVEL EXISTING WOOD OR CONCRETE AREAS WITH CEMENTITIOUS UNDERLAYMENT SIKALevel-315 OR APPROVED EQUAL. PRIME SUBSTRATE WITH APPROPRIATE PRIMER - SIKALevel-01 OR SIKALevel-02 OR APPROVED EQUAL.
- N. REFER TO HVAC DRAWINGS FOR NOTES REGARDING ALLOWING OPENINGS IN NEW WALLS ABOVE CEILING FOR PLENUM RETURN AIR.
- O. INTERIOR DIMENSIONS ARE FROM FINISHED FACE TO FINISHED FACE UNLESS NOTED OTHERWISE.
- P. EXTERIOR DIMENSIONS ARE FROM EXTERIOR OF STRUCTURE TO EXTERIOR OF STRUCTURE UNLESS NOTED OTHERWISE.
- Q. ALL NEW WALLS ARE TYPE A1 UNLESS NOTED OTHERWISE.

CONSTRUCTION NOTES

- (00) INDICATES CONSTRUCTION NOTE.
- 1 ALIGN.
- 2 INFILL OPENING. ALIGN WITH ADJACENT SURFACES.
- 3 EXISTING WALL. VERIFY CONSTRUCTION MEETS CONDITIONS SIMILAR TO WALL TYPE "F1". FIRE CAULK ALL PENETRATIONS WITH UL OR FM TESTED ASSEMBLIES.
- 4 REFER TO ENLARGED PLANS FOR MORE DIMENSIONS.
- 5 NEW CMU WALL TO BE ALIGNED WITH EXISTING CMU WALL.
- 6 TYPE A1 WALLS UP TO STRUCTURE ABOVE WITH 5/8" GYP. BD. ATTACHED TO BOTTOM OF TRUSS THIS ROOM.

PHASING NOTES

- A. CONTRACTORS SHALL THOROUGHLY PLAN AND SCHEDULE ACTIVITIES TO MAINTAIN THE OFFICE FUNCTIONS AND COMPLETE THE WORK AS EXPEDITIOUSLY AS POSSIBLE. SUGGESTIONS AS TO MODIFICATIONS OF PHASING TO IMPROVE CONSTRUCTION ARE ENCOURAGED.
- B. ADDITIONAL CONSTRUCTION BARRIERS AT VARIOUS LOCATIONS MAY BE REQUIRED TO ADDRESS ACCESS CONCERNS IN CONSTRUCTION AREAS. WHERE APPLICABLE, EXISTING PARTITIONS AND NEW PARTITIONS MAY BE USED FOR THIS PURPOSE.
- C. MAINTAIN CONSTANT NEGATIVE AIR PRESSURE WITH HEPA FILTRATION IN CONSTRUCTION AREAS. REVIEW AREA WITH OWNER TO DETERMINE THE MOST APPROPRIATE AND LEAST COSTLY METHOD OF MAINTAINING NEGATIVE AIR PRESSURE. IT IS IMPERATIVE THAT ACOUSTIC SOUND SEALS ARE MAINTAINED ON EACH DOOR SEPARATING WORK AREAS FROM OCCUPIED AREAS.
- D. MAINTAIN MEANS OF EGRESS AT ALL TIMES DURING CONSTRUCTION.
- E. A TEMPORARY DUST BARRIER AROUND CONSTRUCTION AREAS CONSISTS OF METAL STUDS AND 5/8" GYPSUM BOARD. PAINT OCCUPIED SIDE TO MATCH SURROUNDING AREA. PROVIDE TEMPORARY DOOR AS REQUIRED. COORDINATE ADDITIONAL REQUIREMENTS, EXTENT & LOCATION WITH OWNER.
- F. TEMPORARY SEPARATION BETWEEN OCCUPIED SPACES AND CONSTRUCTION SHOULD MEET THE REQUIREMENTS OF NFPA 241, STANDARDS FOR SAFEGUARDING CONSTRUCTION, ALTERATION, AND DEMOLITION OPERATIONS, 2009.

APP Architecture
creative focused design

615 Woodside Drive, Englewood, Ohio 45322
T 937.836.8898 F 937.832.3696
www.app-arch.com

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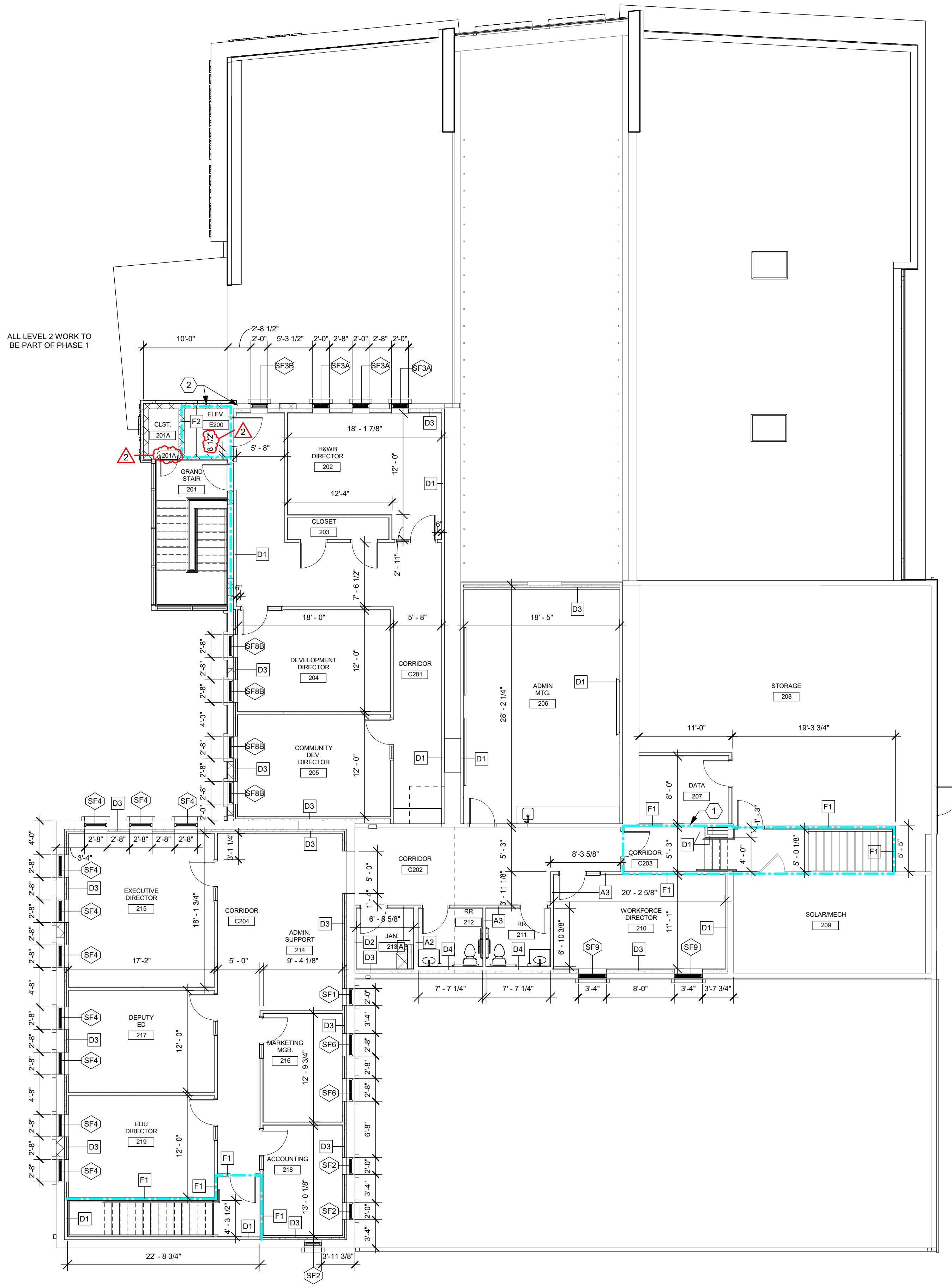
ISSUE		
NO.	DATE	DESCRIPTION
1	12/07/23	FOR CONSTRUCTION
2	12/22/2023	ADDENDUM 1

DATE	12/07/2023
JOB NO.	4132.00
DRAWN	KE/MM/AE
CHECKED	CMS/TJB

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TITLE
FIRST FLOOR DIMENSION PLAN

SHEET NO.
A1.3



F3 SECOND FLOOR (LEVEL 2C) - NEW WORK DIMENSION PLAN
1/8" = 1'-0"

GENERAL NOTES

- A. A. LEGEND, TYPICAL:
CR = CARD READER
- B. NEW EASED EDGE SOLID SURFACE (SSM-1) WINDOW SILL BY G.C. AT ALL WINDOWS.
- C. NEW ROLLER SHADES TO BE PROVIDED AND INSTALLED AT ALL EXTERIOR WINDOWS (CFCI).
- D. PROVIDE AND MAINTAIN NEGATIVE AIR PRESSURE USING HEPA FILTRATION UNITS DURING CONSTRUCTION ACTIVITIES. COORDINATE WITH HVAC CONTRACTOR. REFER TO SPECIFICATION SECTION 01 5000 AND MECHANICAL DRAWINGS.
- E. REPAIR, LEVEL AND PREPARE EXISTING SUBFLOORS AND SLABS TO RECEIVE NEW FLOOR FINISH, INCLUDING AREAS WHERE OLD EXISTING WALLS ARE REMOVED. SUBFLOORS ARE CONCRETE ON FIRST FLOOR AND PLYWOOD ON SECOND FLOOR.
- F. INSTALL SOLID WOOD BLOCKING IN WALLS BEHIND WALL-MOUNTED ITEMS INCLUDING CASEWORK, RAILINGS, TOILET ACCESSORIES, ETC.
- G. IT IS INTENDED THAT THE CONSTRUCTION DOCUMENTS INDICATE A NEW FINISH ON ALL EXPOSED SURFACES OF THE AREA OF WORK. WHERE A SPECIFIC FINISH IS NOT INDICATED, THE CONTRACTOR SHALL PROVIDE THE FINISH INDICATED FOR OTHER SIMILAR SURFACES.
- H. EXISTING WALL SURFACES TO RECEIVE NEW SCHEDULED FINISHES SHALL BE PREPARED IN A MANNER ACCEPTABLE TO THE FINISH MANUFACTURER.
- I. CONTRACTORS SHALL PATCH AND REPAIR WALLS AT ALL ABANDONED UTILITIES (E.G. LIGHT SWITCHES, OUTLETS, FIRE ALARM, ETC.) FILL VOID WITH COMPATIBLE FILLER MATERIAL AND FINISH FLUSH WITH EXISTING FACE OF WALL. COORDINATE WITH P.M.E DRAWINGS.
- J. ALL CUTTING AND PATCHING SHALL BE PROVIDED BY THE TRADE REQUIRING THE NEW OPENING OR NEEDING TO PATCH AN OPENING WHERE A SERVICE IS REMOVED EXCEPT WHERE SPECIFICALLY NOTED OTHERWISE.
- K. WHERE FINISH FLOOR MATERIALS OF DIFFERENT THICKNESS COME TOGETHER, INSTALL ALUMINUM TERMINATION STRIPS. LOCATE CHANGES IN MATERIAL OR DIRECTION AT OPENINGS (UNDER DOORS).
- L. EXISTING FLOORING IS A COMBINATION OF CONCRETE (FIRST FLOOR) AND PLYWOOD (SECOND FLOOR) SUBFLOORING. RE-SECURE ANY LOOSE PLYWOOD SHEATHING AND REPLACE DAMAGED SHEATHING. FOR BIDDING PURPOSES CONSIDER 25% OF THE EXISTING PLYWOOD SUBFLOORING TO REMAIN TO NEED REPLACED.
- M. IN PREPARATION FOR NEW FLOORING, SEVERAL AREAS OF THE FLOOR WILL REQUIRE INSTALLATION OF A SELF-LEVELING CEMENTITIOUS UNDERLAYMENT. FLOOR CONDITIONS ARE UNKNOWN UNTIL EXISTING FINISHED FLOORING IS REMOVED. FOR BIDDING PURPOSES CONSIDER 50% OF THE FLOOR AREA FOR INSTALLATION OF CEMENTITIOUS UNDERLAYMENT. WHERE REQUIRED, LEVEL EXISTING WOOD OR CONCRETE AREAS WITH CEMENTITIOUS UNDERLAYMENT SIKALEVEL-315 OR APPROVED EQUAL. PRIME SUBSTRATE WITH APPROPRIATE PRIMER - SIKA LEVEL-01 OR SIKA LEVEL-02 OR APPROVED EQUAL.
- N. REFER TO HVAC DRAWINGS FOR NOTES REGARDING ALLOWING OPENINGS IN NEW WALLS ABOVE CEILING FOR PLENUM RETURN AIR.
- O. REFER TO SHEET A7.1 FOR EQUIPMENT SCHEDULES.
- P. ALL NEW WALLS ARE TYPE A1 UNLESS NOTED OTHERWISE.

CONSTRUCTION NOTES

- (00) INDICATES CONSTRUCTION NOTE.
- 1 EXISTING WALL. VERIFY CONSTRUCTION MEETS CONDITIONS SIMILAR TO WALL TYPE "F1". FIRE CAULK ALL PENETRATIONS WITH UL OR FM TESTED ASSEMBLIES.
- 2 NEW CMU WALL TO BE ALIGNED WITH EXISTING CMU WALL.

PHASING NOTES

- A. CONTRACTORS SHALL THOROUGHLY PLAN AND SCHEDULE ACTIVITIES TO MAINTAIN THE OFFICE FUNCTIONS AND COMPLETE THE WORK AS EXPEDITIOUSLY AS POSSIBLE. SUGGESTIONS AS TO MODIFICATIONS OF PHASING TO IMPROVE CONSTRUCTION ARE ENCOURAGED.
- B. ADDITIONAL CONSTRUCTION BARRIERS AT VARIOUS LOCATIONS MAY BE REQUIRED TO ADDRESS ACCESS CONCERNS IN CONSTRUCTION AREAS. WHERE APPLICABLE, EXISTING PARTITIONS AND NEW PARTITIONS MAY BE USED FOR THIS PURPOSE.
- C. MAINTAIN CONSTANT NEGATIVE AIR PRESSURE WITH HEPA FILTRATION IN CONSTRUCTION AREAS. REVIEW AREA WITH OWNER TO DETERMINE THE MOST APPROPRIATE AND LEAST COSTLY METHOD OF MAINTAINING NEGATIVE AIR PRESSURE. IT IS IMPERATIVE THAT ACOUSTIC SOUND SEALS ARE MAINTAINED ON EACH DOOR SEPARATING WORK AREAS FROM OCCUPIED AREAS.
- D. MAINTAIN MEANS OF EGRESS AT ALL TIMES DURING CONSTRUCTION.
- E. A TEMPORARY DUST BARRIER AROUND CONSTRUCTION AREAS CONSISTS OF METAL STUDS AND 5/8" GYPSUM BOARD. PAINT OCCUPIED SIDE TO MATCH SURROUNDING AREA. PROVIDE TEMPORARY DOOR AS REQUIRED. COORDINATE ADDITIONAL REQUIREMENTS, EXTENT & LOCATION WITH OWNER.
- F. TEMPORARY SEPARATION BETWEEN OCCUPIED SPACES AND CONSTRUCTION SHOULD MEET THE REQUIREMENTS OF NFPA 241. STANDARDS FOR SAFEGUARDING CONSTRUCTION, ALTERATION, AND DEMOLITION OPERATIONS, 2009.

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STATE OF OHIO
TIMOTHY J. BEMENT
12/05
Professional Engineer
Expiration Date 12/31/2025

Building Renovation and Addition
East End Community Services
West Care - 624 Building

624 Xenia Avenue, Dayton, Ohio 45410

ISSUE		
NO.	DATE	DESCRIPTION
1	12/07/23	FOR CONSTRUCTION
2	12/22/2023	ADDENDUM 1

DATE	12/07/2023
JOB NO.	4132.00
DRAWN	KE/MM/AE
CHECKED	CMS/TJB
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TITLE SECOND FLOOR DIMENSION PLAN	
SHEET NO. A1.6	

EQUIPMENT SCHEDULE

TYPE MARK	DESCRIPTION	PROVIDED BY	REMARKS
EQ-01	STOVE, COMMERCIAL RANGE	OFCI	
EQ-02	MICROWAVE	OFCI	
EQ-03	UNDER COUNTER FRIDGE	OFCI	
EQ-04	REFRIGERATOR	OFCI	
EQ-05	DISHWASHER	OFCI	
EQ-06	WHITE BOARD	OFCI	1, 3
EQ-07	MONITOR	OFCI	1
EQ-08	MOP HANGER WITH OVERSHELF	OFCI	<varies>

TOILET ACCESSORY SCHEDULE

TYPE MARK	DESCRIPTION	PROVIDED BY	REMARKS
TS-01	SOAP DISPENSER	OFCI	<varies>
TS-02	SURFACE-MOUNTED SANITARY NAPKIN DISPENSER	OFCI	1, 2
TS-03	SURFACE MOUNTED PAPER TOWEL DISPENSER WITH TRASH	OFCI	1, 2
TS-04	TOILET TISSUE DISPENSER	OFCI	1, 2
TS-05	SURFACE MOUNTED BABY CHANGING STATION	OFCI	1, 2
TS-06	MIRROR, WALL - 36" X 36"	OFCI	1, 2
TS-07	MIRROR, WALL - 18" X 36"	OFCI	1, 2
TS-08	GRAB BAR, STAINLESS STEEL, (3) PIECE ASSEMBLY, 18" X 1.5" DIA. 36" X 1.5" DIA. 42" X 1.5" DIA.	OFCI	1, 2
TS-09	RECESSED PAPER TOWEL DISPENSER WITH TRASH	OFCI	2

REFER TO SPECIFICATIONS FOR MORE INFORMATION.

GENERAL NOTES:

OWNER PROVIDED ITEMS:

- OFCI = OWNER FURNISHED CONTRACTOR INSTALLED
- OFOI = OWNER FURNISHED OWNER INSTALLED

CONTRACTOR PROVIDED ITEMS:

- CFCI = CONTRACTOR FURNISHED CONTRACTOR INSTALLED

REMARKS:

- G.C. TO PROVIDE BLOCKING INSIDE WALL CAVITY.
- REFER TO SHEET G0.2 FOR MOUNTING HEIGHTS AND CLEARANCES REQUIRED TO MEET ADA REQUIREMENTS. COORDINATE NON-ADA ACCESSORY MOUNTING LOCATIONS WITH OWNER.
- BASIS OF DESIGN: QUARTET INFINITY GLASS MAGNETIC DRY ERASE BOARD, 72" x 48" (6' x 4'), WHITE SURFACE.

CONSTRUCTION NOTES

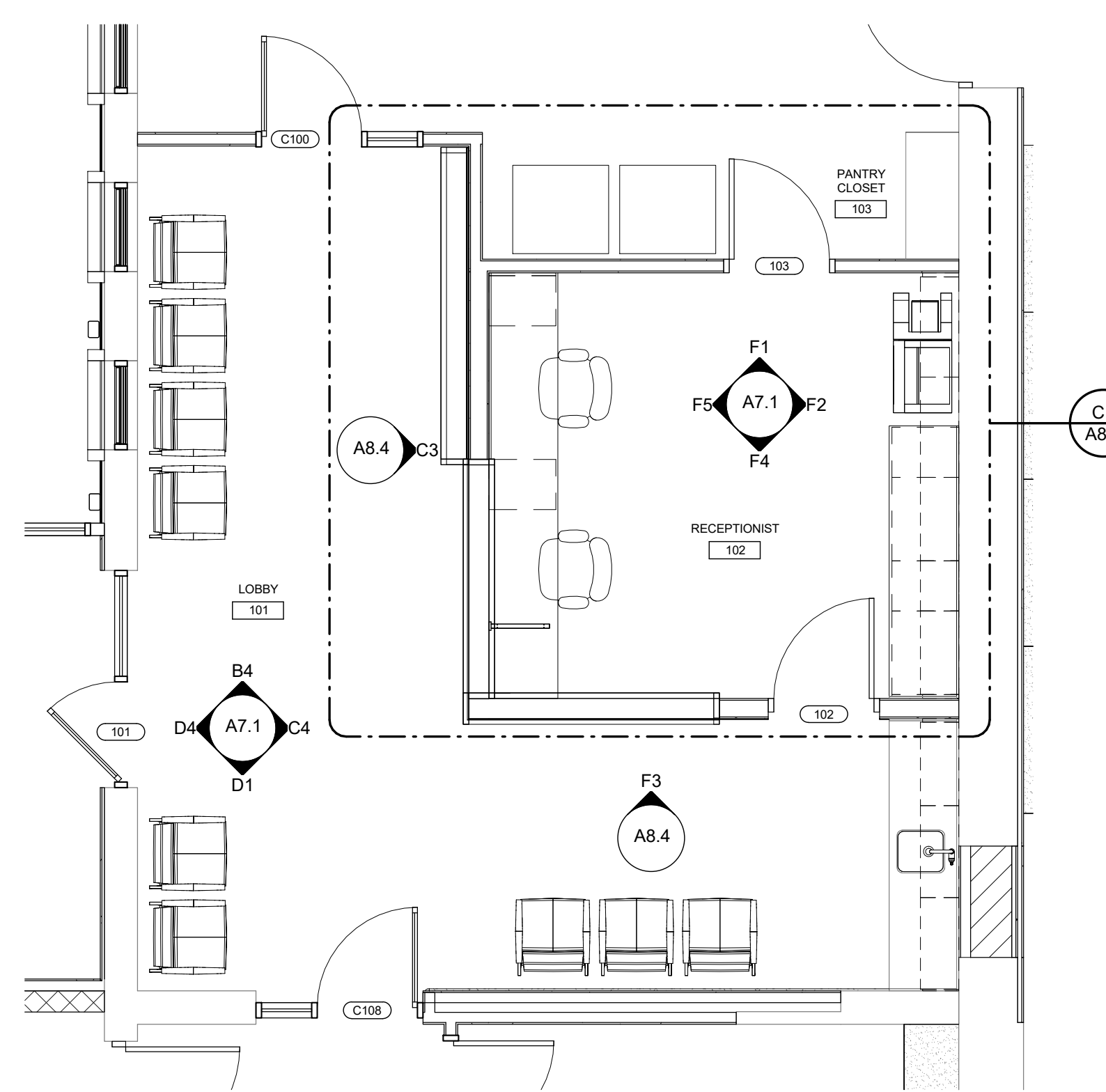
(00) INDICATES CONSTRUCTION NOTE.

NOT ALL NOTES USED ON THIS PAGE.

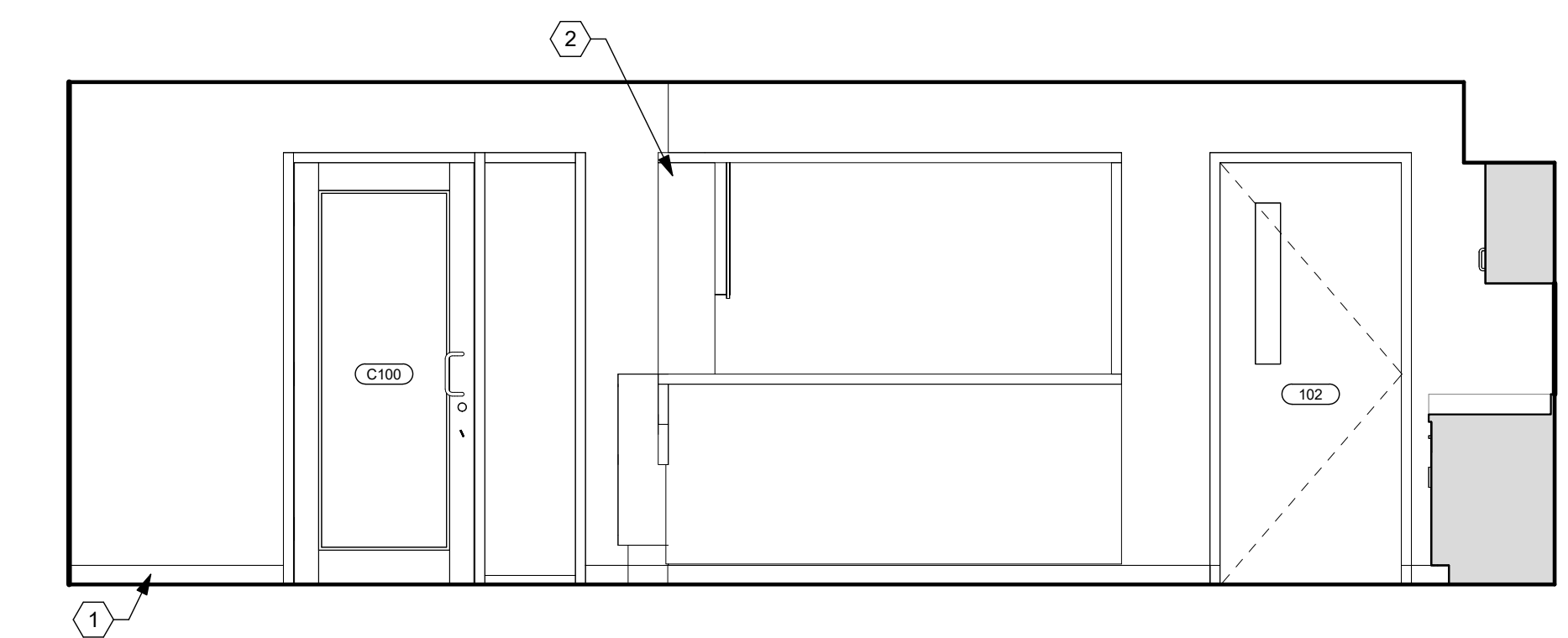
- BASE. REFER TO FINISH SCHEDULE.
- RECEPTION CASEWORK. REFER TO A8.2-3 FOR DETAILS.
- NEW SLATWALL PANEL. (PL-1)
- SINK. REFER TO PLUMBING DRAWINGS.
- METAL AIR VENT GRILL. BASIS OF DESIGN: MCKET GT (3'X7").
- (PL-2) COUNTERTOP WITH BACK & SIDE SPLASHES.
- MONITOR. OFCI.
- NEW HIGH/LOW DRINKING FOUNTAINS. REFER TO PLUMBING DRAWINGS.
- (PL-2) WORK SURFACE.
- SOLID SURFACE (SSM-1) COUNTERTOP WITH BACK & SIDE SPLASHES.
- COUNTER SUPPORT BRACKET. 48" O.C. MAX.
- NEW TOILET PARTITIONS.
- FIBERGLASS REINFORCED PANELS. (FRP-1)
- STAINLESS STEEL PANEL. (SS)
- SOLID SURFACE (SSM-1) CHAIR RAIL.
- UNDER-COUNTER REFRIGERATOR (OFCI).
- EXHAUST HOOD. REFER TO HVAC DRAWINGS.
- STAINLESS STEEL SHELVES. BASIS OF DESIGN: ADVANCE TABCO 96" X 12" WALL SHELF.
- FURNISH AND INSTALL NEW ACCESS DOOR. BASIS OF DESIGN: BEST ACCESS DOORS, BA-DW-5058-58, 24"X36".
- PT-2. CUT TILE TO 6"X24". ALIGN GROUT LINES WITH FLOOR TILE.
- PORCELAIN WALL TILE (PT-3). ALIGN GROUT LINES WITH FLOOR TILE.
- PORCELAIN WALL TILE (PT-2). ALIGN GROUT LINES WITH FLOOR TILE.
- PORCELAIN TILE WALL BASE. (PTWB) ALIGN GROUT LINES WITH FLOOR TILE.
- ATTIC SPACE BEYOND WALL.
- PROVIDE AND INSTALL NEW ADJUSTABLE SHELVES. REFER TO A8.1.
- SOLID SURFACE (SSM-1) FRAME AROUND ACCESS DOOR TO MATCH CHAIR RAIL.

GENERAL NOTES

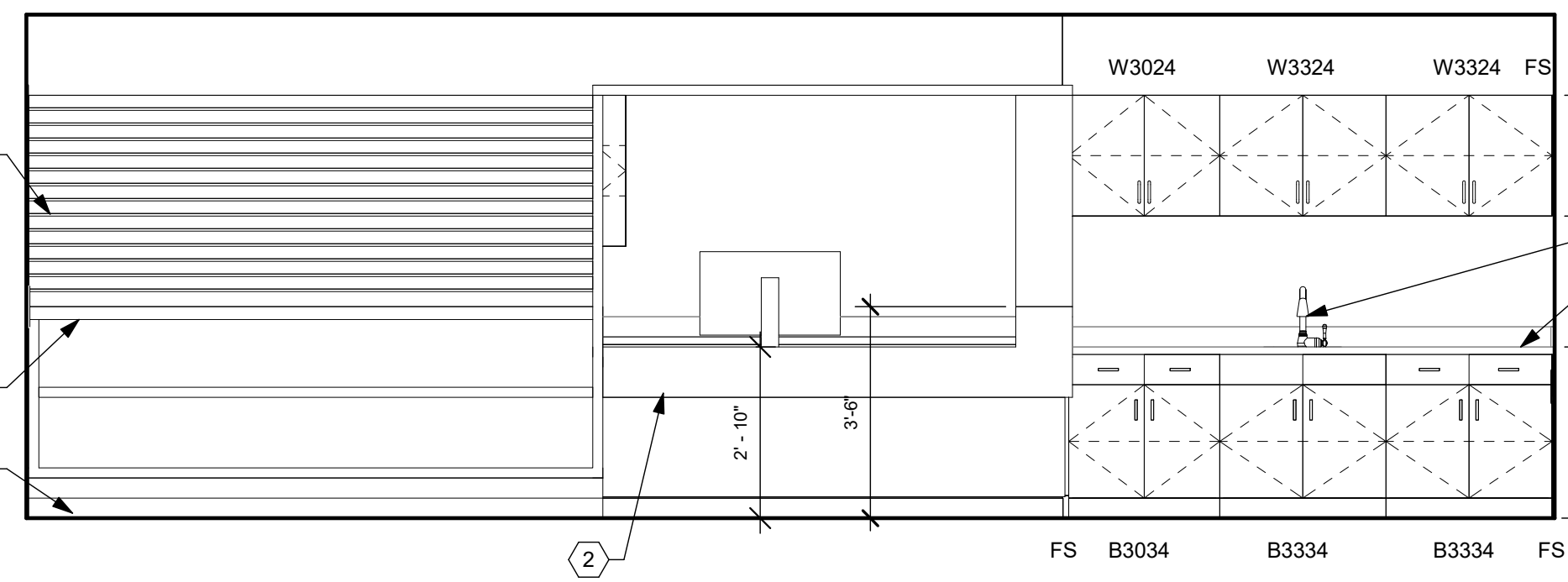
- EXAMPLE OF CASEWORK DIMENSIONS (2436) INDICATES 24" WIDTH X 36" HEIGHT. FOR DEPTH REFER TO TYPICAL CASEWORK DETAILS U.N.O.
- PROVIDE 3/4" PLASTIC LAMINATE SCRIBE AGAINST FINISHED WALLS AT BASE AND WALL CABINETS.
- ALL BASE & WALL CABINET (PL-1). U.N.O.
- INSTALL SOLID WOOD (CONTRACTOR OPTION SHEET STEEL) BLOCKING IN WALLS BEHIND WALL-MOUNTED ITEMS INCLUDING CASEWORK, RAILINGS, TOILET ACCESSORIES, ETC. WOOD BLOCKING IS PROHIBITED IN 2-HR RATED WALLS. USE SHEET STEEL FOR BLOCKING IN THESE LOCATIONS.
- REFER TO ELECTRICAL DRAWINGS FOR ELECTRICAL RECEPTACLE LOCATIONS.
- SEE SHEET A8.1 AND A8.2 FOR TYPICAL CABINET SECTIONS AND DETAILS.
- ALL OUTSIDE CORNERS OF SOLID SURFACE COUNTERTOPS SHALL PROJECT 1" PAST CABINET/SUPPORT AND SHALL HAVE 1/16" RADIUS CORNER EXCEPT AT REFRIGERATORS AND EQUIPMENT, WHERE SQUARE CORNERS AND 1/4" PROJECTION SHALL BE USED.
- REFER TO SHEET A7.1 FOR (EQ-XX) EQUIPMENT SCHEDULE. NOT EVERY ITEM SHOWN IS LABELED. LABEL IS "TYPICAL" OF OTHERS SHOWN. COORDINATE FINAL POSITION WITH OWNER.
- DESIGNATION (XX-X) REFER TO FINISHES. REFER TO SPECIFICATIONS DIVISION 09, AND SHEET A0.2 FOR FINISHES DESCRIPTION AND ABBREVIATIONS.
- ALL COUNTERTOPS 25" DEEP U.N.O.
- CASEWORK TYPES (PREFIX) ABBREVIATIONS:
 - B - BASE CABINET
 - BC - BASE CABINET - COMPUTER
 - BT - BASE CABINET - TRASH
 - SADA - SINK CABINET - ADA
 - SB - SINK BASE CABINET
 - W - WALL CABINET
 - WM - WALL CABINET - MICROWAVE
 - BD - BASE CABINET - DRAWINGS
 - BF - BASE CABINET - FILES
 - BO - BASE CABINET - OPEN SHELVES
 - FS - FILLER STRIP
 - IB - ISLAND BASE CABINET



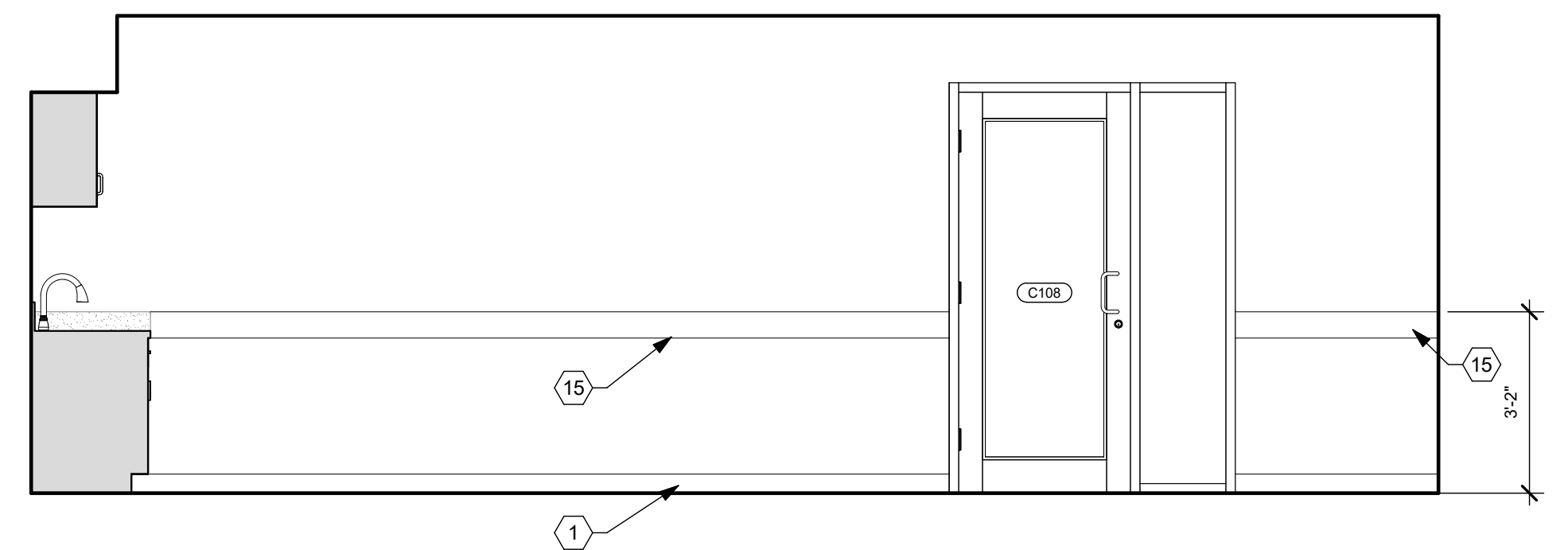
C1 LOBBY/RECEPTION ENLARGED PLAN
1/4" = 1'-0"



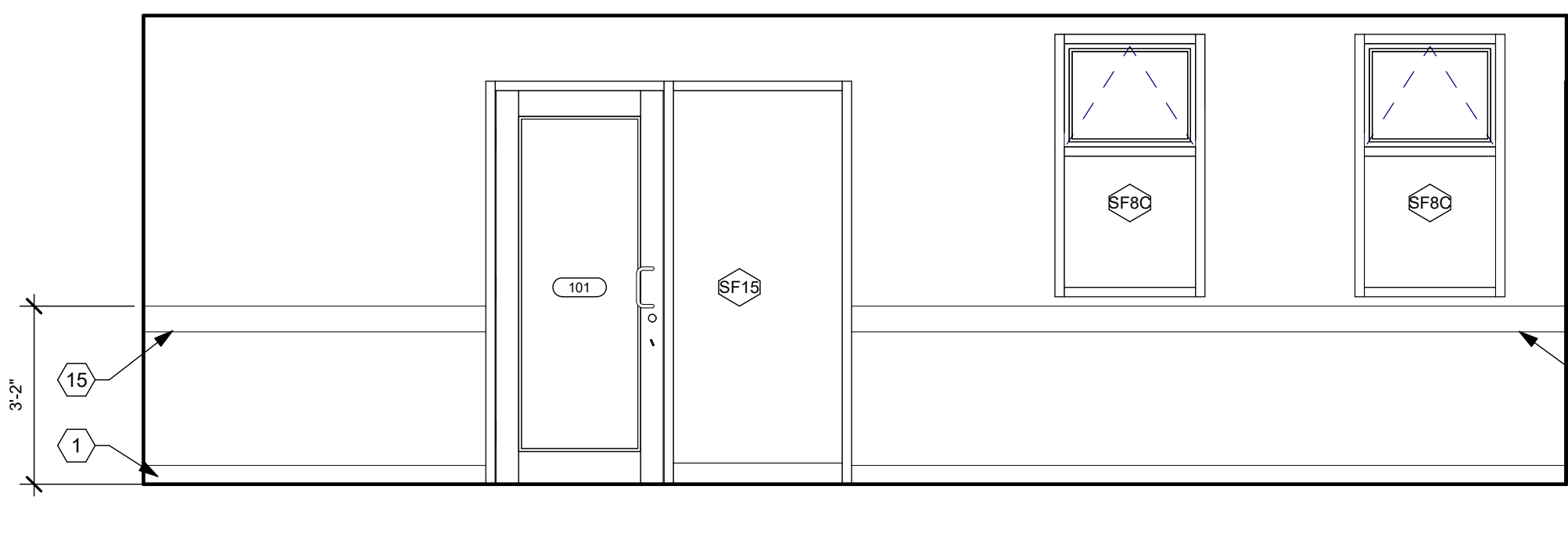
B4 101 - LOBBY, NORTH
3/8" = 1'-0"



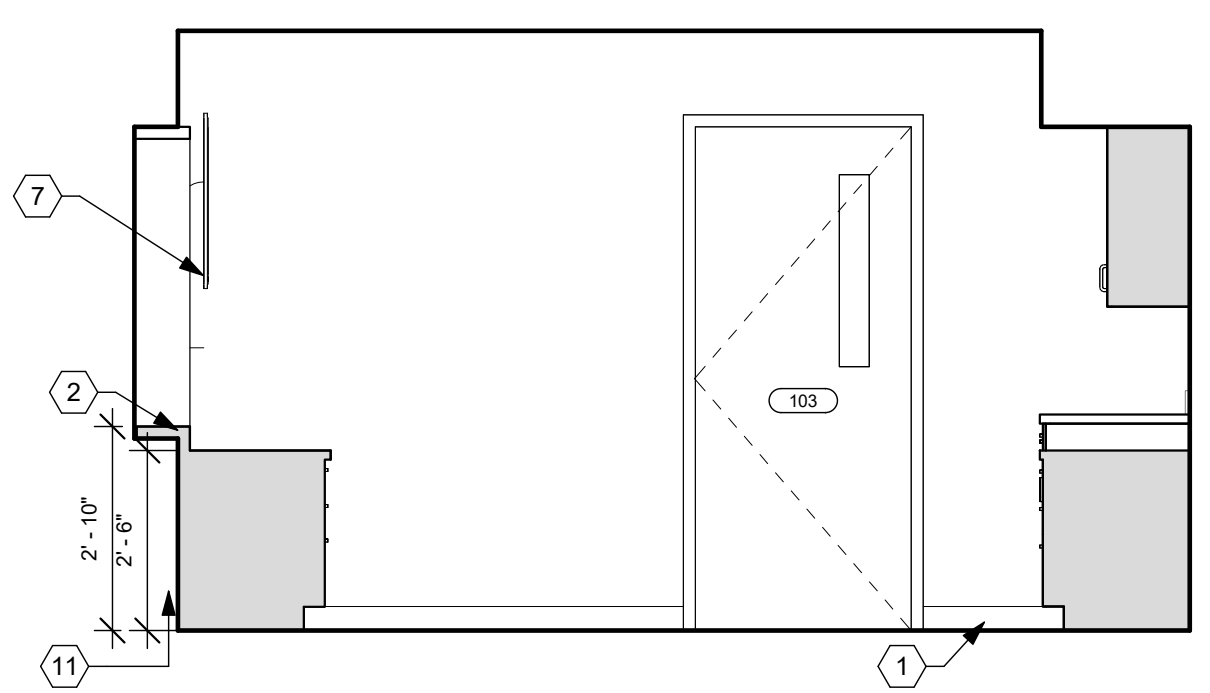
C4 101 - LOBBY, EAST
3/8" = 1'-0"



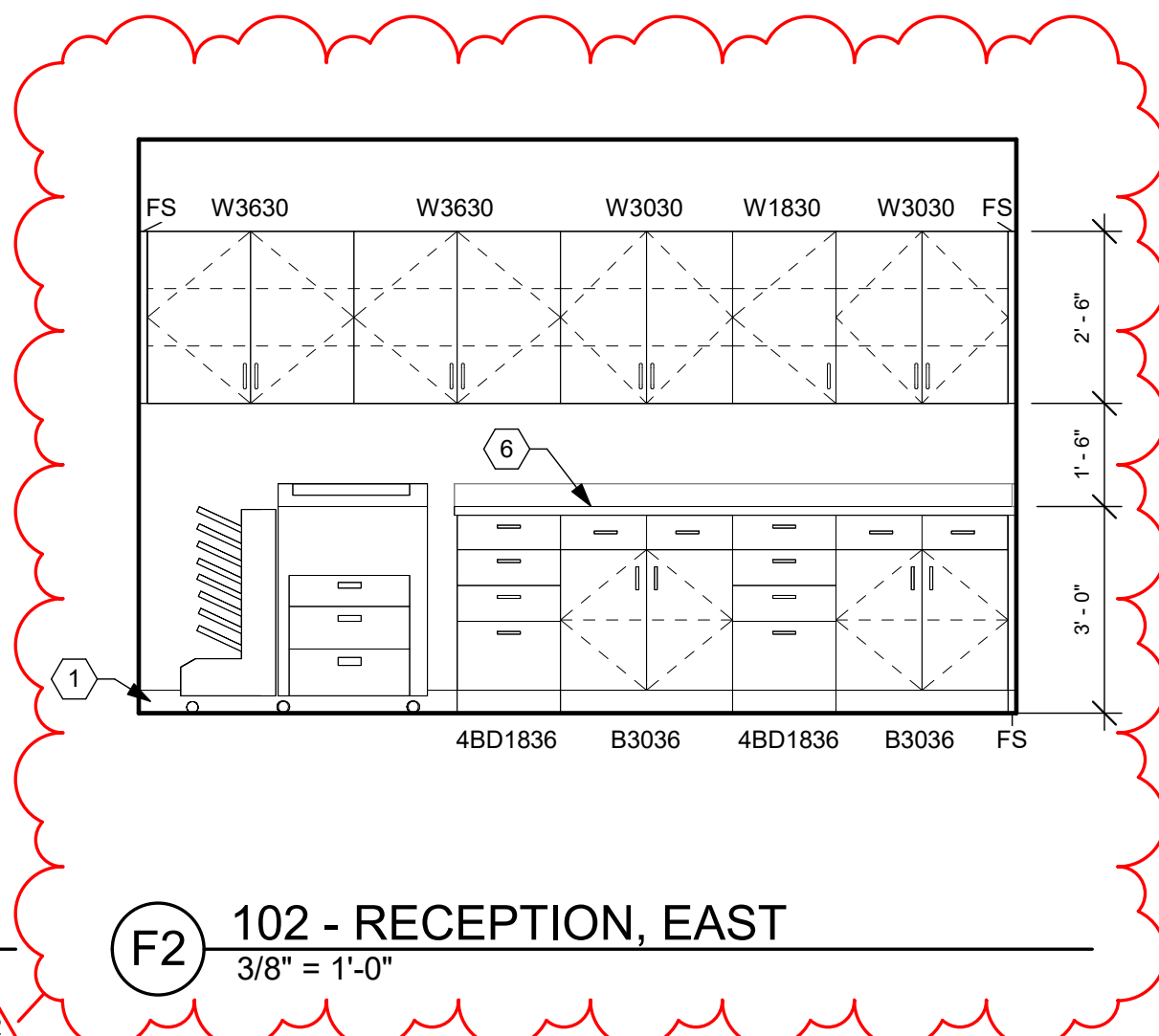
D1 101 - LOBBY, SOUTH
3/8" = 1'-0"



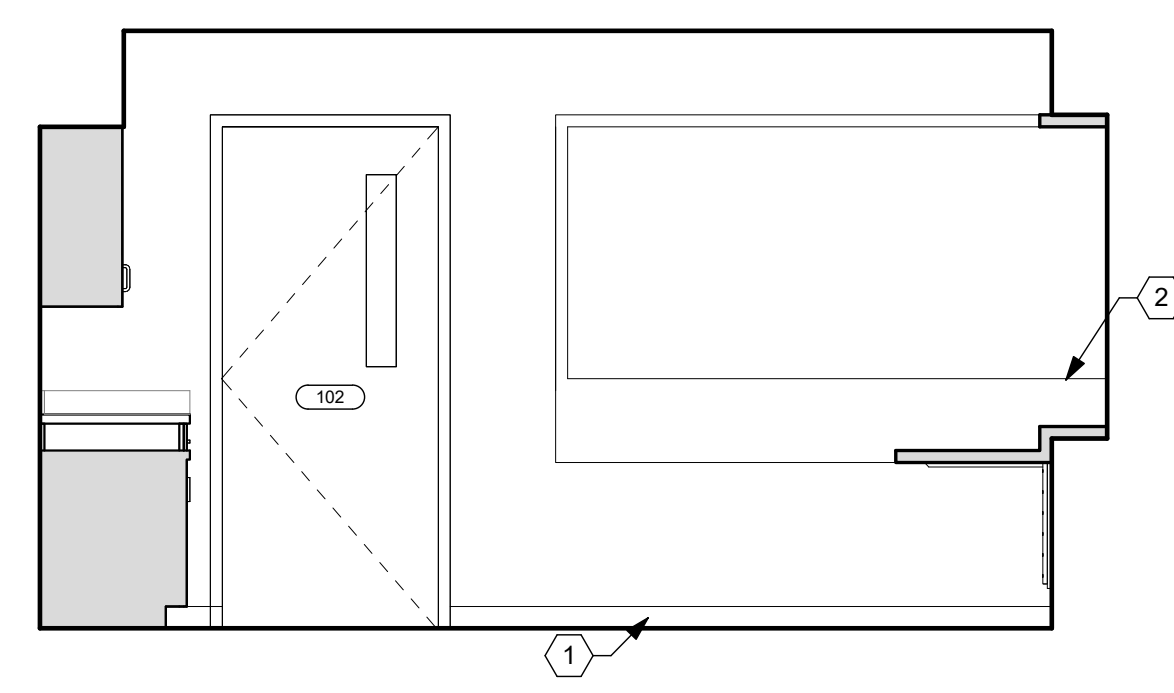
D4 101 - LOBBY, WEST
3/8" = 1'-0"



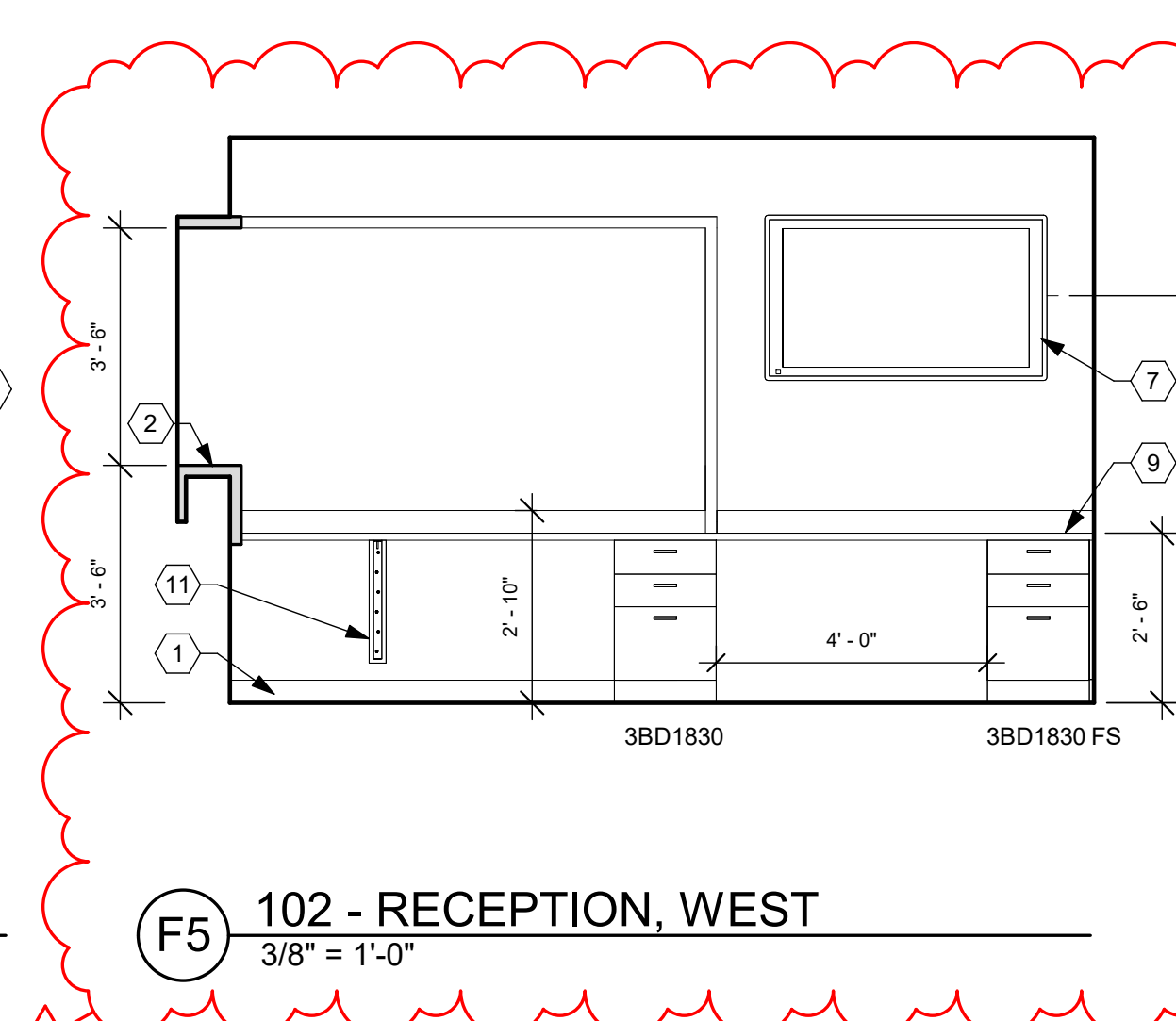
F1 102 - RECEPTION, NORTH
3/8" = 1'-0"



F2 102 - RECEPTION, EAST
3/8" = 1'-0"



F4 102 - RECEPTION, SOUTH
3/8" = 1'-0"



F5 102 - RECEPTION, WEST
3/8" = 1'-0"

NO.	DATE	DESCRIPTION
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2	12/22/2023	ADDENDUM 1

DATE	12/07/2023
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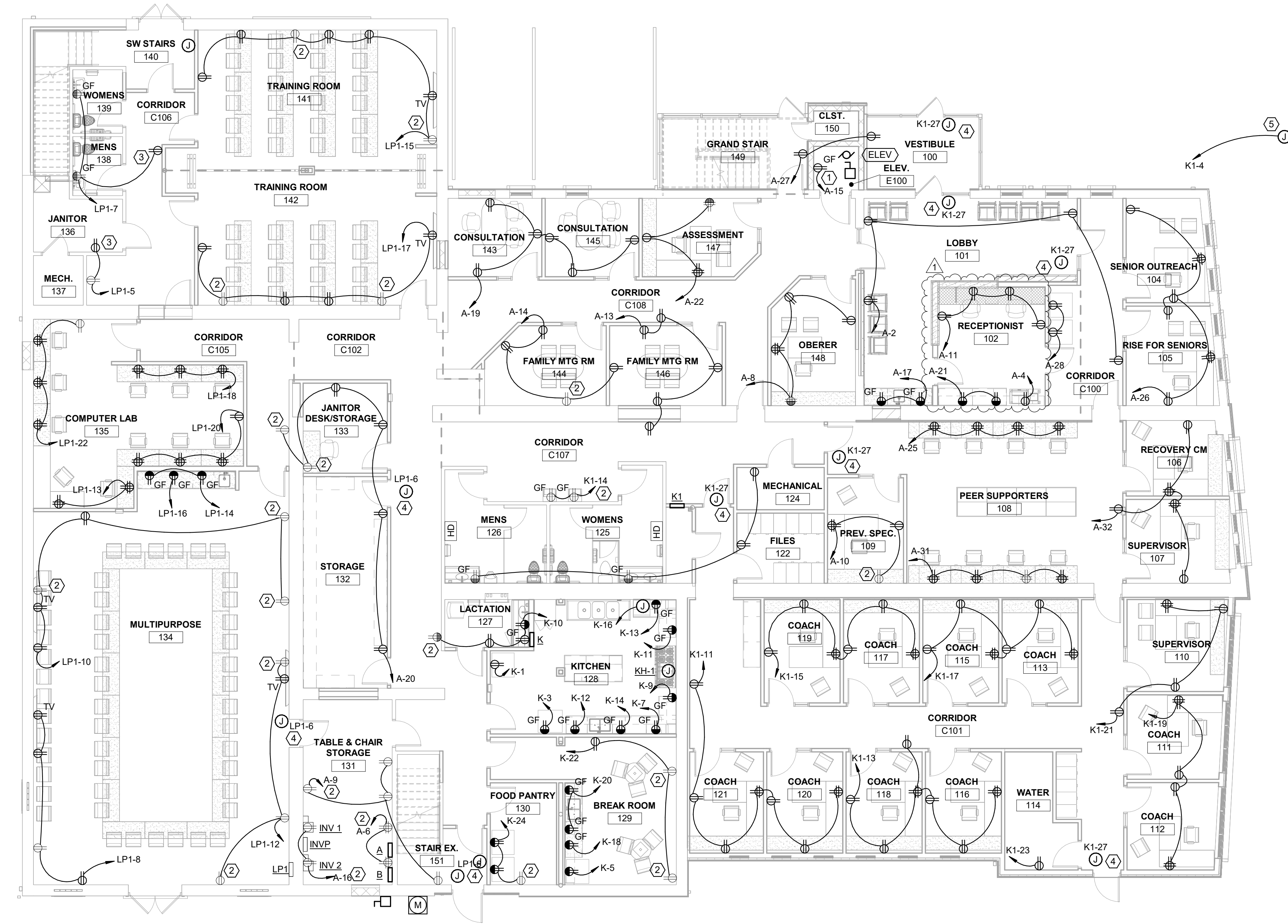
TITLE
INTERIOR ELEVATIONS

SHEET NO.
A7.1

1 2 3 4 5 6 7

A
B
C
D
E
F

- DRAWING NOTES**
- REFER TO DETAIL #1/E5.0 FOR ELEVATOR HOISTWAY LIGHTING AND RECEPTACLE REQUIREMENTS.
 - CONNECT EXISTING RECEPTACLE TO CIRCUIT INDICATED. PROVIDE NEW DEVICE.
 - CONNECT NEW RECEPTACLE TO EXISTING CIRCUIT INDICATED.
 - PROVIDE CONNECTION TO DOOR ACCESS TRANSFORMER. COORDINATE REQUIREMENTS WITH DOOR ACCESS PROVIDER.
 - PROVIDE 120V-20A CIRCUIT FOR LIGHTED SIGN. COORDINATE EXACT LOCATION WITH CIVIL DRAWINGS.



① **FIRST FLOOR POWER PLAN - NEW WORK**
1/8" = 1'-0"

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Building Renovation and Addition
**East End Community Services
West Care - 624 Building**
624 Xenia Avenue, Dayton, Ohio 45410

NO.	DATE	DESCRIPTION
	12/07/2023	FOR CONSTRUCTION
1	12/22/2023	ADDENDUM 1

DATE	12/07/2023
JOB NO.	2023115
DRAWN	ATD
CHECKED	RLS
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TITLE	ELECTRICAL POWER PLAN

SHEET NO.
E1.1

1 2 3 4 5 6 7

12/22/2023 9:12:12 AM

1 2 3 4 5 6 7

A
B
C
D
E
F

- DRAWING NOTES**
1. CEILING MOUNTED CAMERA INDICATED FOR REFERENCE ONLY. BOX AND CABLE BY CAMERA SYSTEM INSTALLER.
 2. PROVIDE BOX AND CONDUIT TO ABOVE ACCESSIBLE CEILING. CAMERA AND CABLING BY CAMERA SYSTEM INSTALLER.

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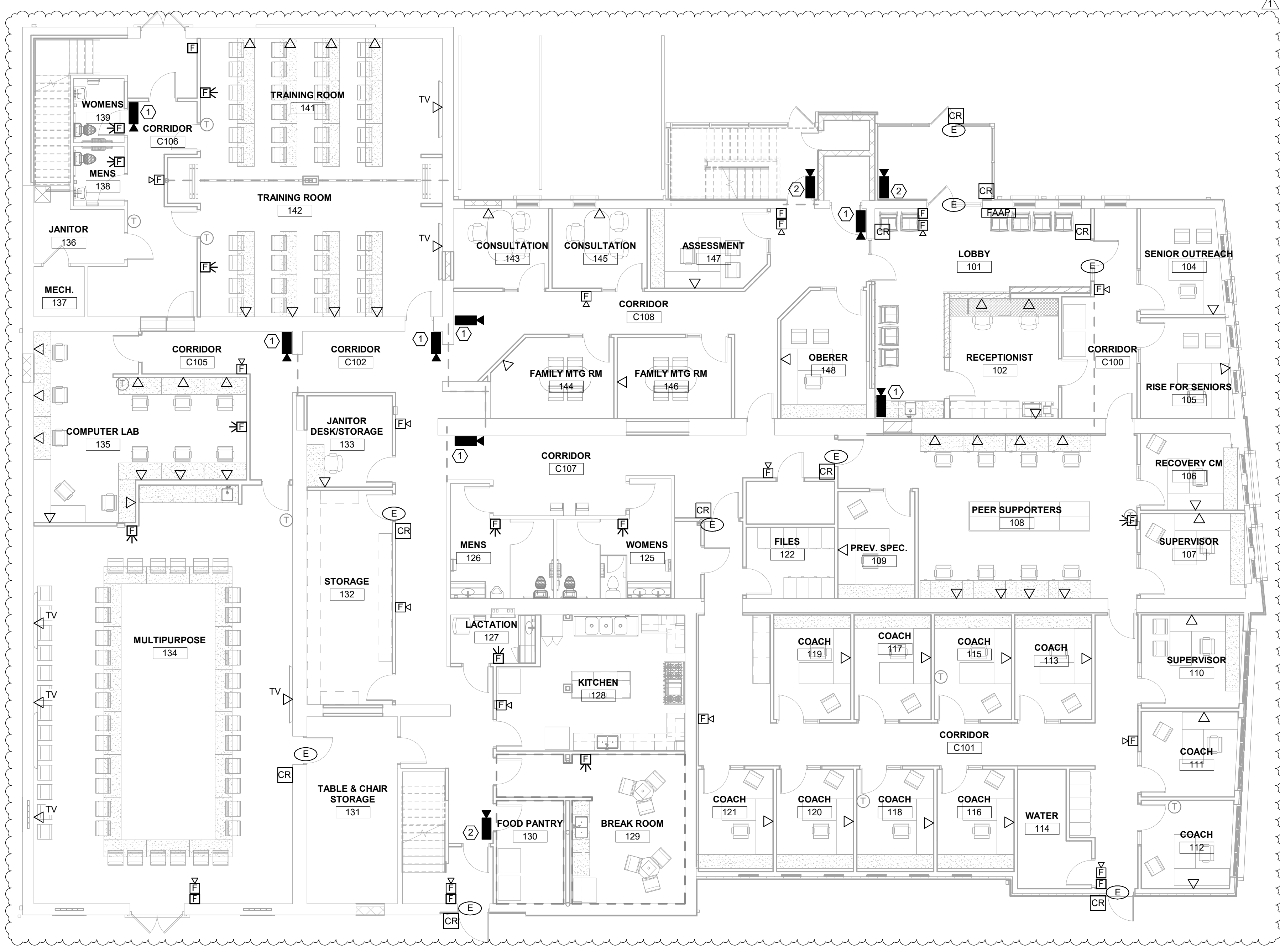
Building Renovation and Addition
**East End Community Services
West Care - 624 Building**
624 Xenia Avenue, Dayton, Ohio 45410

ISSUE

NO.	DATE	DESCRIPTION
1	12/07/2023	FOR CONSTRUCTION
	12/22/2023	ADDENDUM 1

DATE	12/07/2023
JOB NO.	2023115
DRAWN	ATD
CHECKED	RLS
COPYRIGHT © 2023 - App Architecture, Inc.	
TITLE	ELECTRICAL SYSTEMS PLAN

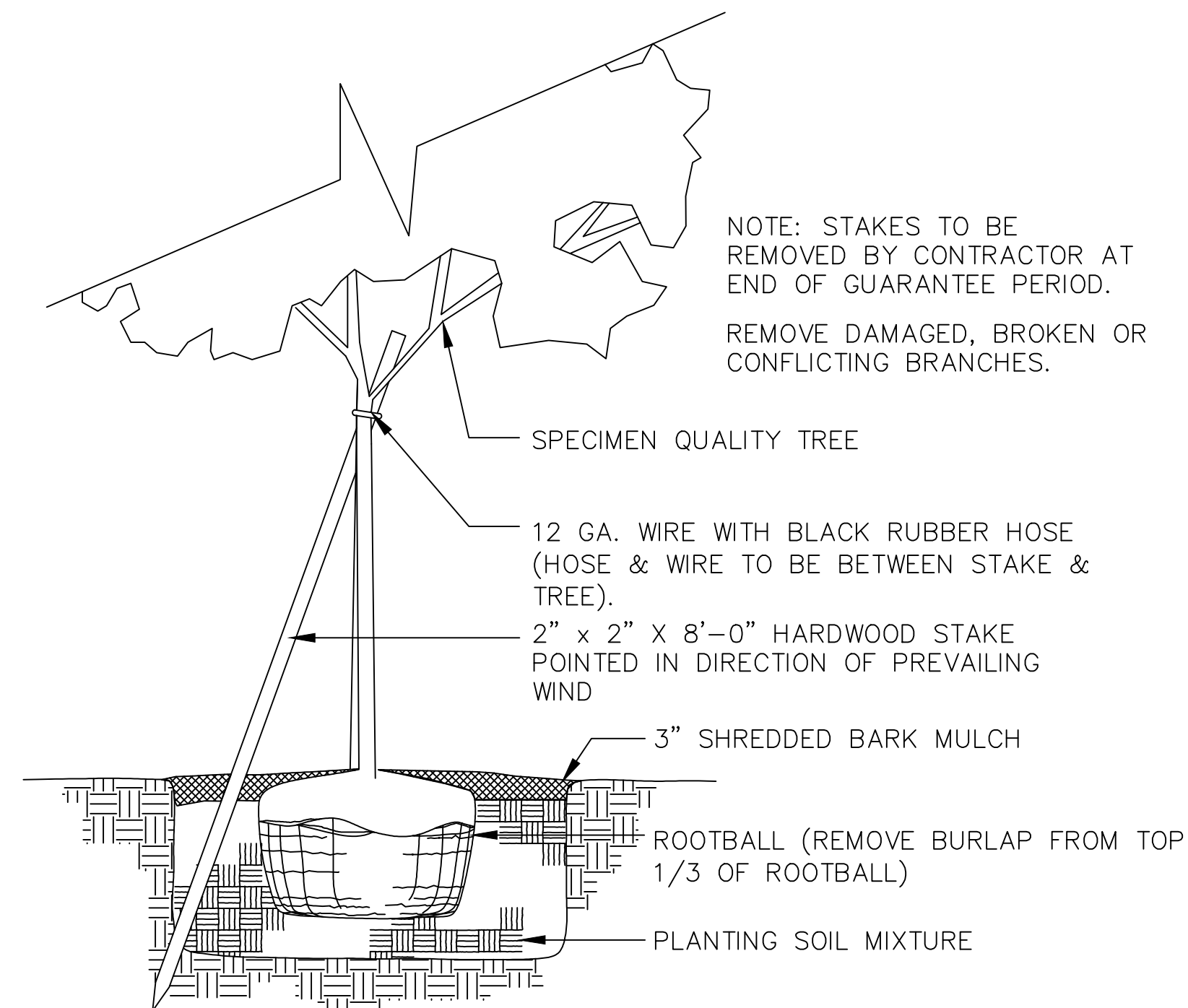
SHEET NO.
E3.1



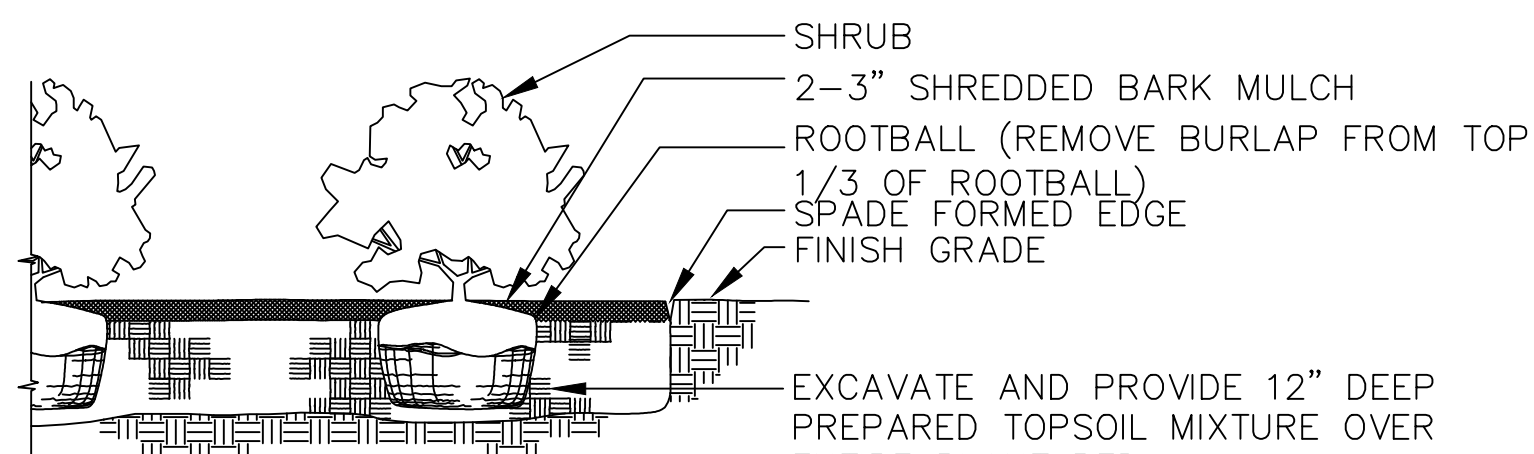
1 FIRST FLOOR POWER PLAN - NEW WORK
1/8" = 1'-0"

1 2 3 4 5 6 7

12/22/2023 9:12:10 AM



TREE PLANTING DETAIL



SHRUB PLANTING DETAIL

GENERAL NOTES

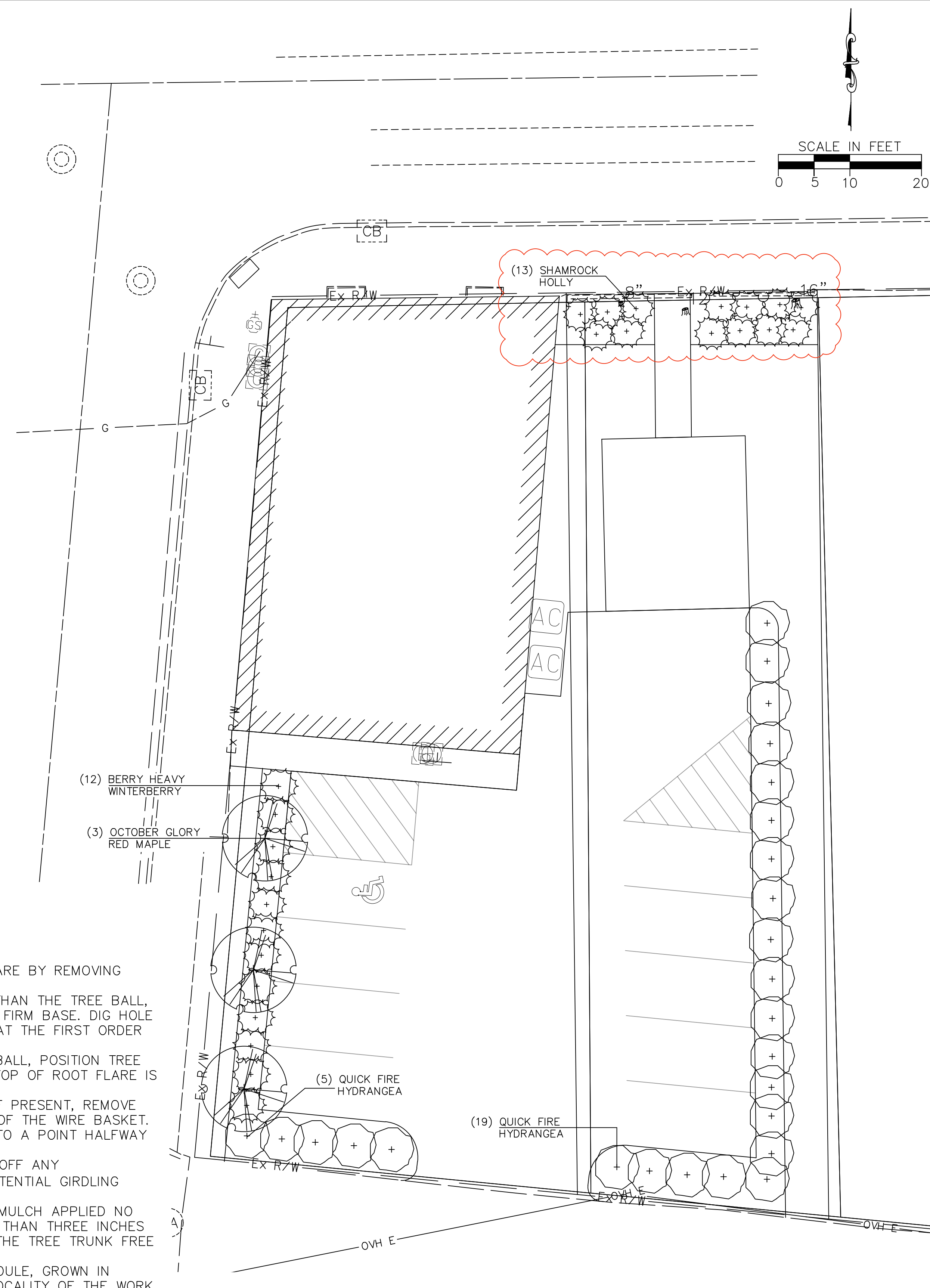
- A. PRIOR TO INSTALLATION, THE LANDSCAPE CONTRACTOR SHALL INSPECT THE GENERAL SITE CONDITIONS AND VERIFY THE SUBGRADE, ELEVATIONS, UTILITY LOCATIONS AND TOPSOIL PROVIDED BY GENERAL CONTRACTOR. THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE GENERAL CONTRACTOR OF ANY UNSATISFACTORY CONDITIONS AND WORK SHALL NOT PROCEED UNTIL SUCH CONDITIONS HAVE BEEN CORRECTED AND ARE ACCEPTABLE TO THE LANDSCAPE CONTRACTOR.
- B. SUBSTITUTIONS SHALL BE PERMITTED WITH NOTIFICATION AND WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT. SUBSTITUTED MATERIAL SHALL BE EQUIVALENT OR GREATER IN SIZE THAN THE SPECIFIED PLANT. SUBSTITUTED PLANTS SHALL HAVE THE SAME ESSENTIAL CHARACTERISTICS AND GROWTH HABIT OF THE SPECIFIED PLANT.
- C. CONFIRM LOCATION OF ALL UTILITIES AND SUBSURFACE DRAIN LINES PRIOR TO PLANT INSTALLATION.
- D. CONTRACTOR MAY SLIGHTLY FIELD ADJUST PLANT LOCATIONS AS NECESSARY TO AVOID UTILITIES. FINISHED PLANTING BEDS SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE.
- E. CONTRACTOR SHALL REPAIR ALL LAWN AREAS DISTURBED DURING CONSTRUCTION WITH SEED AND WARRANT A HEALTHY, WEED FREE LAWN PRIOR TO PROJECT ACCEPTANCE.
- F. SEED ALL AREAS WITHIN CONTRACT LIMITS THAT ARE NOT COVERED BY PAVING, BUILDINGS OR PLANTING BEDS UNLESS OTHERWISE NOTED. SEEDING SHALL NOT BEGIN UNTIL AREA HAS RECEIVED TOPSOIL AND FINISHED GRADE.
- G. MULCH PLANTING BEDS WITH SHREDDED HARDWOOD MULCH OF UNIFORM DARK BROWN COLOR. IT SHALL BE FREE OF TWIGS, LEAVES DISEASE, PEST OR OTHER MATERIAL UNSIGHTLY OR INJURIOUS TO PLANTS. AVERAGE APPLIED THICKNESS SHALL BE 3" DEPTH. MULCH HEDGES IN A CONTINUOUS BED.
- H. BED EDGE SHALL BE SMOOTH, CONSISTENT, HAND TRENCHED 6" DEEP AND "V" SHAPED UNLESS OTHERWISE NOTED. ALL EXCAVATED MATERIAL SHALL BE REMOVED FROM THE BED EDGE AND PLANTING BED.
- I. ALL PLANTING BED EDGES TO BE SMOOTH FLOWING ARCS OR STRAIGHT LINES AS SHOWN ON PLAN.
- J. INSTALL ALL PLANTS IN ACCORDANCE WITH PLANING DETAILS AND SPECIFICATIONS.
- K. PARKING LOT AND STREET TREES SHALL HAVE A CLEAR CANOPY HEIGHT OF 6' MIN.
- L. TREE SHALL BE PLACED A MINIMUM OF 3' FROM SIDEWALKS AND CURBS.
- M. LAWN AREAS TO BE BACKFILLED WITH TOPSOIL TO A MINIMUM SETTLED THICKNESS OF 6 INCHES.
- N. CONTRACTOR TO DETERMINE PLANT LIST QUANTITIES FROM THE PLAN. GRAPHIC REPRESENTATION ON PLAN SUPERSEDES IN CASE OF DISCREPANCY WITH QUANTITIES ON SCHEDULE.
- O. CONTRACTOR SHALL THOROUGHLY WATER ALL PLANTS AT TIME OF INSTALLATION AND AS NEEDED UNTIL PROJECT ACCEPTANCE BY OWNER. CONTRACTOR SHALL GUARANTEE ALL PLANTS INSTALLED FOR ONE FULL YEAR FROM DATE OF ACCEPTANCE BY THE OWNER. ALL PLANTS SHALL BE ALIVE AND AT A VIGOROUS RATE OF GROWTH AT THE END OF GUARANTEE PERIOD.

INSTALLATION NOTES

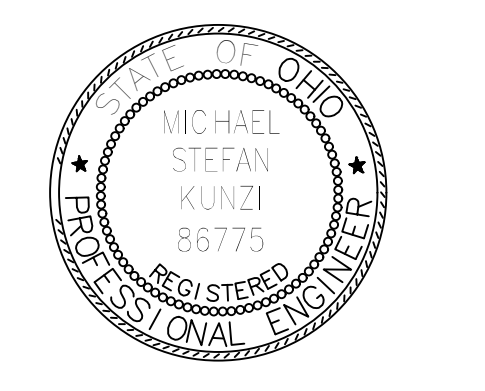
- A. IF NOT READILY APPARENT, LOCATE ROOT FLARE BY REMOVING TWINE, BURLAP, AND EXCESS SOIL.
- B. DIG TREE HOLE AT LEAST TWO TIMES WIDER THAN THE TREE BALL, WITH SIDES SLOPED TO AN UNEXCAVATED OR FIRM BASE. DIG HOLE TO A DEPTH SO THE LOCATED ROOT FLARE, AT THE FIRST ORDER LATERAL ROOT, WILL BE AT FINISHED GRADE.
- C. LIFT ONLY FROM THE BOTTOM OF THE ROOT BALL, POSITION TREE ON FIRM PAD SO THAT IT IS STRAIGHT AND TOP OF ROOT FLARE IS LEVEL WITH THE SURROUNDING SOIL.
- D. REMOVE ALL TWINE FROM THE ROOT BALL. IF PRESENT, REMOVE AND DISCARD AT LEAST THE TOP ONE HALF OF THE WIRE BASKET. BURLAP SHALL BE REMOVED FROM THE TOP TO A POINT HALFWAY DOWN THE ROOT BALL AND DISCARDED.
- E. WITH CLEAN, SHARP PRUNING TOOLS, PRUNE OFF ANY SECONDARY/ADVENTITIOUS, GIRDLING, AND POTENTIAL GIRDLING ROOTS.
- F. MULCH THE ENTIRE PLANTING SURFACE WITH MULCH APPLIED NO LESS THAN TWO INCHES DEEP AND NO MORE THAN THREE INCHES DEEP, LEAVING THREE INCHES ADJACENT TO THE TREE TRUNK FREE OF MULCH.
- G. SPECIES AND SIZE IDENTIFIED IN PLANT SCHEDULE, GROWN IN CLIMATIC CONDITIONS SIMILAR TO THOSE IN LOCALITY OF THE WORK.
- H. PROVIDE HEALTHY, SOUND, VIGOROUS PLANT MATERIALS, FREE FROM PLANT DISEASES, INSPECT PESTS, HEALTHY WELL-DEVELOPED ROOT SYSTEMS, FRESHLY DUG, NURSERY GROWN, WELL-BRANCHED, DENSELY FOLIATED WHEN IN LEAF AND WELL-PROPORTIONED, PARTICULARLY WITH RESPECT TO THE WIDTH-HEIGHT RELATIONSHIP.
- I. DAMAGED OR BROKEN BRANCHES, BROKEN BALL AND LOOSE TOP BALL ARE.
- J. SET PLANTS IN CENTER OF HOLE, PLUMB AND STRAIGHT. REMOVE TOP OF BURLAP (IF APPLICABLE).
- K. SATURATE SOIL WITH WATER WHEN THE HOLE IS HALF FULL OF TOPSOIL AND AGAIN WHEN FULL.
- L. DO NOT INSTALL PLANT LIFE WHEN AMBIENT TEMPERATURES MAY DROP BELOW 35 DEGREES F OR RISE ABOVE 90 DEGREES F.

PLANTING SCHEDULE

QTY.	COMMON NAME	BOTANICAL NAME	SIZE	ROOT
TREES				
3	OCTOBER GLORY RED MAPLE	ACER RUBRUM 'OCTOBER GLORY'	2" CAL.	B&B
SHRUBS/GRASSES				
12	BERRY HEAVY WINTERBERRY	ILEX V. 'BERRY HEAVY'	24" SPR.	B&B
24	QUICK FIRE HYDRANGEA	HYDRANGEA P. 'QUICK FIRE'	24" SPR.	NO. 5 CONT.
13	SHAMROCK HOLLY	ILEX G. 'SHAMROCK'	18" SPR.	NO. 3 CONT.



NOTE: STAKES TO BE REMOVED BY CONTRACTOR AT END OF GUARANTEE PERIOD. REMOVE DAMAGED, BROKEN OR CONFLICTING BRANCHES.



ISSUE

DATE	DESCRIPTION
12/07/23	FOR CONSTRUCTION
12/22/23	ADDENDUM 1

DATE	12-07-2023
JOB NO.	4132.00
DRAWN	JLH
CHECKED	MSK
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TITLE
LANDSCAPE PLAN

SHEET NO.

C3.1

Pre-Bid Meeting Notes

DATE: December 19, 2023

615 Woodside Drive, Englewood, Ohio 45322

T 937.836.8898 F 937.832.3696

PROJECT: East End Community Services
624 Xenia Ave – Renovation & Addition
614 Xenia Ave – Renovation
702 Xenia Ave – New Garage & Parking

www.app-arch.com

SIGN-IN & INTRODUCTIONS: Owner – App Architecture – Contractors – Subcontractors
Jan Lepore-Jentleson – WestCare Ohio/East End Community Services, Executive Director
Fran Karamon - WestCare Ohio/East End Community Services, Deputy Executive Director
Carl Daugherty - WestCare Ohio/East End Community Services, Owner's Rep
Shaun Doan – WestCare Ohio, PM
Tim Bement – App Architecture, Principal in Charge
Curt Sparks – App Architecture, Project Manager
Anthony Esposito – App Architecture
Maria Mundy – App Architecture
Brenda Lynn – App Architecture, Construction Administrator
Jeff Wetzel – L2 Engineering, Structural Engineer, PME Engineers
Alex Davidson – L2 Engineering, Structural Engineer, PME Engineers
Choice One Engineering – Civil Engineer

GENERAL SCOPE OF PROJECT:

- Single Prime Contract covering all branches of Work.
- 3 Buildings, 1 Bid. Multiple Phases
 - Phase 1 – 624 Building, front and rear west renovation, 2nd floor renovation, new entrance with elevator and stairwell.
 - Phase 2 – 624 Building Addition
 - Phase 3 – 624 Building renovation of rear east section
 - Phase 4 – 614 Building renovation
 - Garage & Parking Lot – during the 624 Building renovation
- Construction Budget = \$4,897,600
- Alternate A1: high level ballistic film on 1st floor exterior glass surfaces

BID REQUIREMENTS:

- Bid due date – Thursday, January 11, 2024; 2:00 pm.
- Deliver 2 copies of bids to EECS, 624 Xenia Ave.
- Use bid forms provided in the Project Manual.
 - Additional required documents are listed on the bid form
 - 1 Alternate
 - 1 Allowance - \$75,000 for unforeseen conditions
 - 5 Unit Prices (Site Work and CMU/Masonry Repointing)
- Bid Bond required.

- Performance and Payment Bond required.
- 5% MBE Participation is required due to partial funding through ARPA.
- Use of local subcontractors and suppliers is strongly encouraged.
- Last day for questions is Friday, January 5th for last addendum issue on Monday, Jan 8th.
 - Submit questions to Curt Sparks at curt.sparks@app-arch.com
 - Last day for substitution requests – Wed, December 27th. Use form in spec book.
- Owner Provided Items:
 - Furniture
 - Access Control (rough-ins and raceways by contractor)
 - Security Cameras (rough-ins, raceways & cabling by contractor)
 - Telephone/Data/CATV (service entrance and headend switches, servers, UPS by owner)

SUPPLEMENTARY CONDITIONS:

- Permits - Owner submitting and paying for the general building permit; all other permit costs are the responsibility of the GC. Submitted on 12/12/2023.
- Owner is sales tax exempt.
- Payment of “Prevailing Wages” is required. Included in the Project Manual.
- Pay Apps – break out of items involved with the “ARPA funding”, and possibly “Donor Funding”. Specific line items will be identified and coordinated with the low bidder.

TEMPORARY FACILITIES:

- Coordinate use of existing electric & water services with owner.
- Field offices, storage trailers, fencing, temporary toilets by the GC.
- Organization and use of site to be determined by the GC.

HIGHLIGHTS ON DRAWINGS

- Phasing
- Portions of the building will be occupied during construction.
- Coordination with owner for service shutdowns.
- Maintain use of a minimum of 2 restrooms for building occupants during construction.
- New electric, combined fire/water, sanitary services planned for Building 624 Xenia.
- Coordinate installation and connections of services across phases.

CONTRACTOR QUESTIONS:

- Q: Aid to Construction fees by whom? If by contractor, can these be an allowance?
 - A: Response forthcoming.
- Q: What is anticipated construction start date?
 - A: Owner plans to award and issue contracts as soon as possible.
- Q: Bid form has 3 separate building prices; is this for accounting purposes or will they choose to construction only a portion of the bid?
 - A: Breakdown is for accounting purposes only. Owner will award all 3 building projects to one contractor.
- Q: Are third party material testing costs by owner?
 - A. Owner will contract directly with a testing company.

- Q: How should allowance be assigned to the 3 buildings?
 - A: Specification Section 01 2100 has been revised to clarify this.
- Q: Any know asbestos or testing been performed?
 - A: Neither the architect nor the owner can guarantee that no other asbestos containing material will be encountered by the contractor during the course of work. If the contractor observes other construction materials which are suspected to be asbestos containing material, the contractor should immediately stop work. Do not disturb it and contact the owner for further instructions.
- Q: What is construction duration?
 - A: Anticipated duration is 20 months. Contractor to include proposed duration on bid form. Refer to revised Bid Form in Addendum 1

SUMMARY:

Direct all bid questions, by email, to App Architecture. (Curt Sparks at curt.sparks@app-arch.com)

Site visit today after the pre-bid to view existing conditions.

Supplemental site visits can be arranged by contacting Carl Daugherty at (937) 8156-4939.

All necessary clarifications will be made by Addendum.

Pre-Bid Sign-In Sheet



DATE: December 19, 2023

PROJECT: East End Community Services

Name	Company	Address	Communication Numbers
Mike Lyon	Becker	MILYON99@gmail	Phone: 937-818-5029 Mobile: E-Mail:
Cambell Gostonsky	AKA	903 Alex St	Phone: 937-241-0076 Mobile: E-Mail: cambell@akc-construction.com
Clay Aikman	AKA	903 Salem St	Phone: 937-222-1501 Mobile: E-Mail: clay@aka-construction.com
Jack Spoltman	Ferguson	825 S Ludlow St.	Phone: 937-638-7343 Mobile: E-Mail: JSpoltman@ferguson-construction.com
JEFF KASH	FENDER	362 HUFFMANN AVE.	Phone: 937-258-9604 Mobile: E-Mail: JKASH@FENDER.COM
Richard Fanchot	K&T CONSTRUCTION	275 Conover Dr.	Phone: 937-790-1020 Mobile: E-Mail: richard@ktconstructioninc.com
Alex Davidson	LL ENGINEERING	7949 Washington Woods Dayton, OH 45459	Phone: 937-750-1010 Mobile: E-Mail: alex.davidson@llwe.com
			Phone: Mobile: E-Mail:

Pre-Bid Sign-In Sheet



DATE: December 19, 2023

PROJECT: East End Community Services

Name	Company	Address	Communication Numbers
Jamie Hileman	Brumbaugh Construction	3520 STATE YA Arcanum, Ohio 45304	Phone: 937-564-3431 Mobile: E-Mail: jamie@brumbaughconstruction.com
Paul Carroll (Dave Moore)	ACCURATE Contracting	3999 PARKWAY LN Suite 1 Hilliard OH 43025	Phone: (614) 520-7177 Mobile: E-Mail: DMooRE@accuratecontracting.net
Andrea Bashaw	ASTACO	400 Linden Ave Dayton, OH 45403	Phone: 937-828-7022 Mobile: E-Mail: andrea.bashaw@astaco.com
			Phone: Mobile: E-Mail:
			Phone: Mobile: E-Mail:
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			Phone: Mobile: E-Mail:
			Phone: Mobile: E-Mail:

Pre-Bid Sign-In Sheet



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Name	Company	Address	Communication Numbers
Shana Dean	WestCare	10057 Elkhorn Cr Ashcamp, Ky 40112	Phone: (606) 754-7077 Mobile: (606) 471-8852 E-Mail: Shana.dean@westcare.com
Fran Kerzman	WestCare Ohio	624 Xenia Ave	Phone: Mobile: E-Mail:
Jan DePina	WestCare Ohio	624 Xenia Ave	Phone: 937 259 1898 Mobile: E-Mail:
Bob Langley	WEST CARE	11	Phone: 937-815-4939 Mobile: E-Mail:
			Phone: Mobile: E-Mail:
			Phone: Mobile: E-Mail:
			Phone: Mobile: E-Mail:
			Phone: Mobile: E-Mail:

Pre-Bid Sign-In Sheet



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Name	Company	Address	Communication Numbers
John Schinoff	FENDER	342 HUFFMAN AVE DAYTON, OH 45403	Phone: 937.258.9604 Mobile: 937.572-1059 E-Mail: JSCHINOFF@FENDER.COM
Nate Hooks	ELford	Dublin Rd Columbus, OH	Phone: 614-580-6404 Mobile: E-Mail: NHooks@Eford.com
JEFF WETZEL	L2 ENGINEERING	7949 WASHINGTON WOODS DAYTON 45459	Phone: Mobile: E-Mail: jeff.wetzel@LtwoE.com
Curt Sparks	App Architecture		Phone: Mobile: E-Mail:
Anthony Espisito	"		Phone: Mobile: E-Mail:
Maria Mundy	"		Phone: Mobile: E-Mail:
Brenda Lynn	"		Phone: Mobile: E-Mail:
			Phone: Mobile: E-Mail: