



# LEVIN PORTER ARCHITECTS

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## **ADDENDUM 1**

### ADDENDUM NO. 01

November 20, 2025

### **MONTGOMERY COUNTY 7<sup>TH</sup> FLOOR RENOVATION 451 W. THIRD STREET DAYTON, OHIO 45422**

**LEVIN PORTER ARCHITECTS  
3011 NEWMRK DRIVE MIAMISBURG, OHIO 45432**

**LPA PROJECT NO. 225331.00**

TO ALL BIDDERS:

This addendum including all items listed hereinafter, shall become a part of the documents, shall be taken into account in preparing the Proposal, and shall become a part of the Contract. The work under each branch shall be in accordance with the original specifications unless excepted in this Addendum.

This Addendum consists of 2 page plus 3 attachments:

#### **ITEM NO 1. : THE SPECIFICATIONS SHALL BE REVISED AS FOLLOWS:**

- 1.1. No Change

#### **ITEM NO 2. THE DRAWINGS SHALL BE REVISED AS FOLLOWS:**

- 2.1. Reference: Sheet AD-107 7TH FLOOR DEMOLITION PLAN
  - A. Keynote at interior existing walls to remain revised to read "EXISTING WALLS TO REMAIN. WHERE NOTED, SEE DETAIL FOR REMOVAL OF J CHANNEL AND REPAIR OF EXISTING GYP. BD. FINISH PREPARE SURFACE FOR NEW FINISH AS SCHEDULED"
- 2.2. Reference: Sheet A-107 FLOOR PLAN
  - A. Keynote 9.23 at interior existing walls to remain revised to read "SEE DETAIL FOR REPAIR OF EXISTING GYP. BD. FINISH PREPARE SURFACE FOR NEW FINISH AS SCHEDULED"
- 2.3. Reference: Sheet A-511 INTERIOR & CASEWORK DETAILS
  - A. Added detail for demo new work at existing walls to remain



**ITEM NO 3. CLARIFICATIONS AS FOLLOWS:**

- 3.1. Reference: Permit Number and Costs
  - A. The General Contractor shall be responsible for paying the permit fee with the City Of Dayton. The permit is BLD2025C-00042 for the amount of \$15,652.47. Include an allowance in the bid for the permit costs.
- 3.2. Reference: Elevator Usage
  - A. Two of the existing building elevators will be available for use for the duration of the project, one of which is a freight elevator. The elevator is 3500# capacity and the dimensions are 63 <sup>3</sup>/<sub>4</sub>" interior width, 71 <sup>5</sup>/<sub>8</sub>" interior depth, 96" interior height, 48" door opening width

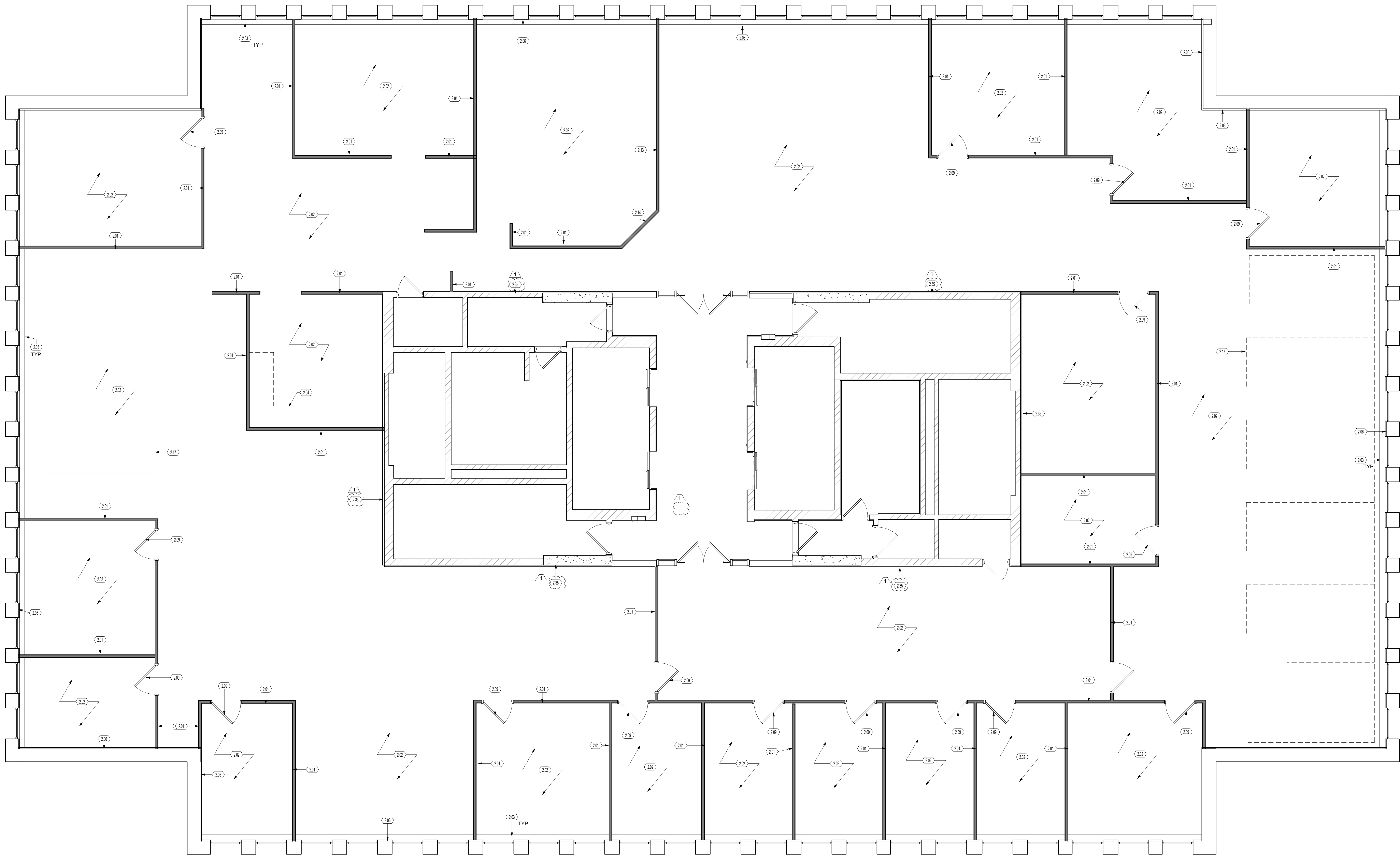
END OF ADDENDUM NO. 01

GENERAL DEMO PLAN NOTES

- A. REMOVE ALL EXISTING CEILING ON FLOOR WHERE IN SCOPE. COMPLETE WALL/FLOOR AS REQUIRED TO MATCH EXISTING FINISHES/ NEW FINISHES.  
B. OWNER RETAINS FIRST RIGHT TO REFUSAL OF EXISTING DEMOUNTABLE AND CUBICAL PARTITIONS.  
C. REMOVE ALL MARKERBOARDS, COATHOOKS, TACK BOARD AND WINDOW SHADE, TYPICAL.

KEYNOTES

- 2.01 DEMOLISH EXISTING PARTITION, BASE, AND ASSOCIATED WALL DEVICES. PATCH WALL/FLOOR AS REQUIRED TO MATCH EXISTING FINISHES/ NEW FINISHES.  
2.02 REMOVE ALL EXISTING FLOOR, WALLS AND CEILING FINISHES. COMPLETE. PREP FOR NEW FINISHES AS SPECIFIED. REFER TO NEW WORK DRAWINGS.  
2.03 EXISTING FLOOR HVAC SYSTEM TO REMAIN. PROTECT DURING CONSTRUCTION  
2.04 REMOVE ALL CASEWORK. COMPLETE  
2.06 EXISTING WALLS TO REMAIN, PREPARE SURFACE FOR NEW FINISH AS SCHEDULED  
2.09 REMOVE EXISTING DOOR, FRAME AND HARDWARE, TYPICAL  
2.13 DEMOLISH EXISTING DEMOUNTABLE PARTITION AND ATTACHED SOFFIT ABOVE.  
2.14 DEMOLISH EXISTING DEMOUNTABLE PARTITION.  
2.17 REMOVE EXISTING CUBICLE PARTITIONS.  
2.35 EXISTING WALLS TO REMAIN WHERE NOTED; SEE DETAIL FOR REMOVAL OF CHANNEL AND REPAIR OF EXISTING GYP. BD. FINISH PREPARE SURFACE FOR NEW FINISH AS SCHEDULED



26 OVERALL DEMO FLOOR PLAN

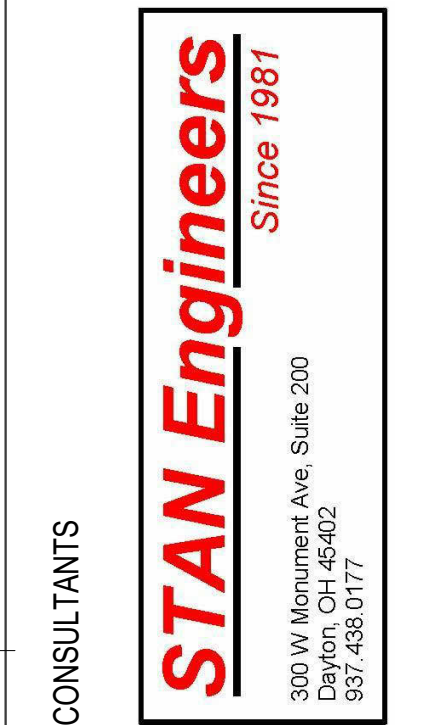
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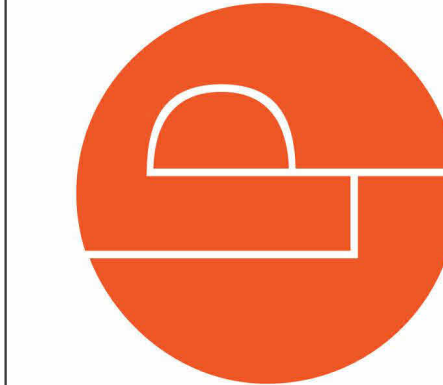
Matthew T. Franklin, License # 0614139  
Expiration Date 12/31/2025

REVISIONS:	Number	Description	Date
	1	ADDENDUM 1	11.20.25

PRINTINGS:	PERMIT/CONSTRUCTION	DOCUMENTS
	10.16.25	



PROJECT NO: 225331.00  
CHECKED BY: JR  
DRAWN BY: JR, MB  
DATE: 10.16.25



7TH FLOOR  
DEMOLITION PLAN

AD-107



11/20/2025 5:37:40 AM

## 26 7TH FLOOR PLAN

SCALE | 1/4" = 1'-0"

### KEYNOTES

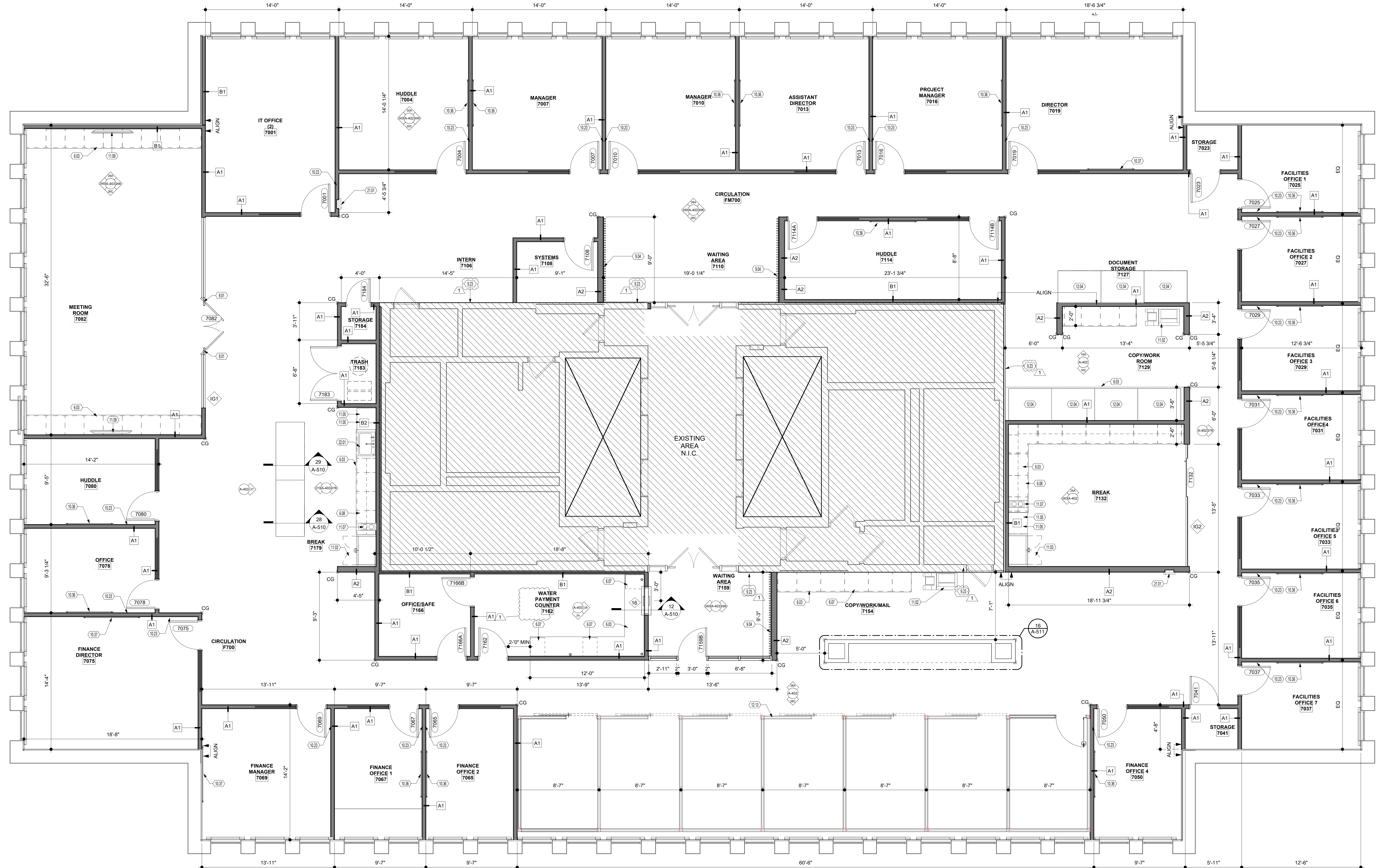
- 6.03 SOLID SURFACE COUNTERTOP (SS-1)  
6.07 CASEWORK - SEE ELEVATIONS AND DETAILS  
6.08 PLASTIC LAMINATE BASE AND WALL CABINETS. PROVIDE IN WALL BLOCKING AS REQUIRED - SEE ELEVATIONS AND DETAILS  
6.01 COORDINATE SLAB CUT IN EXISTING FLOOR FOR DOOR PIVOT HINGE AND FLOOR FINISHES WITH DOOR MANUFACTURER.  
9.04 ARMSTRONG WOODWORKS CLASSICS - WALL PANEL  
9.23 SEE DETAIL FOR REPAIR OF EXISTING GYP. BD. FINISH PREPARE SURFACE FOR NEW FINISH AS SCHEDULED  
10.23 SURFACE MOUNTED HAT AND COAT HOOK, BOD BOBRICK 5-6827, TYP 3  
10.36 4'-0" X 5'-0" GLASSBOARD BOD CLARUS FLOAT - MOUNTED 36" AFF. AND CENTERED IN WALL U.N.O. - PROVIDE IN WALL BLOCKING. COORDINATE FINAL MOUNTING LOCATIONS WITH OWNER  
10.37 4'-0" X 6'-0" GLASSBOARD BOD CLARUS FLOAT - MOUNTED 36" AFF. AND CENTERED IN WALL U.N.O. - PROVIDE IN WALL BLOCKING. COORDINATE FINAL MOUNTING LOCATIONS WITH OWNER  
11.02 PRINTER/COPIER - OWNER PROVIDED, OWNER INSTALLED

### KEYNOTES

- 11.03 REFRIGERATOR WITH ICE MAKER AND WATER DISPENSER. COORDINATE PME REQUIREMENTS. CONTRACTOR PROVIDED AND INSTALLED - SEE PME DRAWINGS MODEL NUMBER PXD228YPFS - GE PROFILE 22.4 CU. FT. SMART COUNTER-DEPTH FRENCH-DOOR REFRIGERATOR (STAINLESS STEEL)  
11.05 MICROWAVE - CONTRACTOR PROVIDED AND INSTALLED. MODEL NUMBER PES7227SLSS - GE PROFILE™ 2.2 CU. FT. COUNTERTOP SENSOR MICROWAVE OVEN (STAINLESS STEEL)  
11.07 COFFEE MAKER WITH INTEGRAL WATER LINE - COORDINATE PME REQUIREMENTS. OWNER PROVIDED AND INSTALLED - SEE PME DRAWINGS  
11.09 TELEVISION - CONTRACTOR PROVIDED AND INSTALLED. BOD: SAMSUNG 75 INCH CLASS NEO QLED QN90D  
12.04 NEW LARGE FORMAT FLAT FILE CABINETS BY OTHERS  
12.13 NEW 12'-0" X 8'-0" CUBICAL - BY OTHERS  
21.01 FIRE EXTINGUISHER AND CABINET  
22.01 SINK FIXTURE. SEE PLUMBING DRAWINGS. (INSULATE PIPING BELOW)

### GENERAL PLAN NOTES

- A. COORDINATE FINAL PLACEMENT OF ALL WALL MOUNTED EQUIPMENT WITH SIGNAGE.  
B. PRIOR TO GYPSUM BOARD INSTALLATION AND ELECTRICAL ROUGH-IN INSPECTION, GENERAL CONTRACTORS, ELECTRICAL/DATA CONTRACTORS, ARCHITECT, AND CONSTRUCTION MANAGER SHALL REVIEW IN-PLACE LOCATIONS OF ALL SWITCH BOXES, RECEPTACLE BOXES, FIRE ALARM BOXES, ETC. FINAL LOCATIONS MAY BE ADJUSTED AT THIS TIME TO ALIGN OR COORDINATE WITH DESIGN INTENT.  
C. ALL WALLS ARE FULL HEIGHT TO DECK ABOVE, UNLESS NOTED OTHERWISE.  
D. SEE SHEET A-800 FOR FURNITURE PLAN.  
E. SEE SHEET A-603 FOR WINDOW ELEVATIONS.  
F. SEE SHEET G-002 FOR TYPICAL MOUNTING HEIGHTS.  
G. CONTRACTOR TO PROVIDE FIRE RETARDANT WOOD BLOCKING BACK-UP IN ALL STUD WALLS ASSEMBLIES AS REQUIRED FOR MOUNTING OF ALL WALL HUNG ACCESSORIES, HUNG FIXTURES, VISUAL DISPLAYS, ETC. COORDINATE WITH OWNER PROVIDED EQUIPMENT AND LOCATIONS.



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STATE OF OHIO  
MATTHEW T. FRANKLIN  
0614139  
REGISTERED ARCHITECT

Matthew T. Franklin, License # 0614139  
Expiration Date 12/31/2025

REVISIONS:  
Number Description Date  
1 ADDENDUM 1 11.20.25

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PERMIT/CONSTRUCTION DOCUMENTS 10.16.25

CONSULTANTS

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**MONTGOMERY COUNTY**

PROJECT NO: 225331.00  
CHECKED BY: MF  
DRAWN BY: JR, RA, MEB  
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FLOOR PLAN

**A-107**



