



LEVIN PORTER ARCHITECTS

3011 NEWMARK DRIVE
MIAMISBURG, OHIO 45342
www.levin-porter.com
Levin Porter Associates Inc. dba Levin Porter Architects

ADDENDUM

ADDENDUM NO. 2

January 23, 2026

**MIAMI COUNTY COMMISSIONERS
HEARING ROOM RENOVATION
LPA No. 248698.00**

TO ALL BIDDERS:

This addendum, including all items listed hereinafter, shall become a part of the Documents, shall be taken into account in preparing the Proposal, and shall become a part of the Contract. The work under each branch shall be in accordance with the original specifications unless otherwise noted in this Addendum.

This Addendum consists of 3 pages plus 6 attachments:

ITEM NO.1 GENERAL ITEMS

1.1 NONE.

ITEM NO.2 BIDDER QUESTIONS

2.1 Question: Confirming that the existing wood trims (crown, chair rail & base) & door frames that are staying will be painted, specs SECTION 099000 PAINTING mentioned wood trims are to be painted unless otherwise noted & I did not see any notes on drawings stating otherwise. Some of the new doors seem to be stained wood, so I am just confirming that the design intent is mostly wood doors with painted framed/trims.

A. Refer to updates on the Finish Material and Room Finish Schedules and plan.

2.2 Question: Are there any additional details on the fixed, field fabricated interior window units? Or a design intent?

A. The design intent is for the three fixed window units to be simple, site fabricated windows with $\frac{1}{4}$ " clear tempered glazing. The wood species is intended to match the species of the adjacent wood slat system. The frame shall be stained to match the wall slat system as well.

2.3 Question: Is the Mechanical Contractor responsible for coordination drawings? Or will there be additional coordination drawings done in the future by others?

A. Refer to Section 230501, Part 1, Section 1.1, Paragraph A Shop Drawings. This section outlines the Contractor's requirements for coordination drawings.



2.4 Question: The VAV boxes operate on stand alone controls. There are no building control systems work required for this project. Confirm?

A. Refer to M-301 keyed note H2 "RELOCATE EXISTING THERMOSTAT FOR EXISTING VAV TO NEW LOCATION. EXTEND CONTROL WIRING AS NECESSARY." New thermostat is intended to replace existing stand-alone controls.

2.5 Question: Regarding the floor box specified in the drawings, a Legrand RFBA. This type of floor box is designed to be poured into a slab on grade. I wanted to confirm if this is indeed what they intend, or if it would be possible to use a poke-through style instead, if so, can they specify a type.

A. A poke-through style may be used. The same capacity of services and types must be provided. Floor box finish shall be selected by the Architect from the full range of options from the selected manufacturer.

1. A basis of design would be: Hubbell SystemOne Recessed, sized as needed for the required service capacity. Box shall be scrub rated and recessed to avoid tripping hazards.

2.6 Question: Are there any existing drawings for the floor above the corridor? Assuming a 4" thick concrete floor over metal form decking but wanted to confirm if possible.

A. Record documents indicate the ground floor and second floor structure are each an 8" thick concrete slab.

2.7 Question: At any point in time are CAD / 3D BIM models available?

A. CAD files can be made available upon request after a Contract has been signed. A copy of a release form for Levin Porter Architects must be signed and returned to our office prior to the release of any requested files. This form is attached as part of this Addendum. A request for documents may be made to KLH Engineers via their website at the link below:

1. <https://www.klhengrs.com/contractor-resources/>

2.8 Question: Could you please have someone verify the correct flooring for Server 102 ? The Finish Schedule says CPT-2, Finish Drawing is showing CPT-3.

A. CPT-2 shall be used in Server 102.

ITEM NO.3 SPECIFICATION REVISIONS

3.1 NONE

ITEM NO.4 DRAWING REVISIONS

4.1 Reference: Sheet G001

A. Sheet Index has been updated to include Sheet G005 which was added during the building permit review process with Miami County.

4.2 Reference: Sheet G004

A. Code notes were updated to reflect a modified code compliance pathway. This change was part of the original permit review process with Miami County and is issued to maintain continuity between bid set and approved permit set. There are no changes to the Project Scope as part of this change.

4.3 Reference: Sheet G005

A. The Life Safety Plan was moved to a new Sheet due to the changes in the code review notes on Sheet G004.



4.4 Reference: Sheet A131

- A. Finish Material Schedule has been updated to include PNT-5 as a finish.
- B. Revised a portion of the rear wall finish of the Hearing Room to WC-1.
- C. Updated the floor finish plan to align the floor finish of Server 102 with the Room Finish Schedule.
- D. Updated the Commissioner's Offices wall finishes to reflect a second paint color below the chair rail.
- E. A note has been added to clarify the finish intent on the wood trim elements within the Commissioner's Offices.

4.5 Reference: Sheet A520 (sheet not re-issued)

- A. Detail 30. Contractor shall fill the entire void below the dias ramp with sound batt insulation, similar to what is required beneath the dias itself.

4.6 Reference: Sheet A522 (sheet not re-issued)

- A. Detail 27. CLARIFY that the design intent for the "glass panel and hardware" shown on the front of the dias casework is to be similar to a CRL glass clamp, surface mounted, with a brushed nickel finish. Height is approximately 1-7/8" and accommodates the 1/2" glass with patterned film in the Specifications.

4.7 Reference: Sheet A601

- A. Door Schedule has been updated to clarify the intended door finishes for each opening.
- B. Updated Door 115 in the schedule to reflect it is intended to be a pair of full lite wood doors set within an aluminum frame.

END OF ADDENDUM NO. 2



PRINCIPALS

Mark C. Wiseman
AIA, LEED AP

Matthew T.
Franklin
AIA, LEED AP BD+C

January 20, 2026

RE: AutoCAD/Revit Data Files
Miami County Commissioner's Hearing Room Renovation Project
LPA Project No. 248698.00

ASSOCIATES

Robert Brown
AIA, NCIDQ

Michael Huff
AIA, LEED AP BD+C

Will Kaly
AIA

Veronica Pochet
AIA, LEED AP BD+C

Jordan Reed
AIA, NCIDQ

Dear Contractor:

You have requested an AutoCad file for the above referenced job. We are happy to furnish this to you under the conditions herein below set forth:

- You are requesting this model solely for the purpose of coordinating and expediting your work on this specific project and for no other purpose.
- The file(s) provided are not Contract Drawings; they are work product tools used to produce the Contract Drawings. As such, they may contain information that may or may not be consistent with the Contract Drawings.
- Ownership of the information to be provided to you as herein set forth is and shall remain the sole and exclusive property of Levin Porter Associates Inc.
- Levin Porter Associates Inc makes no representation or warranty, expressed or implied, as to the quality or content of the information of these files.

Upon the signature below by an authorized representative of your organization which constitutes acceptance of the above terms under which files noted are being tendered to you, and return of the signed letter, we will immediately forward the requested information to you.

Name Company

Sincerely,

Mark Wiseman, AIA



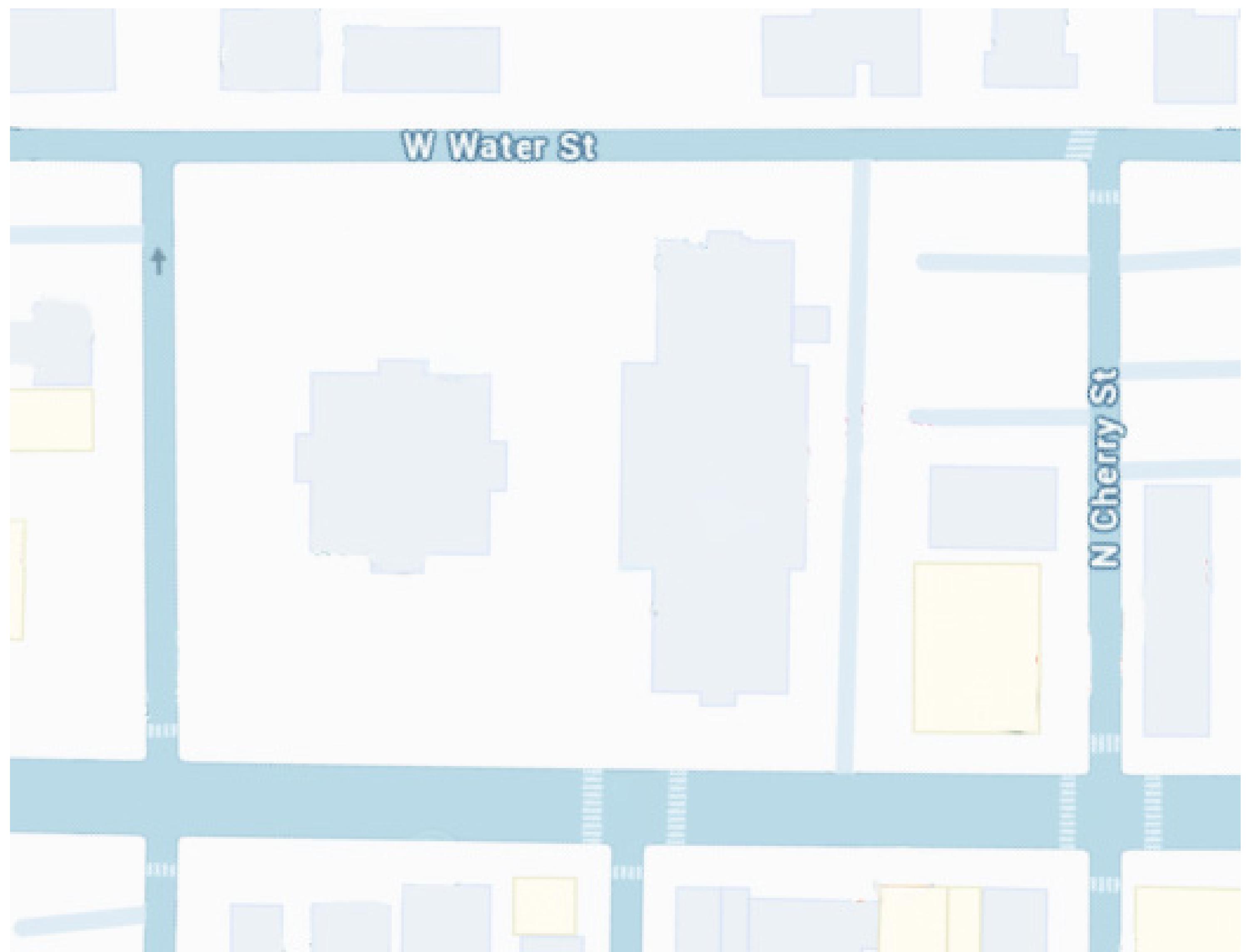


MIAMI COUNTY

COMMISSIONER'S HEARING ROOM RENOVATION

201 W Main St, Troy, OH 45373

BID & PERMIT REVIEW DOCUMENTS



PROJECT UTILIZATION MAP

DRAWING INDEX

SHEET NO.	SHEET NAME
GENERAL	
G001	TITLE SHEET
G002	GENERAL NOTES AND SYMBOLS
G003	WALL TYPES
G004	CODE NOTES
G005	LIFE SAFETY PLAN
ARCHITECTURAL DEMO	
AD101	DEMO PLAN
AD121	DEMO CEILING PLAN
AD410	DEMO ELEVATIONS
AD411	DEMO ELEVATIONS
ARCHITECTURAL	
A101	FIRST FLOOR PLAN
A121	REFLECTED CEILING PLAN
A131	FLOOR FINISH PLAN
A141	FURNITURE PLAN
A301	BUILDING SECTIONS
A410	INTERIOR ELEVATIONS
A411	INTERIOR ELEVATIONS
A412	INTERIOR ELEVATIONS
A520	INTERIOR & CASEWORK DETAILS
A521	INTERIOR DETAILS
A522	DIAS DETAILS
A601	DOOR SCHEDULE, TYPES, AND DETAILS
A801	INTERIOR RENDERINGS
PLUMBING	
P0001	PLUMBING COVER SHEET
P4100	PLUMBING PLAN - OVERALL
P4101	PLUMBING SANITARY & VENT PLAN
P4501	PLUMBING - DETAILS
MECHANICAL	
M001	MECHANICAL COVER SHEET
M1101	MECHANICAL DEMO PLAN
M3101	MECHANICAL DUCTWORK PLAN
ELECTRICAL	
E001	ELECTRIC COVER SHEET
E1101	ELECTRIC DEMO PLAN
E3101	ELECTRIC LIGHTING PLAN
E3601	ELECTRIC LIGHTING - SCHEDULES
E3602	ELECTRIC LIGHTING - ENERGY COMPLIANCE
E4101	ELECTRIC POWER PLAN
E4102	ELECTRIC RACEWAY PLAN
E4501	ELECTRIC - DETAILS
E4601	ELECTRIC POWER - SINGLE LINE DIAGRAM & SCHEDULES

STATE OF OHIO
MARK C. WISEMAN
REGISTERED ARCHITECT
13215

Mark C. Wiseman, License #13215
Expiration Date 12/31/2027

REVISIONS:	1	CODE UPDATE & ADDENDUM #2	Date
PRINTINGS:	BID & PERMIT DOCUMENTS	10/03/2025	

KLH
ENGINEERS

CONSULTANTS

MIAMI COUNTY
COMMISSIONER'S HEARING ROOM
RENOVATION



PROJECT NO:
248698.00

CHECKED BY:
Checker

DRAWN BY:
Author

DATE:
10/03/2025

LEVIN PORTER
ARCHITECTS
3011 DEUPARK DRIVE
MIAMISBURG, OHIO 45342
O: 937.224.1331
F: 937.224.3091
www.levinporter.com
Levin Porter Architects, Inc. is a LEED® Certified Firm

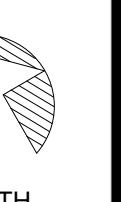


TITLE SHEET

G001



VICINITY MAP



CODE NOTES

2024 EXISTING OHIO BUILDING CODE (WITH UPDATES)

PROJECT SCOPE:
RENOVATE THE EXISTING ADMINISTRATIVE OFFICE AREA AND COMMISSIONER'S HEARING ROOM TO UPDATE FINISHES AND MODIFY THE LAYOUT TO BETTER ACCOMMODATE CURRENT NEEDS. LIMITED MECHANICAL, ELECTRICAL, PLUMBING AND TECHNOLOGY UPDATES ARE INCLUDED. NO CHANGES TO THE BUILDING ENVELOPE OR STRUCTURE ARE INCLUDED IN THE PROJECT SCOPE.
BUILDING OVERALL OCCUPANCY: 6-BUSINESS (OBC SECTION 304.1) **(NO CHANGE)**
EXISTING BUILDING AREA: **(NO CHANGE)**

THIS PROJECT'S RENOVATION AREA = APPROXIMATELY 3,031 SF **(NO CHANGE)**
OC SECTION 304.1 OCCUPANCY: **(NO CHANGE)**
CONSTRUCTION TYPE: **B**
* ALL NEW CONSTRUCTION SHALL BE NON-COMBUSTIBLE. EXISTING CONSTRUCTION SHALL REMAIN AS-IS.

COMPLIANCE VIA 301.3.2 WORK AREA COMPLIANCE METHOD

CHAPTER 3 - PROVISIONS FOR ALL COMPLIANCE METHODS

Section 302 General Provision

302.3 - Existing materials in place and in compliance with requirements or approvals in effect at the time of their installation may remain in use.

302.4 - New or replacement materials shall be compliant with the requirements for new construction.

302.4.1 New structural members and connections shall comply with the detailing provisions of the building code for new construction.

302.5 The Occupancy and Use of the building shall be in accordance with Chapter 3 of the 2024 Ohio Building Code (OBC).

302.6 Used materials and products may be permitted if approved by the building official.

302.7 The fire resistance of existing assemblies and materials, where no data on the fire resistance of the assembly exists, shall be determined by using Section 721 of the OBC or Resource A, Guidelines on Fire Ratings of Archaic Materials and Assemblies as published in the OBC.

Section 303 Storm Shelters

303.1 Not Applicable. A storm shelter is not part of the Project Scope.

Section 304 Structural Design Loads and the Evaluation and Design Provisions

304.1 Live loads: Where a live load, as part of an alteration or addition, does not increase the design live load, the existing structural elements may be evaluated and designed for live approved prior to the addition or alteration. Increased live loads shall be compliant with Section 1607 of the OBC.

Section 306 Accessibility for Existing Buildings

306.1 These provisions are applicable to the maintenance, repair, change of occupancy, addition and alteration of existing buildings, including historic buildings.

306.2 The design and construction of buildings and facility components associated with accessibility shall comply with the OBC and ICC A117.1

306.3 A facility undergoing alterations to be accessible shall be maintained accessible during occupancy, including required accessible means of egress.

306.4 An alteration shall not impose a higher degree of accessibility than what would be required in new construction.

306.5 A Change of Occupancy is Not Applicable as this Project is NOT changing occupancies.

306.6 Additions: Not Applicable to this Project.

306.7 Alterations to an existing building shall comply with the provisions of Chapter 11 of the OBC, ICC A117.1 and provisions of Sections 306.7.1 thru 306.7.16 unless technically infeasible. Where technically infeasible, the alteration shall provide access to the maximum extent possible.

306.7.1 Alterations not reduce the accessibility of Primary Function areas. A restroom supporting the administrative area lies on an accessible path but is not itself accessible. See 306.7.1.1 below.

306.7.1.1 The existing single-user restroom is not accessible, lacking the physical space to provide the necessary maneuvering clearances. Existing group restrooms, one for each gender, are available within 200', are accessible and lie on an accessible route.

306.7.2 Accessible means of egress, as outlined in Chapter 10 of the OBC, are not required to be added in existing facilities.

306.7.3 Alteration of Type A Units: Not Applicable to this Project.

306.7.4 Alteration of Type B Units: Not Applicable to this Project.

306.7.5 The main entrances to the Administrative Area and Hearing Room shall be altered to be accessible.

306.7.6 Existing, exterior accessible routes are a minimum of 36" in width. Refer to the Construction Drawings.

306.7.7 Elevators: Not Applicable to this Project.

306.7.8 Platform Lifts: Not Applicable to this Project.

306.7.9 Stairways and Escalators: Not Applicable to this Project.

306.7.10 Accessible Type A or Type B Units: Not Applicable to this Project.

306.7.11 The required ICC A117.1 signage, directing someone to accessible restrooms, shall be provided at the existing single-user restroom, as required by this Section.

306.7.12 Bathing rooms: Not Applicable to this Project.

306.7.13 Additional Toilet and Bathing facilities: Not Applicable to this Project as the scope does include the addition of restroom fixtures to existing restrooms.

306.7.14 Dressing, Fitting & Locker Rooms: Not Applicable to this Project.

306.7.15 Amusement rides: Not Applicable to this Project.

306.7.16 Historic structures: Not Applicable to this Project.

Section 307 Smoke Alarms

307.1 Not Applicable to this Project as sleeping rooms nor spaces in the vicinity of sleeping rooms are part of this Project.

Section 308 Carbon Monoxide Detection

308.1 Not Applicable to the Project. The work does not alter occupancies in Group I-1, I-2,I-4 and R Occupancies. Group E Occupancies are also not impacted.

Section 309 Additions and Replacements of Exterior Wall Coverings and Exterior Wall Envelopes

309.1 Requirements of this Section are required regardless of Compliance Method.

309.2 Additions and Replacements: Not Applicable to the Project as the scope does not involve the alteration of exterior building claddings.

CHAPTER 6 - CLASSIFICATION OF WORK

Section 501 General

601.1 Provisions of this chapter are applicable to alterations, additions and changes of occupancy of existing buildings and structures, including historic.

Section 603 Alteration - Level 2

603.1 This Project involves alterations within a work area that is less than 50% of the building area.

Section 605 Change of Occupancy

605.1 Not Applicable to the Project. There is no Change of Use.

Section 606 Additions

606.1 Not Applicable to the Project. An Addition is not part of the scope.

Section 607 Historic Building

607.1 Not Applicable to the Project. The building is not a Historic building.

CHAPTER 7 - ALTERATIONS: LEVEL 1

701.2 An existing building or portion thereof shall not be altered such that the building becomes less safe.

Section 702 Building Elements and Materials

702.1 Interior Finishes: New interior wall and ceiling finishes shall comply with Chapter 8 of the Building Code.

702.2 Interior floor finishes: New interior floor finishes shall comply with Section 804 of the Building Code.

702.3 Interior trim: New interior trim materials shall comply with Section 806 of the Building Code.

702.4 Window opening control devices on replacement windows: Not Applicable to this project as it does not involve Group R-2 or R-3 uses.

702.5 Replacement window for emergency escape and rescue openings: Not Applicable as there aren't any windows that serve as an emergency escape and rescue opening.

702.6 Bars, grilles, covers or screens: Not Applicable as there aren't any emergency escape or rescue windows in the project.

702.7 Materials and Methods: New work shall comply with the materials and methods requirements outlined in the Building Code, applicable Energy Conservation Code, the Mechanical Code and the Plumbing Code.

Section 703 Fire Protection

703.1 Alterations shall be done in a manner that maintains the level of fire protection provided.

Section 704 Means of Egress

704.1 Alterations shall be done in a manner that maintains the level of protection provided for the means of egress.

704.2 Casing: Additions, alterations or reconfiguration of nonfixed and movable cases, counters and partitions not over 5'-9" in height shall maintain the required means of egress path.

704.3 Locking arrangements in educational occupancies: Not Applicable to this project.

Section 705 Roofing

705.1 Materials and methods of application used for recovering or replacing an existing roof covering shall comply with the requirements of the Building Code. Not Applicable to the Project as there is no roofing work in the scope.

Section 706 Structural

706.1 Not Applicable as this Project does not involve the replacement of building supported equipment or reroofing.

Section 707 Electrical

707.1 Not Applicable as the Project does not involve an I-2 facility.

Section 708 Energy Conservation

708.1 Level 1 alterations to existing buildings or structures do not require compliance with the energy conservation code in Chapter 13 of the Building Code.

CHAPTER 8 - ALTERATIONS: LEVEL 2

801.2 Level 2 alterations shall also comply with the requirements of Chapter 7 of the Ohio Existing Building Code.

801.3 System installations: Work area requirements are applicable as this Project extends beyond the exceptions in this section.

801.4 Compliance: New construction, systems and spaces shall comply with the requirements of the Building Code.

Section 802 Building Elements and Materials

802.2 Vertical Openings: Not Applicable as this Project does not contain vertical openings.

802.3 Smoke compartments: Not Applicable as this project does not contain a Group I-2 occupancy.

802.4 Interior finish: Interior finish and trim of walls and ceilings in exits and corridors in any work area shall comply with the requirements of the Building Code.

802.5 Guards: Not Applicable as this Project does not require installation of guards.

CODE NOTES

Section 803 Fire Protection
803.1 Scope: These requirements apply to the Level 2 work area unless otherwise noted.

803.1.1 Corridor ratings: The existing building is not suppressed and this section is therefore Not Applicable.

803.2 Automatic sprinkler systems:

803.2.1 High-rise buildings: Not Applicable as the building is not a high-rise.

803.2.2 Groups A, B, E, F-1, H, I-1, I-3, L, M, R-1, R-2, R-4, S-1 and S-2: The work area does not exceed 50% of the floor area. Accordingly, the project is not required to have an automatic fire suppression system. None is provided as part of the Project.

803.2.3 Group I-2: Not Applicable as the Project does not contain an I-2 use.

803.2.4 Windowless stories: Not Applicable as the Project does not contain a windowless story.

803.2.5 Other required automatic sprinkler systems: Not Applicable as the Project does not contain a use listed in Table 903.2.11.6 in the Building Code.

803.2.6 Supervision: Not Applicable as the Project does not feature a sprinkler system.

803.3 Standpipe: Not Applicable as the Project does not contain an exit located more than 50' above the lowest level of fire department access.

803.4 Fire alarm and detection: The building features an existing fire alarm system.

803.4.1 Occupancy Requirements: Per Exception #1, the existing, previously permitted fire alarm system shall satisfy requirements.

803.4.2 Supplemental fire alarm system requirements: Not Applicable as the Project is less than 50% of the floor area.

803.5 Means of Egress:

804.1 General: Per Exception #2, the existing non-fire rated means of egress construction shall satisfy requirements as it was compliant when the building was originally constructed and does not constitute a distinct hazard to life.

804.2 Group I-2: Not Applicable.

804.3 Number of exits: The Project meets the requirements for number of exits as outlined in the Building Code.

804.4.1 Single-exit buildings: Not Applicable.

804.4.2 Fire escapes required: Not Applicable as a fire escape is not required to meet the number of exits.

804.4.3 Mezzanines: Not Applicable as the Project does not contain a mezzanine.

804.4.4 Main Entrance - Group A: Not Applicable as the occupant load of the A-Use area is less than 300.

804.5 Egress doorways:

804.5.1 Two egress doorways required: Two exits, meeting travel distance requirements, are provided from the work area.

804.5.2 Door swing: Doors serving an occupant load of greater than 50 swing in the direction of travel.

804.5.3 Door closing: Doors opening onto an exit passageway at grade or exit stairway shall be self-closing.

804.5.4 Panic and fire exit hardware: Not Applicable as the Group A occupancy does not contain more than 100 occupants.

804.5.5 Emergency power source in Group I-3: Not Applicable.

804.6 Exit signs are provided in accordance with the Building Code.

804.7 Handrails: Not Applicable as the Project does not involve exit stairways. Handrails serving a new ramp shall meet the requirements of the Building Code as required per Section 302.

804.8 Refuge Area: Not Applicable.

804.9 Guards: Not Applicable as the Project does not feature egress elements more than 30 above floor.

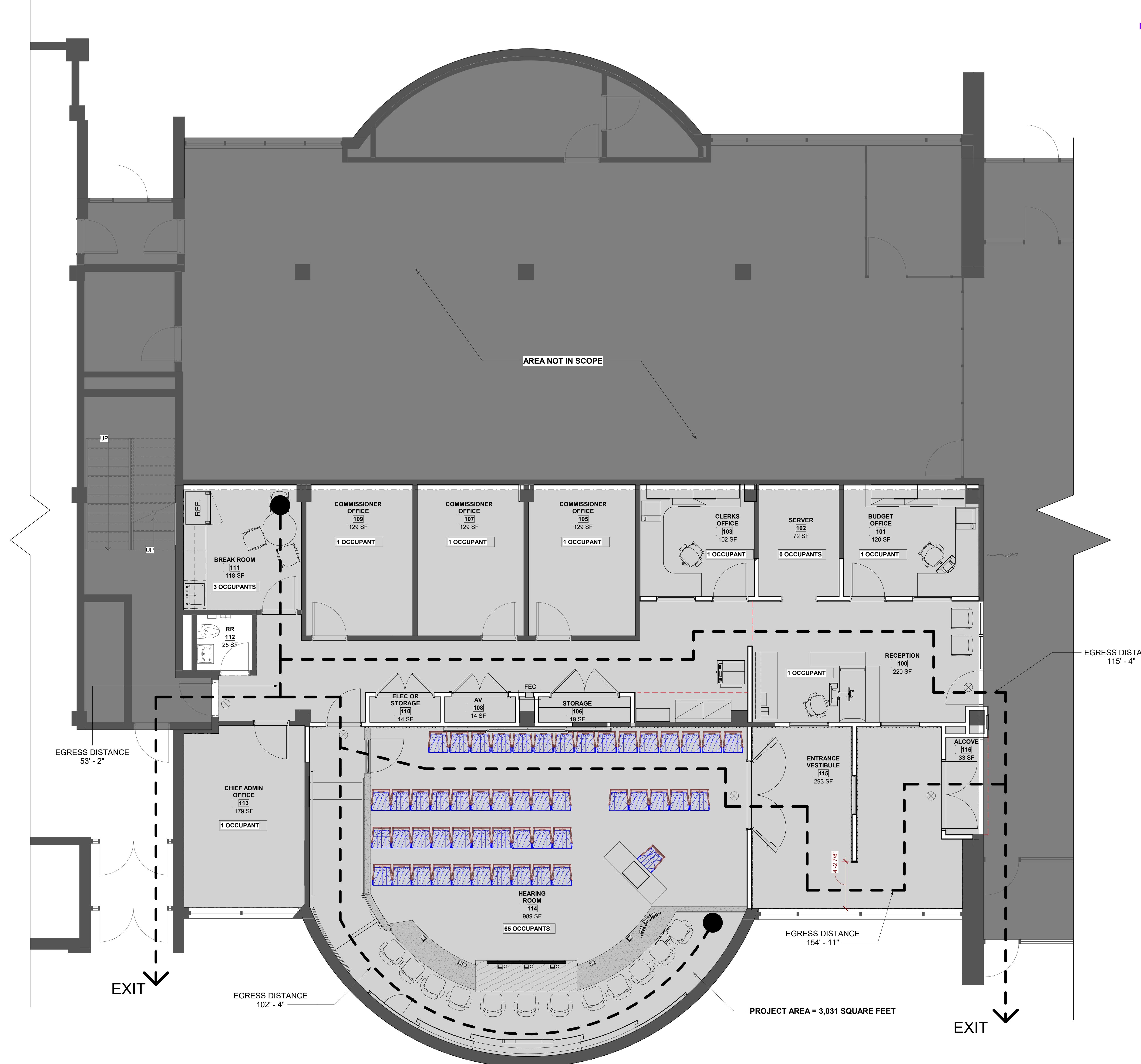
805.2 Existing structural elements carrying gravity loads: No existing structural elements have an increased load due to the alterations of the Project.

805.3 Existing structural elements resisting lateral loads: No existing structural elements have an increased lateral load due to the alterations of the Project.

805.4 Voluntary lateral force-resisting system alterations: No existing structural elements have an increased lateral force load due to the alterations of the Project.

SECTION 806 ELECTRICAL

806.1 Newly installed electrical equipment and wiring shall meet all applicable requirements of NFPA 70.



LIFE SAFETY LEGEND

SCALE | 1/8" = 1'-0"

FIRE RATING SYMBOLS:

	EXIT SIGN / DIRECTION
	0HR SMOKE PARTITION
	1 HOUR SMOKE BARRIER
	1 HOUR FIRE PARTITION
	3 HOUR FIRE BARRIER
	2 HOUR FIRE BARRIER
	1 HOUR FIRE BARRIER
	3 HOUR FIRE WALL
	2 HOUR FIRE WALL
	FIRE EXTINGUISHER
	FIRE EXTINGUISHER

STATE OF OHIO
MARK C. WISEMAN
REGISTERED ARCHITECT
13215
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Expiration Date 12/31/2027

REVISIONS:	BID & PERMIT	10/03/2025
REVIEWED:	DOCUMENTS	
CODE UPDATE & ADDENDUM #2	1-23-2026	
Number	Description	

KLH
ENGINEERS

CONSULTANTS

MIAMI COUNTY
COMMISSIONER'S HEARING ROOM
RENOVATION



PROJECT NO.
248698.00
CHECKED BY
Checker
DRAWN BY
Author
DATE:
10/03/2025

LEVIN PORTER
ARCHITECTS
3011 DELMARK DRIVE
Mариуполь, ОДЕССА 31331
0-937-224-1331
F-937-224-3091
www.levinporter.com
levinporter@levinporter.com



LIFE SAFETY PLAN

G005

SHEET ADDED AS PART OF
CODE NOTE UPDATES. LIFE
SAFETY PLAN MOVED TO THIS
SHEET. NO CHANGES TO THE
PLAN.



NORTH

FINISH MATERIAL SCHEDULE					
KEY NAME	DESCRIPTION	BASIS OF DESIGN	MODEL NAME / COLOR / MODEL NUMBER	SIZE	COMMENTS
BASE					
EB-1	WOOD WALL BASE				EXISTING
EB-2	WALL BASE				EXISTING
RB-1	RUBBER BASE	ROPPE	700 SERIES / 193 BLACK BROWN	4"	
CASEWORK					
PL-1	PLASTIC LAMINATE	WILSONART	STUDIO TEAK 7960K-18	-	HEARING AND OFFICE CASEWORK
PL-2	PLASTIC LAMINATE	WILSONART	MORELIA MANGO 7985-38	-	BREAK ROOM CASEWORK
PT-1	PARTITION SCREEN	3FORM	CHROMA FIN PARTITION / 85" X 24"	-	HEARING CASEWORK
SS-1	SOLID SURFACE	CORIAN	STONIQUE	-	COUNTERTOPS AND HEARING CASEWORK
CEILING					
ACT-1	ACOUSTICAL CEILING TILE	ARMSTRONG	LYRA PB TEGULAR / WHITE / 8361PB	24" X 24"	HEARING ROOM AND ENTRANCE VESTIBULE
ACT-2	ACOUSTICAL CEILING TILE	ARMSTRONG	LYRA PB TEGULAR / WHITE / 8379PB	12" X 96"	
GYP-1	GYPSUM CEILING, PAINTED	SHERWIN WILLIAMS	PNT-3	-	ALCOVE
WD-1	WOOD LOOK ACOUSTIC CEILING	ARMSTRONG	WOODWORKS LINEAR SOLID WOOD PANELS	12" X 96"	1713BL ACOUSTIC INFILL PANEL
FLOORING					
CPT-1	CARPET TILE	PATCRAFT	LITHIC 10884 REFORMED / 00780 ESPRESSO / URBAN RELIEF / 10516 SUBURBAN ABSTRACT / 00700 RAILCAR	18" X 36"	HEARING ROOM AND ENTRANCE VESTIBULE, BRICK PATTERN
CPT-2	CARPET TILE	PATCRAFT	WEST ELM + SHAW CONTRACT / 57486 GRIT TILE / 84506 CLAY	24" X 24"	CORRIDOR AND RECEPTION, BRICK PATTERN
CPT-3	CARPET TILE	SHAW CONTRACT	-	-	EXISTING
EBR-1	BRICK FLOORING		-	-	EXISTING
ECT-1	CERAMIC TILE		-	-	EXISTING
LVT-1	LUXURY VINYL TILE	SHAW CONTRACT	SOLITUDE / 0648V SOLITUDE / 48761 UMBER	6" X 48"	BREAK ROOM, BRICK PATTERN
MISC					
CLR-1	STOREFRONT		MATCH EXISTING		
ECM-1	WOOD CROWN MOLDING				EXISTING
ECR-1	WOOD CHAIR RAIL				EXISTING
EWD-1	WOOD DOOR FRAME				EXISTING
SS-2	SOLID SURFACE	CORIAN	STONIQUE	-	HEARING RAIL CAP
WD-1	WOOD DOOR FRAME		MATCH EXISTING		
ECH-1	CONCRETE				EXISTING
EBC-1	EXTERIOR BRICK				EXISTING
PNT-1	FIELD COLOR	SHERWIN WILLIAMS	SW 7566 NEUTRAL GROUND	-	FIELD COLOR
PNT-2	ACCENT COLOR 1	SHERWIN WILLIAMS	SW 6150 UNIVERSAL KHAKI	-	ACCENT
PNT-3	CEILING PAINT	SHERWIN WILLIAMS	PAINT TO MATCH EXISTING	-	GYPSUM CEILINGS
PNT-4	FIELD COLOR	SHERWIN WILLIAMS	PAINT TO MATCH EXISTING	-	SECURITY HALLWAY
PNT-5	DOOR/FRAME/TRIM COLOR	SHERWIN WILLIAMS	TBD	-	INCLUDES EXISTING WOOD TRIM TO REMAIN
WC-1	VINYL WALLCOVERING	MDC	LOOM-INOSITY Y48327LM / OTTER	-	HEARING CURVED ACCENT WALL & REAR WALL
WD-2	WOOD LOOK ACOUSTIC	ARMSTRONG	WOODWORKS LINEAR SOLID WOOD PANELS	-	1713BL ACOUSTIC INFILL PANEL
PANEL					

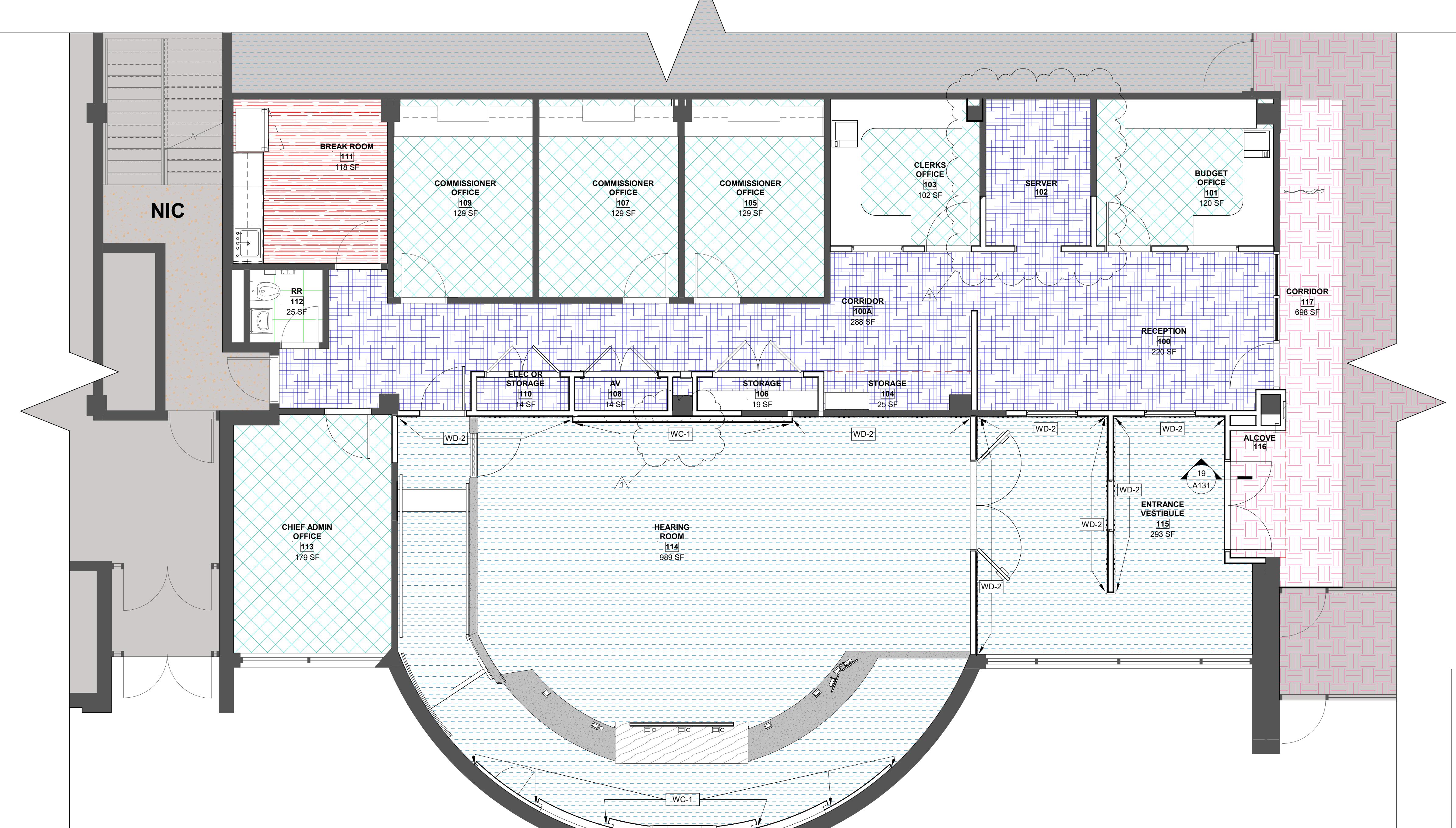
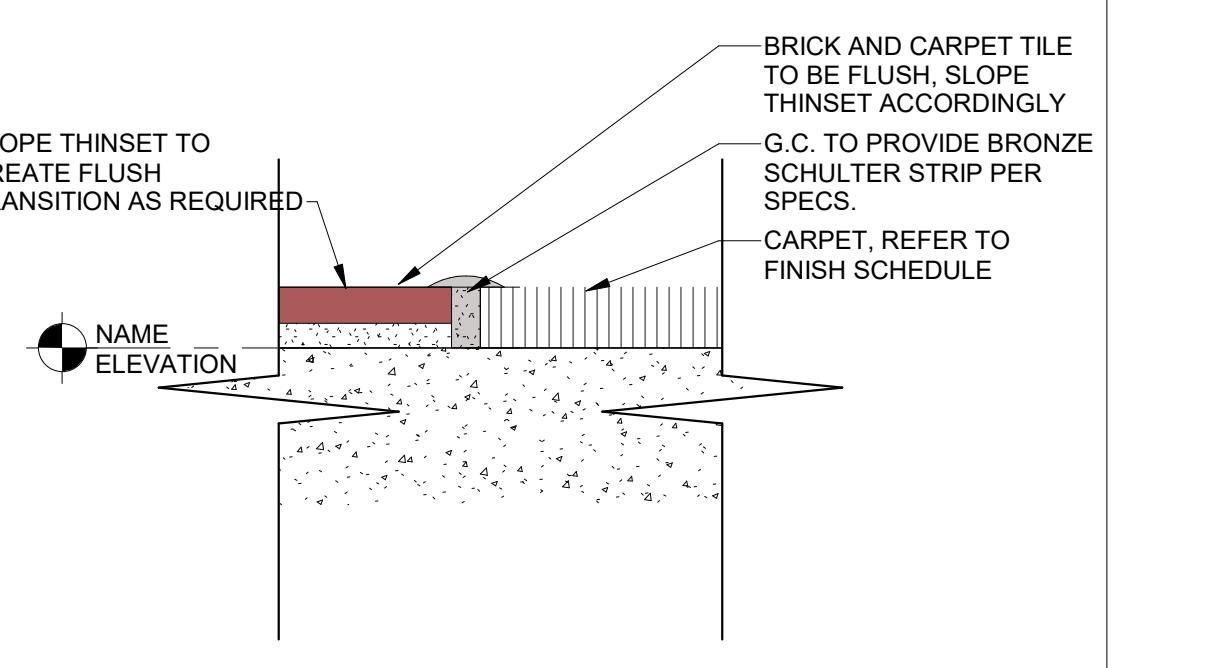
ROOM NUMBER	ROOM NAME	FLOOR FINISH	BASE FINISH	FINISHES				COMMENTS
				NORTH	EAST	SOUTH	WEST	
100	RECEPTION	CPT-2	RB-1	PNT-1	PNT-1	PNT-1	PNT-1	ACT-1
100A	CORRIDOR	CPT-2	RB-1	PNT-1	PNT-1	PNT-1	PNT-1	ACT-1
101	BUDGET OFFICE	CPT-3	RB-1	PNT-1	PNT-1	PNT-1	PNT-1	ACT-1
102	SERVER	CPT-2	RB-1	PNT-1	PNT-1	PNT-1	PNT-1	ACT-1
103	CLERKS OFFICE	CPT-3	RB-1	PNT-1	PNT-1	PNT-1	PNT-1	ACT-1
104	STORAGE	CPT-2	RB-1	PNT-1	PNT-1	PNT-1	PNT-1	PNT-2 BELOW CHAIR RAIL
105	COMMISSIONER OFFICE	CPT-3	EWB-1	PNT-1, ECM-1, PNT-2	PNT-1, PNT-2, ECR-1, ECM-1	PNT-1, PNT-2, ECR-1, ECM-1	PNT-1, PNT-2, ECR-1, ECM-1	ACT-1
106	STORAGE	CPT-2	RB-1	PNT-1	PNT-1	PNT-1	PNT-1	ACT-1
107	COMMISSIONER OFFICE	CPT-3	EWB-1	PNT-1, ECM-1, PNT-2	PNT-1, PNT-2, ECR-1, ECM-1	PNT-1, PNT-2, ECR-1, ECM-1	PNT-1, PNT-2, ECR-1, ECM-1	ACT-1
108	AV	CPT-2	RB-1	PNT-1	PNT-1	PNT-1	PNT-1	ACT-1
109	COMMISSIONER OFFICE	CPT-3	EWB-1	PNT-1, ECM-1, PNT-2	PNT-1, PNT-2, ECR-1, ECM-1	PNT-1, PNT-2, ECR-1, ECM-1	PNT-1, PNT-2, ECR-1, ECM-1	ACT-1
110	ELEC OR STORAGE	CPT-2	RB-1	PNT-1	PNT-1	PNT-1	PNT-1	ACT-1
112	RR	ECT-1	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	
113	CHIEF ADMIN OFFICE	CPT-3	RB-1	PNT-1	PNT-1	PNT-1	PNT-1	ACT-1
114	HEARING ROOM	CPT-1	RB-1	PNT-1	PNT-1, WC-1, WD-2	PNT-1, WC-1, WD-2	PNT-1, WC-1, WD-2	ACT-2, WD-1
115	ENTRANCE VESTIBULE	CPT-1	RB-1	PNT-1, WD-2, EEB-1	PNT-1, WD-2, ECR-1	PNT-1, WD-2, ECR-1	PNT-1, WD-2, ECR-1	ECN-1
116	ALCOVE	EBR-1	RB-1	PNT-4	-	PNT-4	PNT-4	GYP-1
117	CORRIDOR	EBR-1	RB-1	PNT-4, EXISTING	EXISTING	EXISTING	EXISTING	

FLOOR FINISH LEGEND

CPT-1	ECT-1
CPT-2	LVT-1
CPT-3	EBR-1

19 BRICK TO CARPET TRANSITION

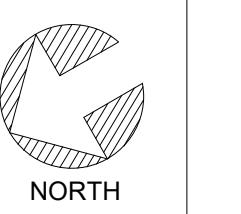
SCALE | 6" = 1'-0"



26 OVERALL FLOOR PLAN

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KEY PLAN



A131

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GENERAL NOTES

A. SEE SHEET G-002 FOR PROJECT GENERAL REQUIREMENTS.

B. AT ALL AREAS INDICATED WITH EXPOSED CEILINGS, THE CONTRACTOR SHALL PAINT ALL STRUCTURE, DECKING, DUCTWORK, CONDUIT, AND OTHER NON-PREFINISHED ITEMS. COLOR SHALL BE AS SCHEDULED.

C. SEE FINISH PLANS AND ELEVATIONS FOR ALL SCHEDULED FINISHES INCLUDING WALL PAINT LOCATIONS AND COLORS. CONTRACTOR TO COORDINATE FINAL WALL COLOR SELECTION WITH ARCHITECT AND OWNER PRIOR TO APPLICATION.

D. CONTRACTOR TO APPLY TOPICAL MOISTURE MITIGATION SYSTEM BARRIER TO ALL EXPOSED WOOD. SEE SPECIFICATIONS FOR REQUIREMENTS. IF MOISTURE LEVELS ARE NOT MET, THE CONTRACTOR IS RESPONSIBLE FOR ALL COSTS RELATED TO MOISTURE MITIGATION WITHOUT DELAYING THE FLOORING INSTALLATION SCHEDULE.

E. COORDINATE FINAL CARPET PATTERN AND SELECTION WITH ARCHITECT.

F. SEE SPECIFICATIONS AND FINISH SCHEDULE FOR ADDITIONAL FINISH INFORMATION.

G. COORDINATE ALL FLOOR TRANSITION REQUIREMENTS.

H. SEE CEILING PLAN FOR ADDITIONAL FINISH INFORMATION.

I. WHERE FLOOR BOXES ARE INDICATED TO BE INSTALLED, THE CONTRACTOR SHALL INSTALL CARPET OR ADJACENT SPECIFIED FLOORING ON FLOOR OUTLET COVER. CONTRACTOR SHALL ALSO ABUT CARPET TO FIT TIGHTLY AROUND FLOOR OUTLET BOXES. TOP COVER AND TOP OF MAIN AREA OF CARPET SHALL BE FLUSH.

MIAMI COUNTY
COMMISSIONER'S HEARING ROOM
RENOVATION



LEVIN PORTER
ARCHITECTS
2011 DEIRMERK DRIVE
Mариуполь, ОДЕССА 65424
Украина
www.levinporter.com.ua
levin.porter@ukr.net



FLOOR FINISH PLAN

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