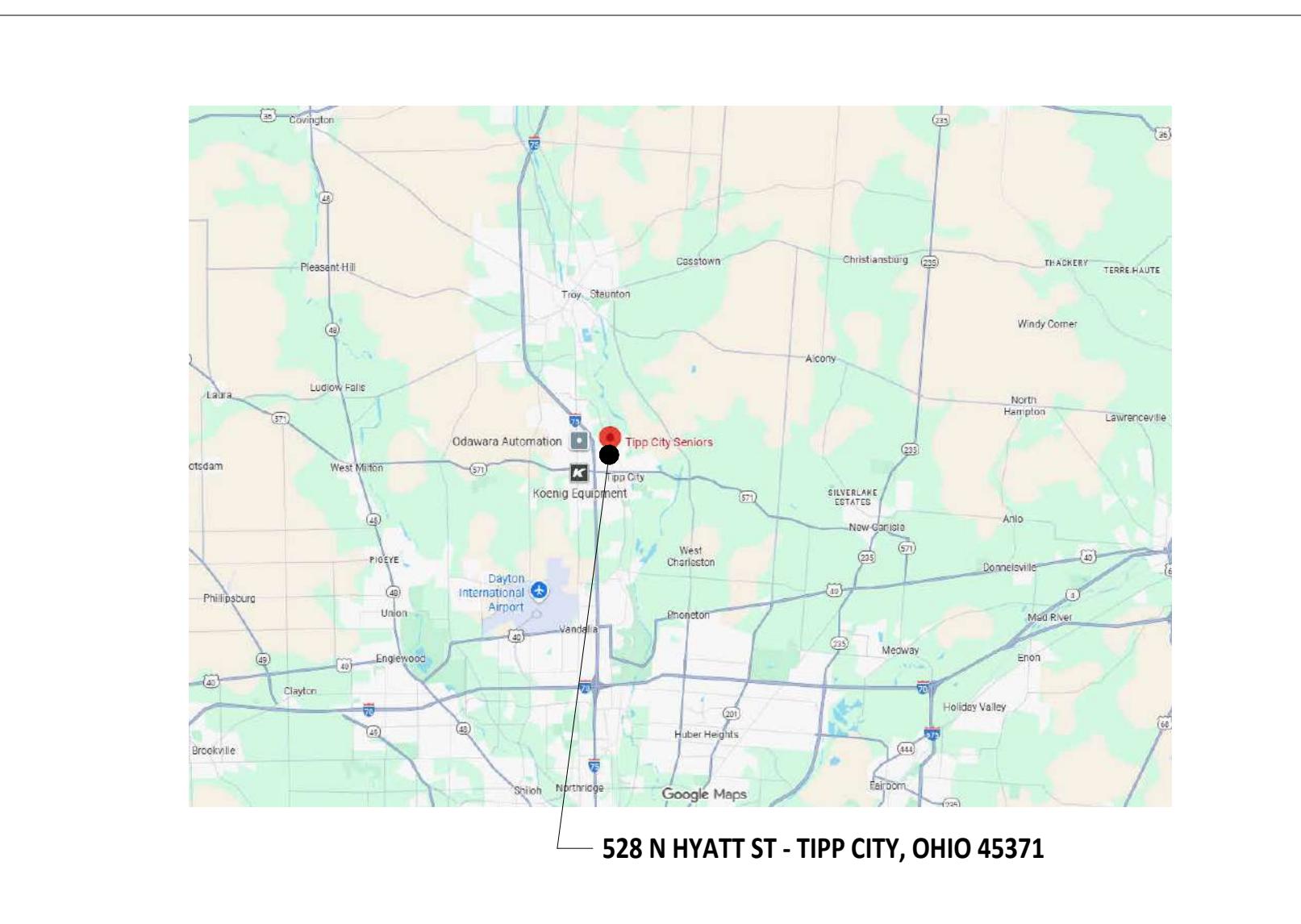


TIPP CITY SENIORS NEW ADDITION

528 NORTH HYATT STREET, TIPP CITY, OH 45371

CONSTRUCTION DOCUMENTS

01/13/2026



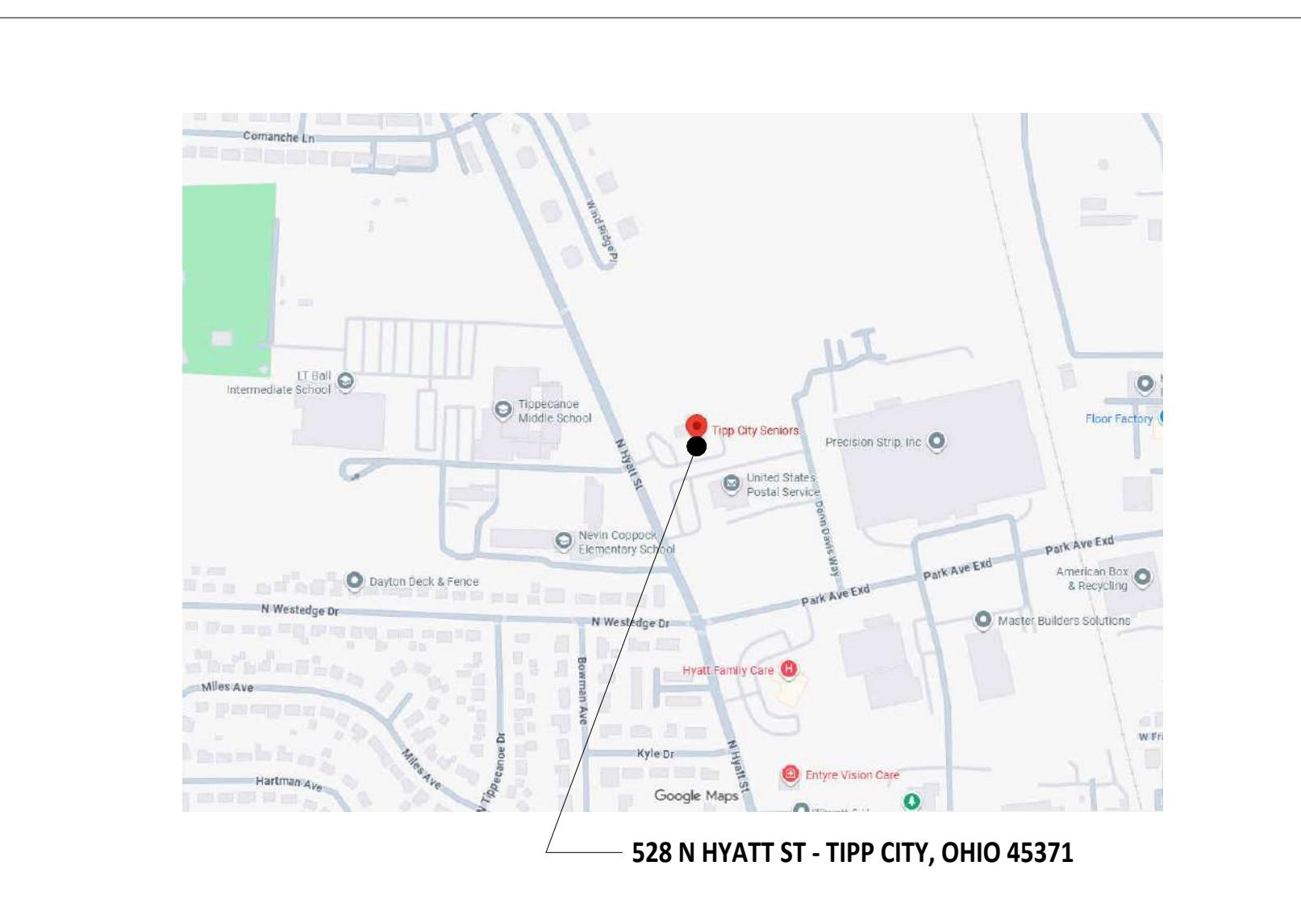
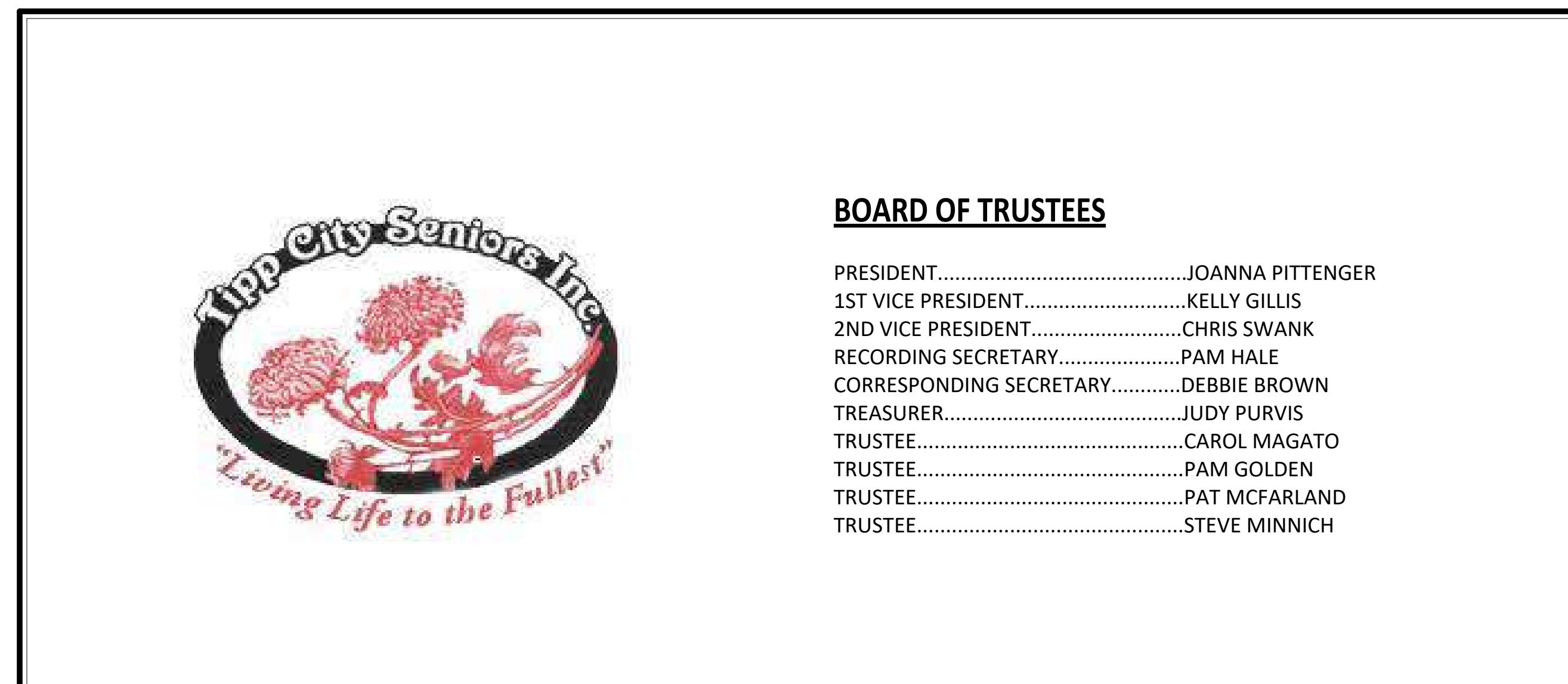
STRUCTURAL ENGINEER:

SHELL + MEYER ASSOCIATES, INC.
2202 SOUTH PATTERSON BLVD
DAYTON, OHIO 45429
PH: (937) 298-4631



BOARD OF TRUSTEES

PRESIDENT.....JOANNA PITTINGER
1ST VICE PRESIDENT.....KELLY GILLIS
2ND VICE PRESIDENT.....CHRIS SWANK
RECORDING SECRETARY.....PAM HALE
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TREASURER.....JUDY PURVIS
TRUSTEE.....CAROL MAGATO
TRUSTEE.....PAM GOLDEN
TRUSTEE.....PAT MCFARLAND
TRUSTEE.....STEVE MINNICH

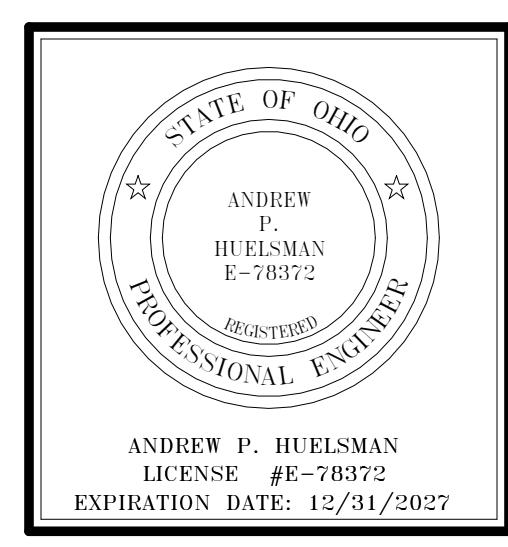


TIPP CITY SENIORS NEW ADDITION

ISSUANCES/REVISIONS
CONSTRUCTION DOCUMENTS | 01/13/2026

PROJECT NUMBER: 25059.00
DRAWN BY: MLE
CHECKED BY: SMD

SHEET TITLE: COVER SHEET
SHEET NUMBER: G0.1



ANDREW P. HEULSMAN
LICENSE #E-78372
EXPIRATION DATE: 12/31/2027

CODE INFORMATION

BUILDING DESCRIPTION: ADDITION TO THE TIPP CITY SENIORS BUILDING

APPLICABLE CODE: 2024 OHIO BUILDING CODE

TOTAL OCCUPANTS: 493 OCCUPANTS

NUMBER OF EXITS

REQUIRED:	2
ACTUAL:	7

NUMBER OF STORIES ABOVE GRADE PLANE:
EXISTING TO REMAIN - 2 STORIES

DESIGN UNIFORM LOAD: SEE STRUCTURAL SHEETS

<u>BUILDING AREA</u>	
OCCUPANCY / USE GROUP:	A-3
CONSTRUCTION TYPE:	TYPE V-B
ALLOWABLE AREA (TABLE 506.2):	18,000 SF
ACTUAL BUILDING AREA:	7,938 SF (EXISTING) + 1,897 SF (ADDITION)
	<hr/> 9,835 SF
FIRE PROTECTION:	FULLY SPRINKLERED

<u>PLUMBING FIXTURE COUNT</u>	<u>CODE PLAN LEGEND</u>
(BASED ON NON-SIMULTANEOUS USE)	 → OCCUPANT LOAD THROUGH EXIT  → CLEAR EXIT WIDTH  → ALLOWABLE NUMBER OF OCCUPANTS THROUGH EXIT
<u>TOTAL OCCUPANTS</u>	
493 OCCUPANTS	
<u>FIXTURES REQUIRED</u>	<u>OCCUPANCY GROUPS USED</u>
247 / 125 = 2 WATER CLOSET(S) - MALE	A ASSEMBLY
247 / 65 = 4 WATER CLOSET(S) - FEMALE	
247 / 200 = 2 LAVATORY(IES) - MALE	
247 / 200 = 2 LAVATORY(IES) - FEMALE	
493 / 500 = 1 DRINKING FOUNTAIN(S)	
1 SERVICE SINK(S)	
<u>ACTUAL PROVIDED</u>	
2 WATER CLOSET(S) - MALE	
2 URINAL(S) - MALE	
2 LAVATORY(IES) - MALE	
4 WATER CLOSET(S) - FEMALE	
2 LAVATORY(IES) - FEMALE	
1 DRINKING FOUNTAIN(S)	
1 SERVICE SINK(S)	
1 UNISEX TOILET ROOMS (WC AND LAVATORY)	

CODE PLAN LEGEND

PANT LOAD THROUGH EXIT
EXIT WIDTH
VABLE NUMBER OF OCCUPANTS THROUGH EXIT

BUILDING AREA SCHEDULE			
AREA NUMBER	LEVEL	AREA	NOTES
AREA 1	FIRST FLOOR	7938 SF	
AREA 2	FIRST FLOOR	1897 SF	
Grand total		9835 SF	

OCCUPANCY TABULATION PER 2024 OBC TABLE 1004.5

ROOM NUMBER	NAME	AREA (NET)	OCCUPANT LOAD FACTOR	OCCUPANT(S)
101	FLEX SPACE	680 SF	15	46
102	TOOL STORAGE	39 SF	300	1
103	MECHANICAL	24 SF	300	1
104	TABLE & CHAIR STORAGE	116 SF	300	1
106	FLEX SPACE	750 SF	15	50
107	MECHANICAL	39 SF	300	1
108	STORAGE	117 SF	300	1
101	LOBBY			
102	CONFERENCE ROOM			
103	CORRIDOR			
104	COAT ROOM			
105	OFFICE			
106	FILE STORAGE			
107	MECHANICAL			
108	OFFICE			
109	RESTROOM			
110	STAIR			
111	STORAGE			
112	SOCIAL AREA			
113	KITCHEN STORAGE			
114	STAIR			
115	CUSTODIAL			
116	CATERING KITCHEN			
117	CORRIDOR			
118	KITCHEN			
119	KITCHEN STORAGE			
120	MECHANICAL			
121	CORRIDOR			
122	RECREATION ROOM			
123	STORAGE			
124	EVENT SPACE			
125	CORRIDOR			
126	MEN'S RESTROOM			
127	WOMEN'S RESTROOM			



III. FCI - SENIOR NEW ADDITION

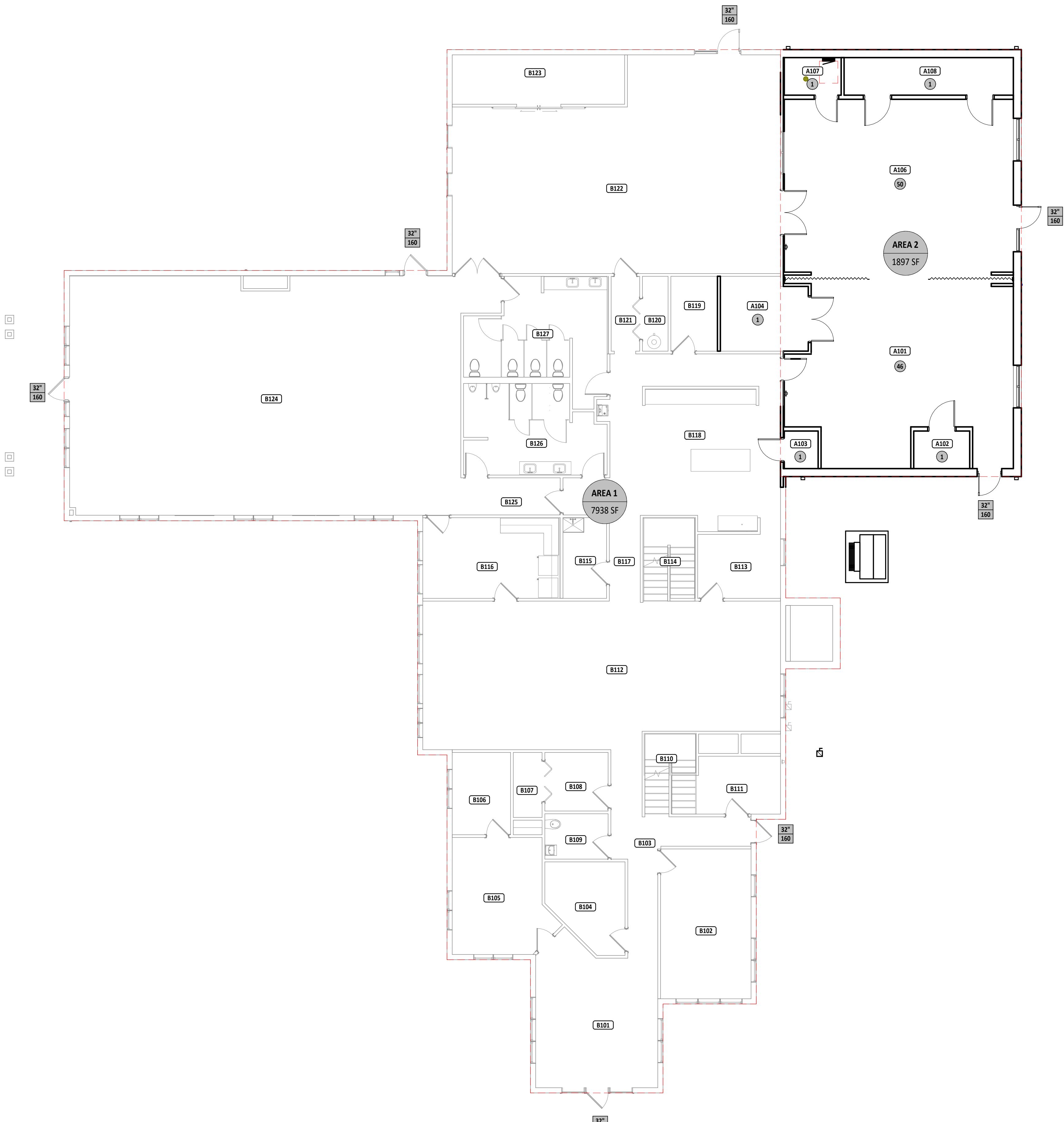
REVISIONS

OBJECT NUMBER:	DRAWN BY:	CHECKED BY:
59.00	MLE	SMD

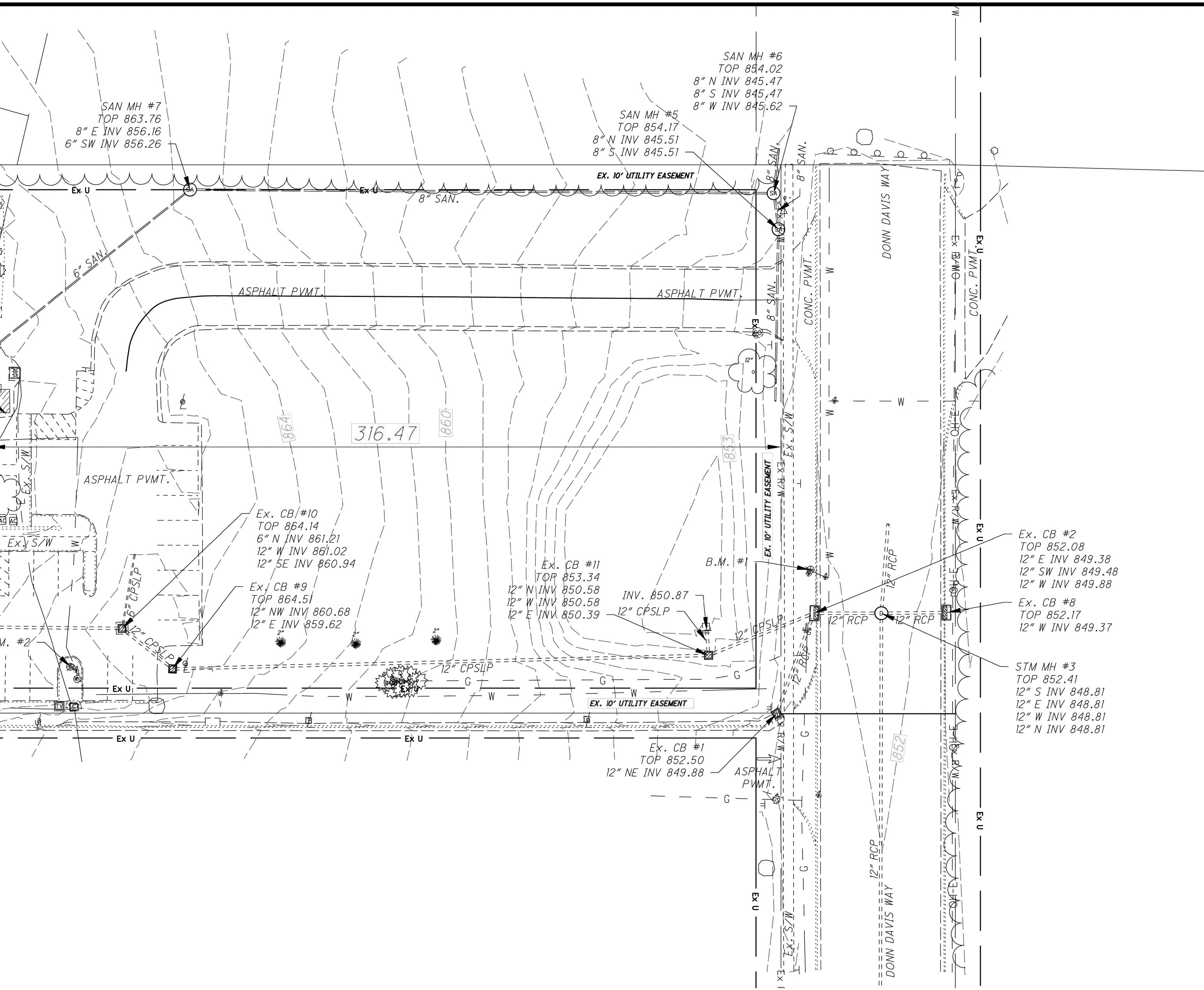
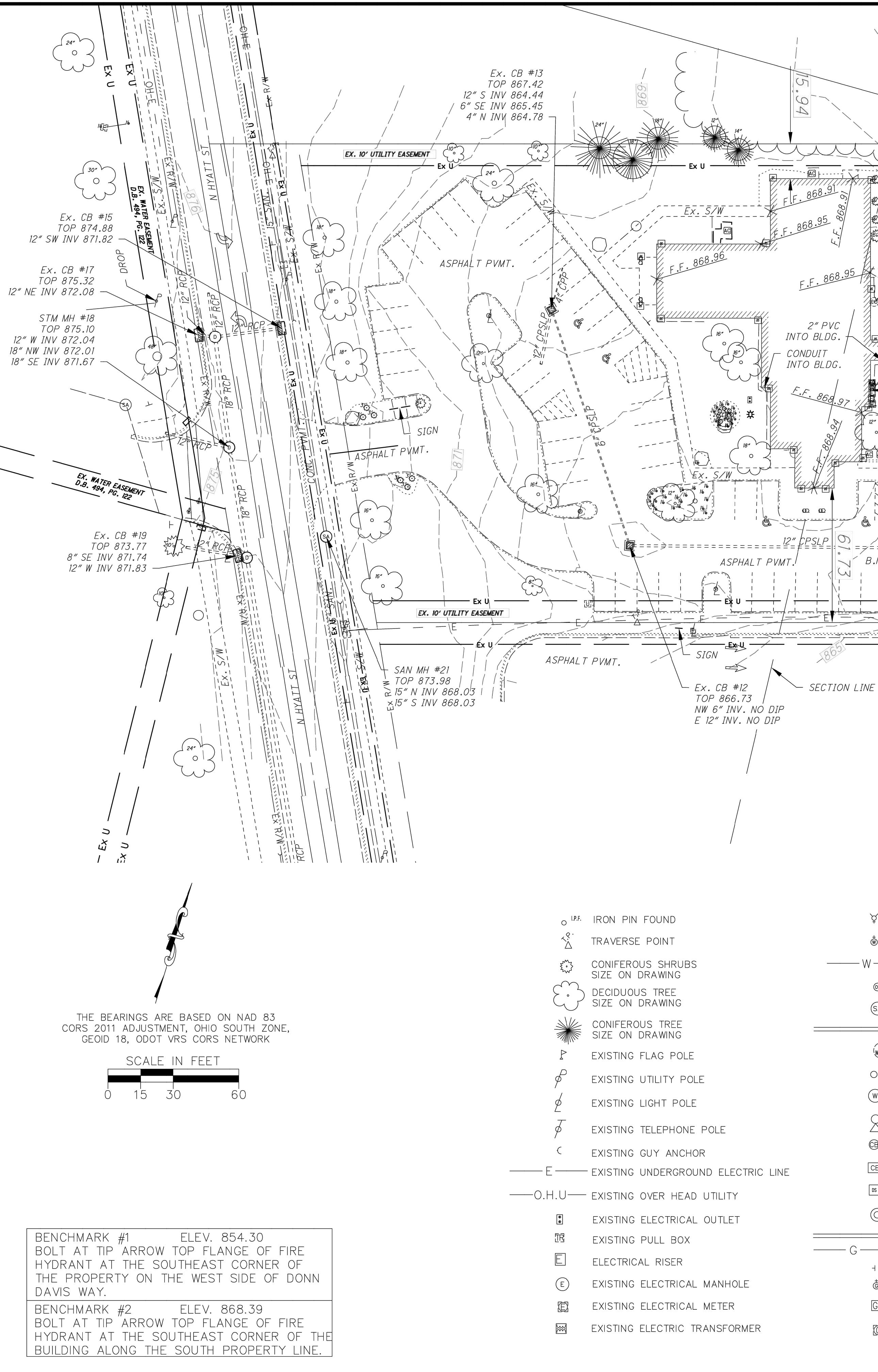
SHEET TITLE:

RST FLOOR CODE PLAN

SHEET NUMBER:
G1.0



Z:\project\Miami\TippCity\MIATCI2417_SeniorsSurvey\MIATCI2417_SIT001.dwg 08-Oct-24 11:48 AM



LEGENDE

UTILITY STATEMENT

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. CHOICE ONE ENGINEERING MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRIZE ALL SUCH UTILITIES IN THE AREA EITHER IN-SERVICE OR ABANDONED. CHOICE ONE ENGINEERING FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH CHOICE ONE ENGINEERING DID LOCATE AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. CHOICE ONE ENGINEERING HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

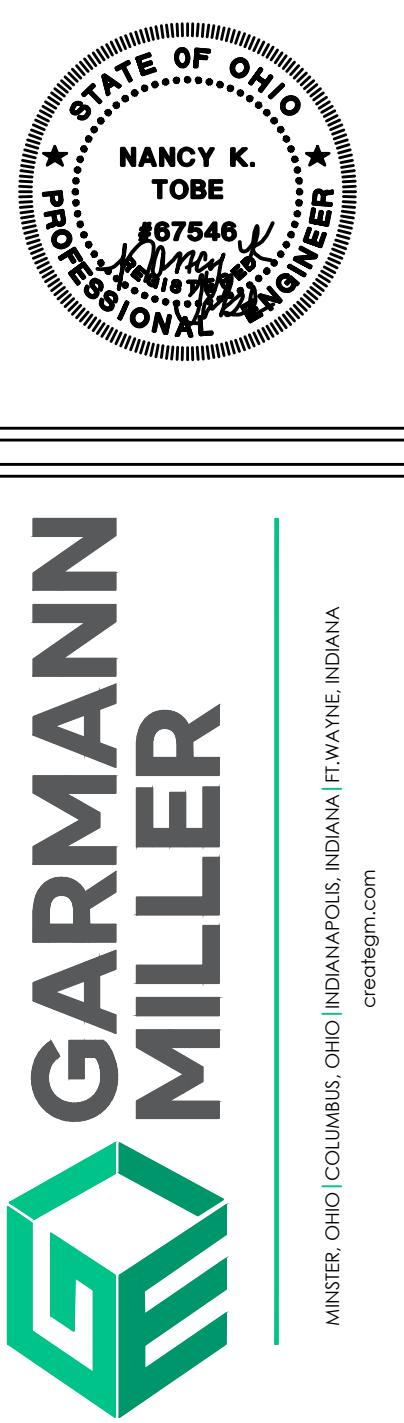
THIS SURVEY WAS COMPLETED WITHOUT A FULL TITLE SEARCH. EASEMENTS SHOWN WERE FOUND IN OUR RESEARCH OF THE PROPERTY, BUT CHOICE ONE ENGINEERING MAKES NO GUARANTEE ALL EASEMENTS ON THE PROPERTY ARE SHOWN.

<h1>TIPP CITY SENIORS SURVEY</h1> <h2>CITY OF TIPP CITY, MIAMI COUNTY, OHIO</h2> <h1>EXISTING TOPOGRAPHIC SURVEY</h1>	
REVISIONS:	
FILE NAME	MIATCI2417SIT
DRAWN BY	AKY
CHECKED BY	AJD
PROJECT NO.	MIATCI2417
DATE	10-07-2024
SHEET NUMBER	1 OF 1

PROJECT NUMBER:	DRAWN BY:	CHECKED BY:
059.00		

SHEET TITLE:

SHEET NUMBER:
SS1.1



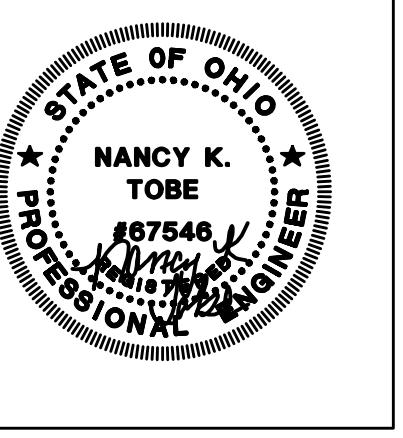
TIPP CITY SENIORS NEW ADDITION

ISSUANCES/REVISIONS

JECT MBER:	DRAWN BY:	CHECKED BY:
59.00	NKT	NKT

SHEET TITLE:

SHEET NUMBER:
C1.0



GENERAL NOTES

— SF — 1. SILT FENCE IS TO BE INSTALLED IN AREAS INDICATED ON THE PLANS. MAX. 6' O.C. SPACING ON POSTS UNLESS OTHERWISE SPECIFIED BY MANUFACTURER. SILT FENCE SHALL REMAIN IN PLACE UNTIL WORK IS COMPLETE OR OWNERS REPRESENTATIVE HAS APPROVED THEIR REMOVAL.

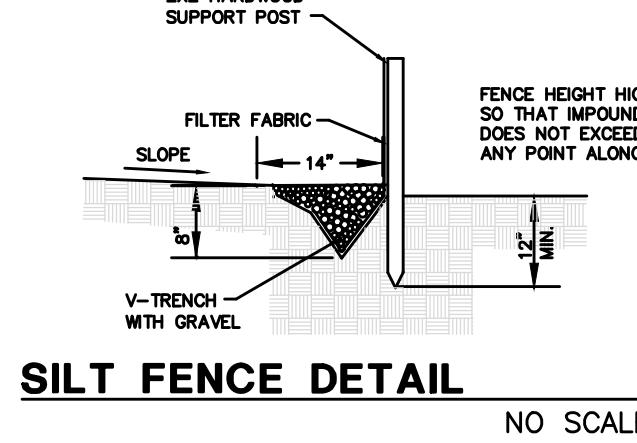
MAINTENANCE

SILT FENCES AND BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.

SHOULD THE FABRIC ON A SILT FENCE OR FILTER BARRIER DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USEFUL LIFE AND THE BARRIER IS STILL NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.

SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE-THIRD THE HEIGHT OF THE BARRIER.

ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE OR FILTER BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM WITH THE EXISTING GRADE, PREPARED AND SEEDED.

**SILT FENCE DETAIL**

NO SCALE

SILT FENCE NOTES

SILT FENCES, THIS SEDIMENT BARRIER UTILIZES STANDARD STRENGTH OR EXTRA STRENGTH SYNTHETIC FILTER FABRICS. IT IS DESIGNED FOR SITUATIONS IN WHICH ONLY SHEET OR OVERLAND FLOWS ARE EXPECTED.

THE HEIGHT OF A SILT FENCE SHALL NOT EXCEED 36 INCHES (HIGHER FENCES MAY IMPOUND VOLUMES OF WATER SUFFICIENT TO CAUSE FAILURE TO THE STRUCTURE).

THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID THE USE OF JOINTS. WHEN JOINTS ARE NECESSARY FILTER CLOTH SHALL BE SPICED TOGETHER ONLY AT A SUPPORT POST WITH A MINIMUM 6-INCH OVERLAYS AND SECURELY SEALED.

WHEN STANDARD STRENGTH FILTER FABRIC IS USED A WIRE MESH SUPPORT FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY DUTY WIRE STAPLES AT LEAST 1 INCH LONG, TIE WIRES OR HOG RINGS. THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF 2 INCHES AND SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE.

POSTS SHALL BE SPACED A MAXIMUM OF 10 FEET APART AT THE BARRIER LOCATION AND DRIVEN SECURELY INTO THE GROUND (MINIMUM OF 12 INCHES). WHEN EXTRASTRENGTH FABRIC IS USED WITHOUT THE WIRE SUPPORT, FENCE POST SPACING SHALL NOT EXCEED 6 FEET.

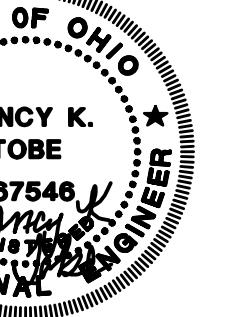
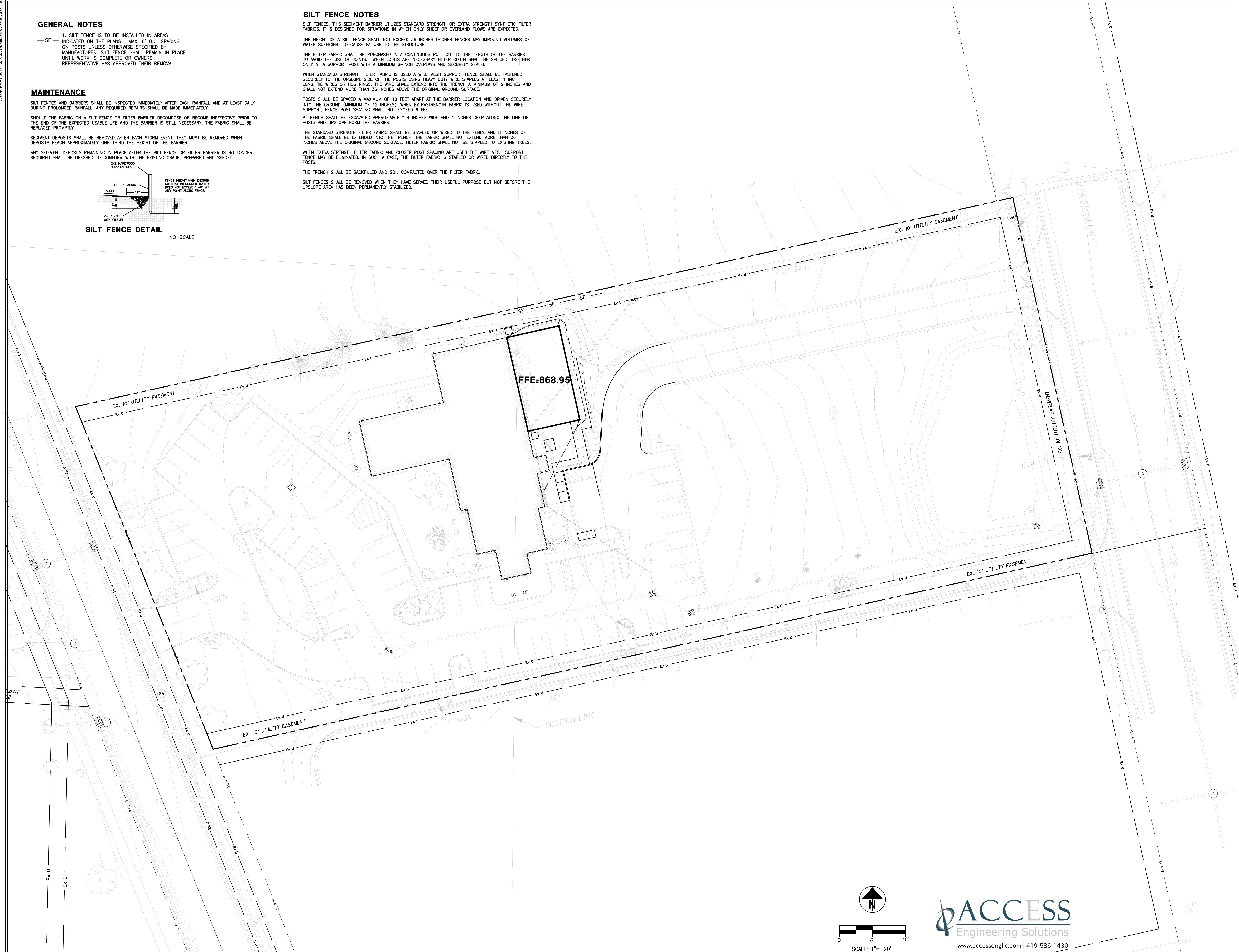
A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4 INCHES WIDE AND 4 INCHES DEEP ALONG THE LINE OF POSTS AND UPSLOPE FORM THE BARRIER.

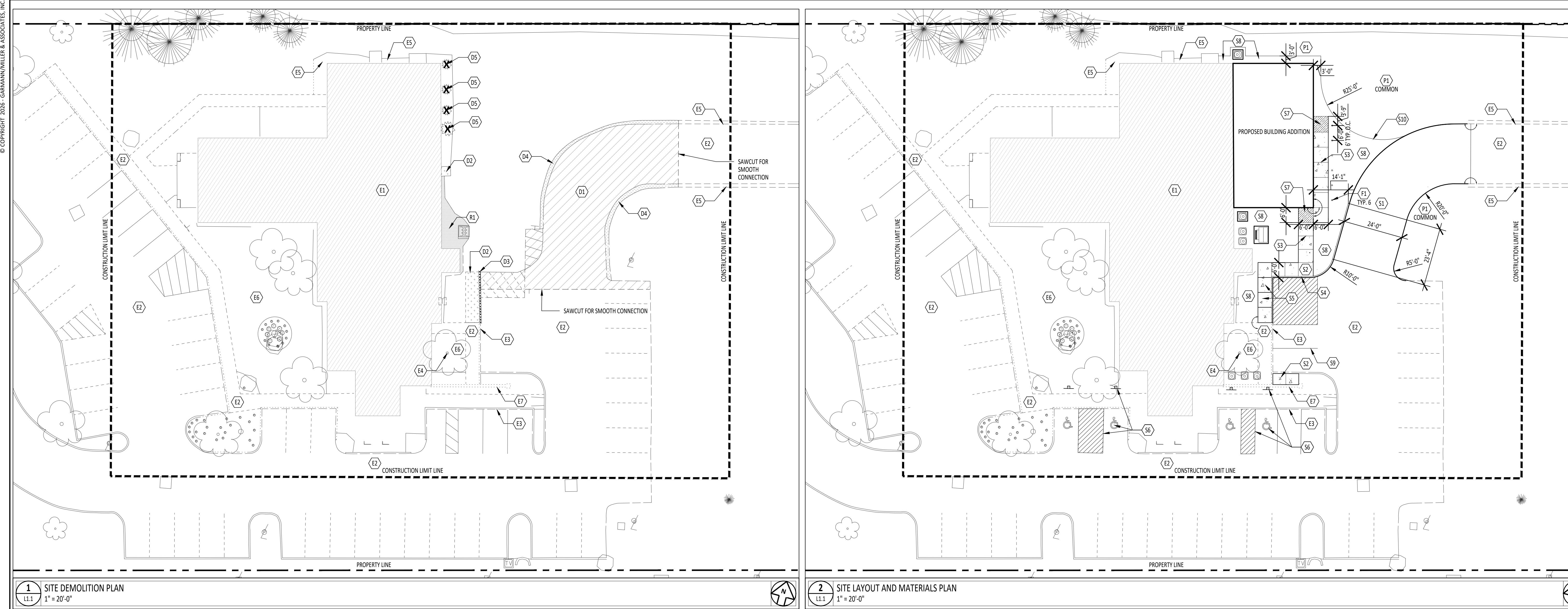
THE STANDARD STRENGTH FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE FENCE AND 8 INCHES OF THE FABRIC SHALL BE EXTENDED INTO THE TRENCH. THE FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE. FILTER FABRIC SHALL NOT BE STAPLED TO EXISTING TREES.

WHEN EXTRASTRENGTH FILTER FABRIC AND CLOSER POST SPACING ARE USED THE WIRE MESH SUPPORT FENCE MAY BE ELIMINATED. IN SUCH A CASE, THE FILTER FABRIC IS STAPLED OR WIRED DIRECTLY TO THE POSTS.

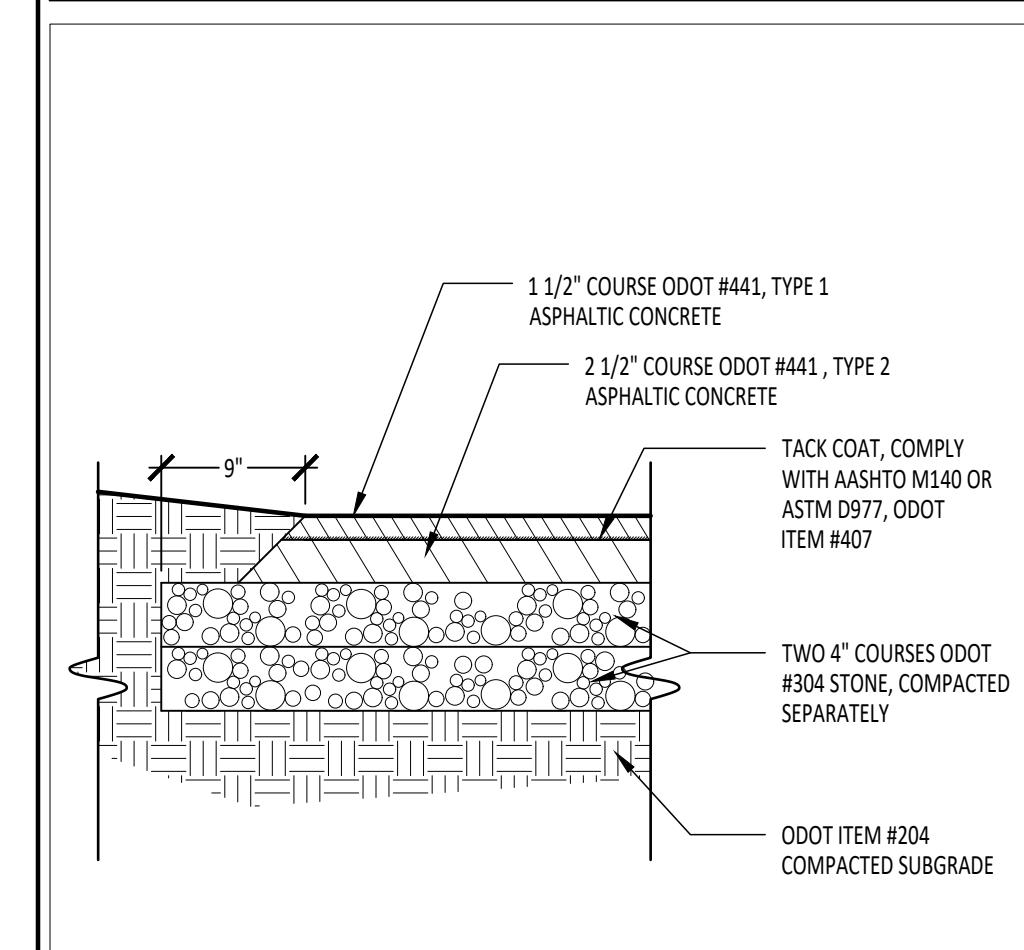
THE TRENCH SHALL BE BACKFILLED AND SOIL COMPACTION OVER THE FILTER FABRIC.

SILT FENCES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE BUT NOT BEFORE THE UPSLOPE AREA HAS BEEN PERMANENTLY STABILIZED.

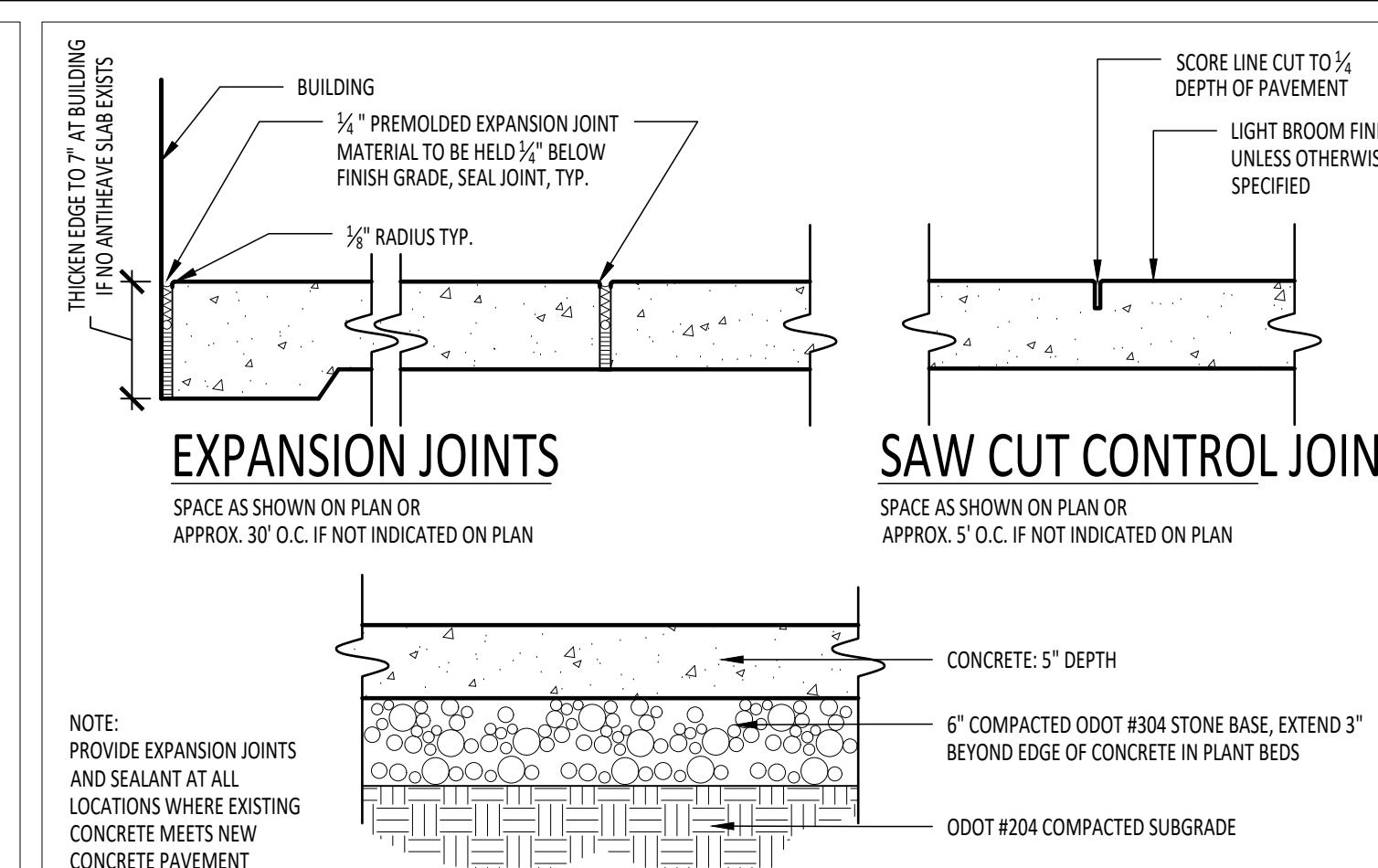
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TOBE
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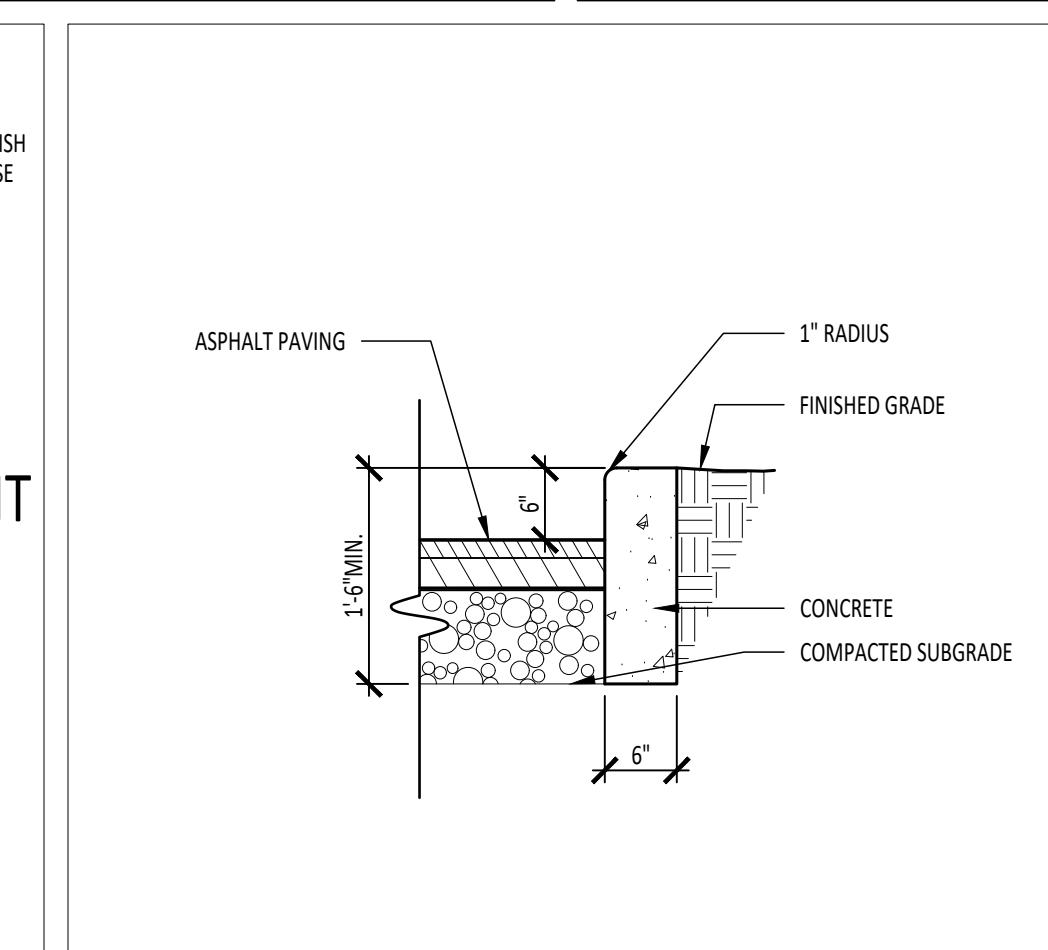
1 SITE DEMOLITION PLAN
L1.1 1" = 20'-0"



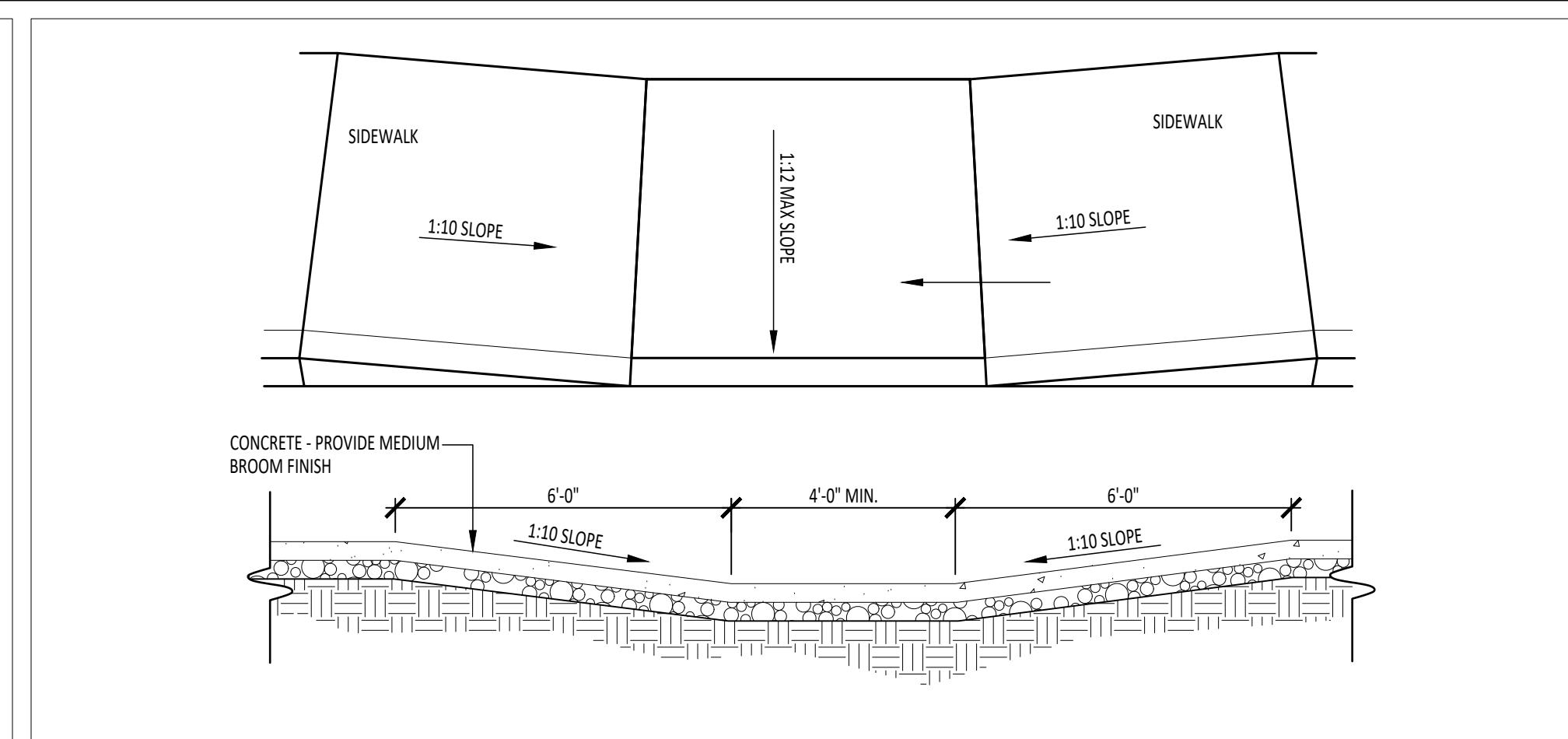
3 ASPHALT PAVING - STANDARD DUTY
L1.1 1" = 1'-0"



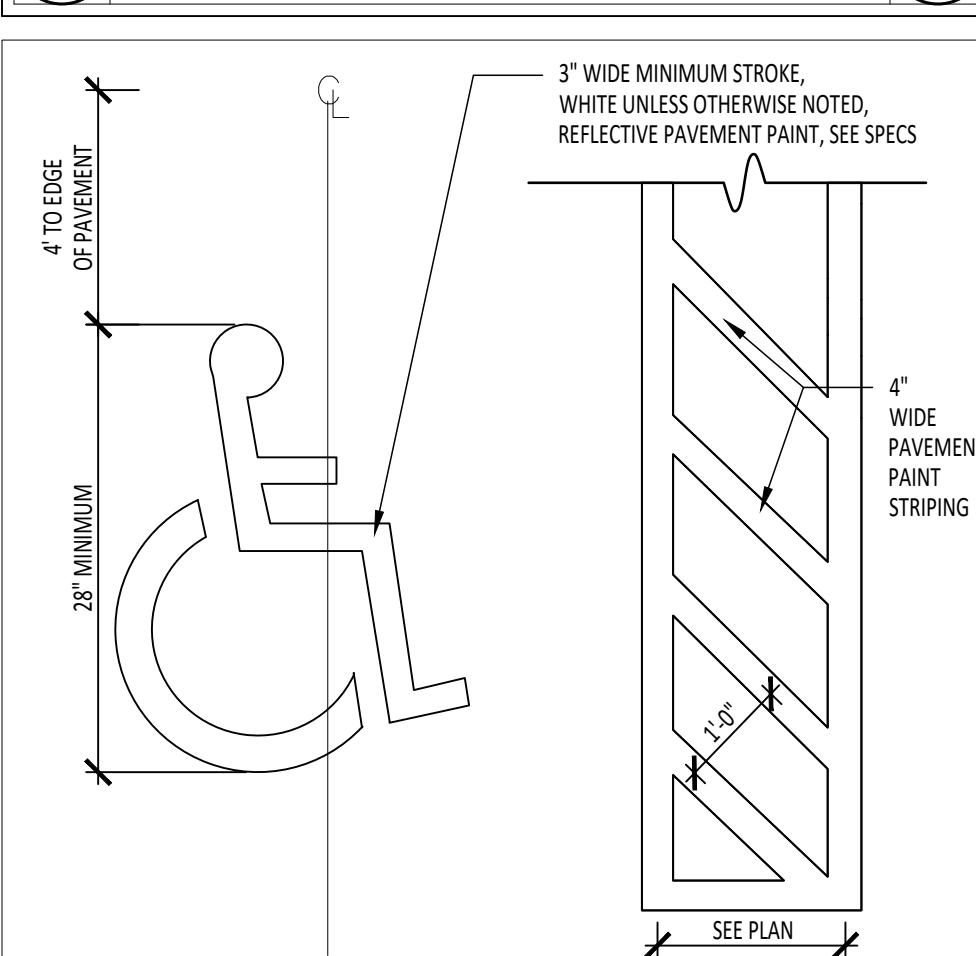
4 CONCRETE PAVEMENT AND JOINTS
L1.1 1" = 1'- 0"



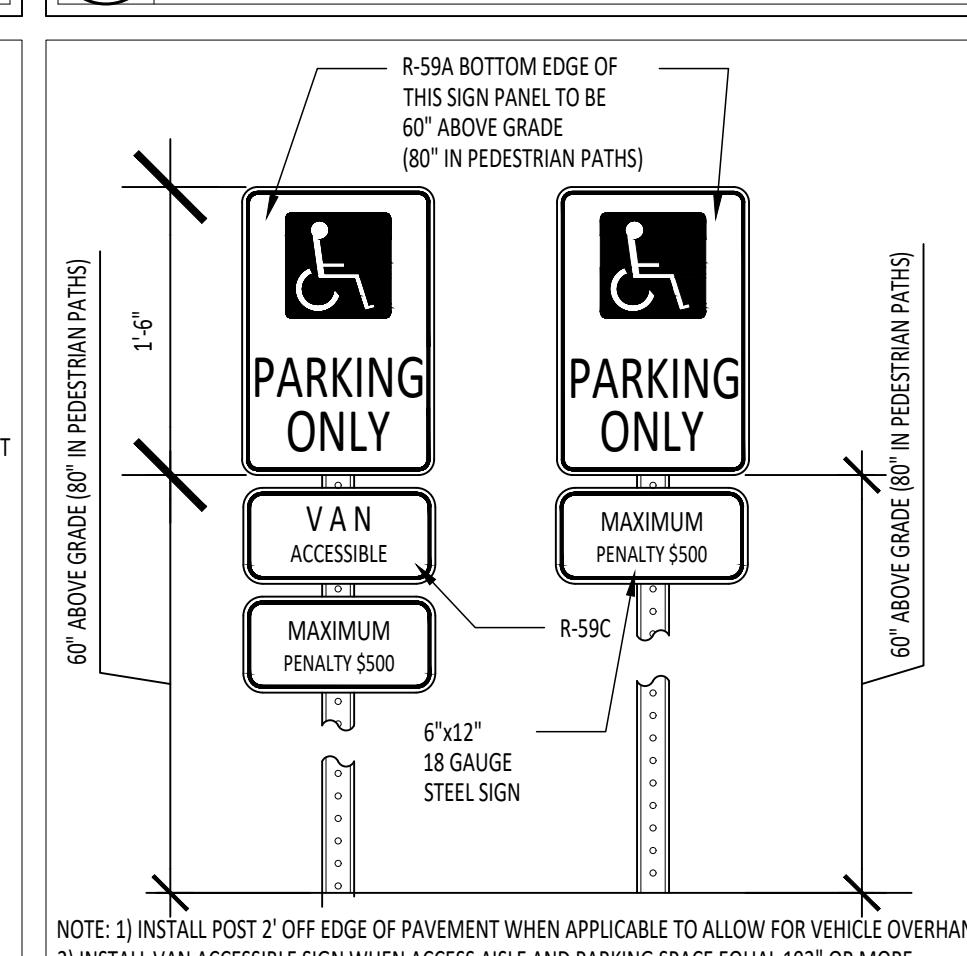
5 CURB
L1.1 3/4" = 1'- 0"



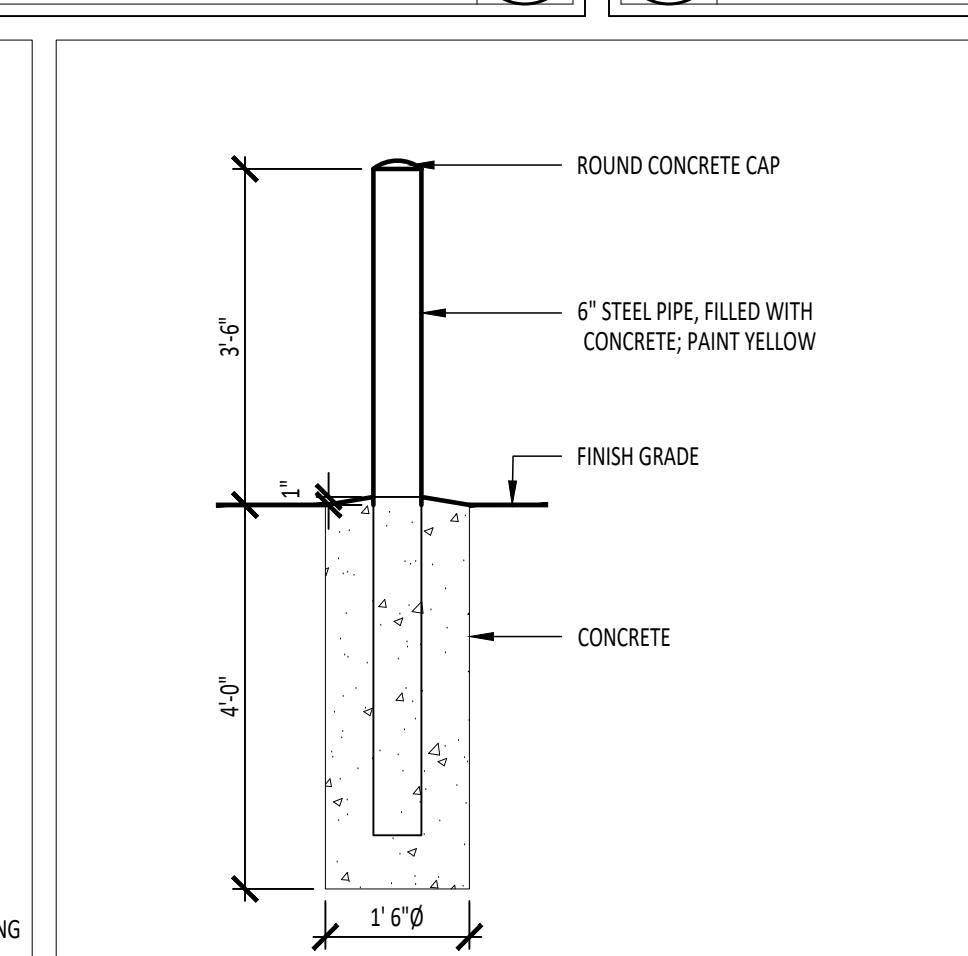
6 ACCESSIBLE RAMP SLOPED SIDES
L1.1 3/8" = 1'- 0"



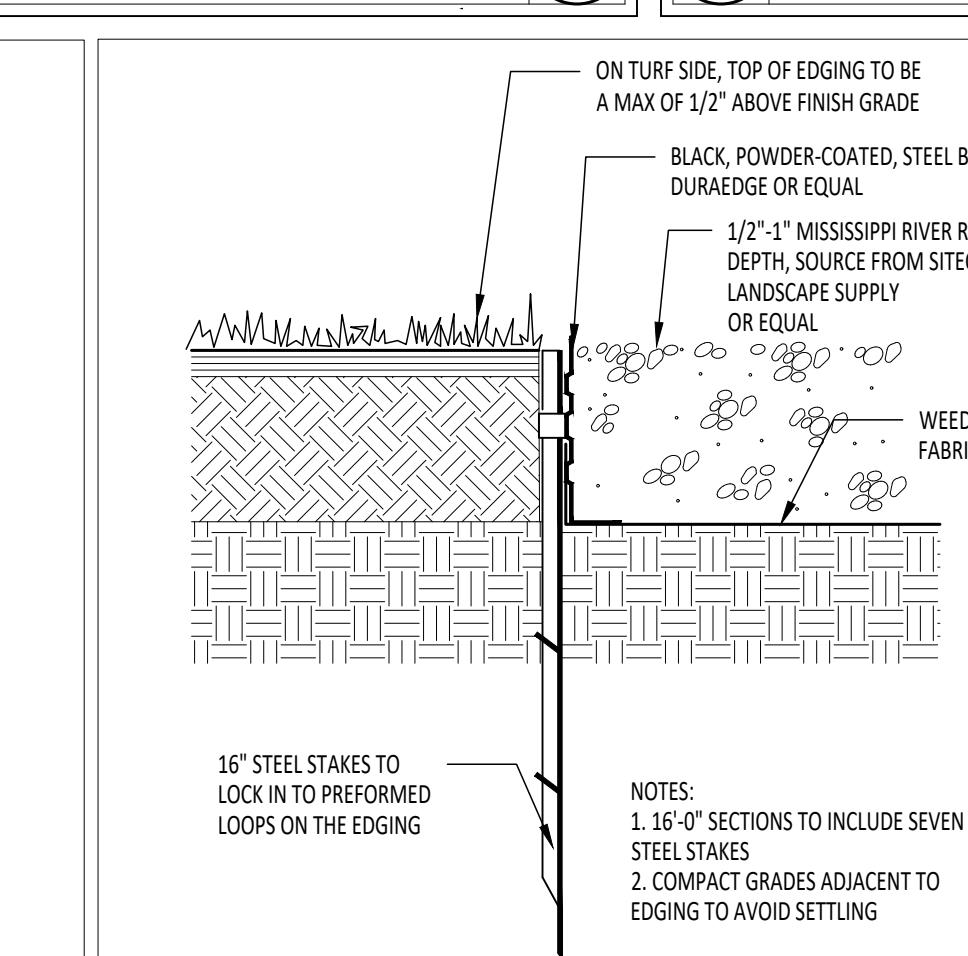
7 HANDICAP PARKING LOGO
L1.1 1/2" = 1'- 0"



8 RESERVED ACCESSIBLE PARKING SIGN
L1.1 1" = 1'- 0"



9 TYPICAL BOLLARD
L1.1 1/2" = 1'- 0"



10 BED EDGING
L1.1 1/2" = 1'- 0"

KEYNOTE SCHEDULE	
E1	EXISTING STRUCTURE
E2	EXISTING PAVEMENT
E3	EXISTING CURB
E4	EXISTING TREE TO REMAIN
E5	EXISTING GRAVEL
E6	EXISTING LAWN
E7	EXISTING FENCE
D1	REMOVE ASPHALT PAVEMENT
D2	REMOVE CONCRETE PAVEMENT
D3	REMOVE CURB
D4	REMOVE STONE
D5	REMOVE PLANT
S1	STANDARD DUTY ASPHALT PAVEMENT, SEE DETAIL 3/L1.1
S2	CONCRETE PAVEMENT, SEE DETAIL 4/L1.1
S3	SAW CUT CONTROL AND EXPANSION JOINT, SEE DETAIL 4/L2.1
S4	CONCRETE CURB, SEE DETAIL 5/L1.1
S5	ACCESSIBLE CURB RAMP, SEE DETAIL 6/L1.1
S6	ACCESSIBLE PARKING SPACE WITH SIGNAGE, SEE DETAILS 7 & 8/L1.1
S7	ANTI-HEAVE SLAB, SEE STRUCTURAL
S8	4" DEPTH RIVER ROCK, SEE DETAIL 10/L1.1
S9	PAVEMENT PAINT, SEE SPECIFICATIONS
S10	BLACK, POWDER-COATED LANDSCAPE BED EDGE, SEE DETAIL 10/L1.1
F1	CONCRETE FILLED STEEL BOLLARD, SEE DETAIL 9/L1.1
P1	PLANTING
P2	SEEDED LAWN

DEMOLITION LEGEND	
P.O.B. (POINT OF BEGINNING)	REMOVE ASPHALT PAVEMENT
X	REMOVE CONCRETE
XX	REMOVE STONE
	RESCUE RIVER ROCK

LEGEND	
P.O.B. (POINT OF BEGINNING)	STANDARD DUTY ASPHALT PAVING
ALIGN	STANDARD DUTY CONCRETE PAVING
KEYED NOTE DESIGNATION-REFER TO NOTES THIS SHEET	ANTI-HEAVE SLAB

GENERAL NOTES	
A.	FIELD DETERMINE DIMENSIONS & CONDITIONS PRIOR TO START OF CONSTRUCTION. NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCY OR SITUATION DISCOVERED THAT DOES NOT CONFORM TO THE CONSTRUCTION DOCUMENTS.
B.	WORK PERFORMED IS SUBJECT TO APPROVAL BY THE ARCHITECT AND OWNER. WORK FOUND TO BE UNSATISFACTORY SHALL BE REMOVED AND PROPERLY REPAVED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
C.	TEMPORARY SUPPORT WALLS, HEADERS, STRUCTURES, PIPING, DUCTWORK, CONDUIT, ETC., AS REQUIRED UNTIL FINAL SUPPORTS ARE IN PLACE.
D.	PATCH & REPAIR ALL AREAS, SURFACES & MATERIALS TO CONDITION OF SURROUNDING AREA.
E.	CLOSELY COORDINATE WORK WITH THE OWNER AND WITH ALL OTHER CONTRACTORS HIRED BY THE OWNER. CLARIFY IN ADVANCE ANY QUESTIONS AS TO SCOPE OF WORK AND AREAS OF RESPONSIBILITY.
F.	PATCH AND REPAIR DISTURBED LAWN AREA.
G.	DIMENSIONS ARE TO FACE OF CURB, FENCE, COLUMN OR CENTERLINE UNLESS OTHERWISE NOTED. WALKS SHALL BE CENTERED ON DOORWAYS.
H.	WALKS SHALL MEET BOTH VERTICALLY AND HORIZONTALLY.
I.	LAYOUT AND DIMENSIONS ARE PARALLEL AND PERPENDICULAR TO ONE ANOTHER UNLESS OTHERWISE INDICATED IN PLANS.
J.	CONTRACTOR SHALL CALL OUPS (800) 362-2764 PRIOR TO COMMENCEMENT OF ANY WORK.
K.	GENERAL CONTRACTOR IS TO MAINTAIN THE SITE WITHIN THE CONSTRUCTION FENCELINE THROUGHOUT CONSTRUCTION IN A CLEAN AND ORDERLY MANNER. MOW GRASS, MAINTAIN PLANT BEDS TO BE FREE OF WEEDS, PICK-UP TRASH, ETC. THE SITE IS TO BE LEFT IN THE SAME OR BETTER CONDITION THAN ORIGINALLY FOUND.

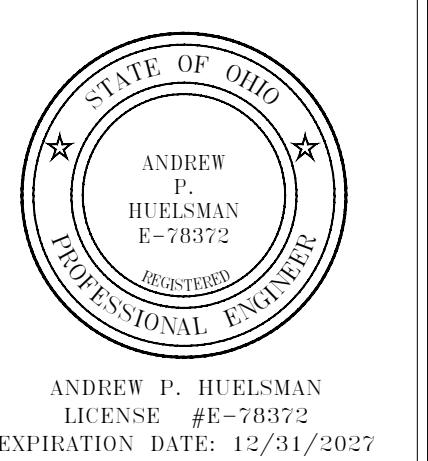
TIPP CITY SENIORS NEW ADDITION

ISSUANCES/REVISIONS		
CONSTRUCTION DOCUMENTS		1/13/2016

PROJECT NUMBER:	DRAWN BY:	CHECKED BY:
25059.00	AXL	KAT

SHEET TITLE:		
SITE DEMOLITION, SITE LAYOUT AND MATERIALS PLAN AND SITE DETAILS		

SHEET NUMBER:
L1.1



GARMANN MILLER
MASTER OF CIVIL ENGINEERING, INDIANAPOLIS, INDIANA

construction.com

- ABBREVIATIONS USED ON THE CONTRACT DOCUMENTS, INCLUDE BUT ARE NOT LIMITED TO THOSE LISTED BELOW.

A	- ANCHOR BOLT
AC	- AIR CONDITIONING
ACC	- ACCESSIBLE
ACOUS	- ACOUSTICAL
ACT	- ACOUSTICAL CEILING TILE
AD	- AREA INSULATION
ADU	- ADDITIONAL
ADJ	- ADJUSTABLE
AFF	- ABOVE FINISHED FLOOR
AFF	- ACCORDION FOLDING PARTITION
AGGR	- AGGREGATE
ALT	- ALTERNATE
ALUM	- ALUMINUM
ANCH	- ANCHOR
ANOD	- ANODIZED
AP	- ACCESS PANEL
APPD	- APPROVED
APPROX	- APPROXIMATE
AR	- ACID RESISTANT
ARCH	- ARCHITECTURAL
ASPH	- ASPHALT
AUTO	- AUTOMATIC
AV	- AUDIO-VISUAL
AWT	- ACOUSTICAL WALL TREATMENT

K	- KNULED
EA	- EACH
EB	- EXPANSION BOLT
EF	- EACH FACE
EFS	- DIRECT APPLIED EXTERIOR FINISH SYSTEM
EFS	- EXTERIOR INSULATION FINISH SYSTEM
EJ	- EXPANSION JOINT
EL	- ELEVATION
ELEC	- ELECTRICAL
ELEV	- ELEVATOR
EMERG	- EMERGENCY
ENCL	- ENCLOSURE
ENGR	- ENGINEER
EP	- ELECTRICAL PANELBOARD
EPDM	- EPDM ELASTOMERIC PROPIENE DIENE M-CLASS ROOFING
EPXY	- EPXY
EQ	- EQUAL
EQUIP	- EQUIPMENT
ESCAL	- ESCALATOR
EW	- EACH WAY
EXH	- EXHAUST
EX/ EXIST	- EXISTING
EXP	- EXPANSION
EXT	- EXTERIOR
EXTN	- EXTENSION

R	- RADIUS
RA	- RETURN AIR
RB	- RETAIN BASE
RBR	- RUBBER
RCP	- REFLECTED CEILING PLAN
RD	- READING
REC	- RECESS
RECOM	- RECOMMENDED
RECP	- RECEPTACLE
REF	- REFERENCE
REFL	- REFLECT
REFR	- REFRIGERATOR
REG	- REGISTER
REINF	- REINFORCEABLE
REL	- RELAXED
REOD	- REQUIREMENT
RECT	- RECTANGULAR
RECSK	- WALL SERVICE SINK
REV	- REVISION
RFG	- ROOFING
RM	- ROOM
RO	- ROOF OPENING
ROW	- RIGHT OF WAY
RTD	- RATED
RTG	- RATING

Y	- YARD / YARD DRAIN
---	---------------------

GENERAL NOTES

A REFERENCE GENERAL CONSTRUCTION NOTES AND SPECIFICATIONS FOR MORE INFORMATION AND BID ALTERNATES.
 B REFERENCE SPECIFICATIONS AND DRAWINGS FOR SPECIAL REQUIREMENTS AND CONDITIONS.
 C FINISH FIRST FLOOR ELEVATION INDICATED FOR THE NEW WORK IS 100'-0". REFERENCE SITE DRAWINGS FOR RELATIONSHIP TO U.S.G.S. DATUM. ELEVATIONS OF EXISTING ELEMENTS RELATIVE TO 100'-0" SHALL BE FIELD VERIFIED BY THE CONTRACTOR(S). CONTRACTOR(S) SHALL NOTIFY THE CONSTRUCTION MANAGER IMMEDIATELY OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
 D THE STRUCTURE IS DESIGNED TO BE SUPPORTING AND STABLE AFTER THE WORK IS COMPLETE. CONTRACTOR(S) SHALL DETERMINE THE CONSTRUCTION PROCESSES AND SEQUENCES AND ENSURE THE INTEGRITY OF THE WORK AND ITS COMPONENT PARTS DURING THE CONSTRUCTION, THAT INCLUDES FLOORING, SHEATHING, TEMPORARY ENCLOSURES AND TEMPORARY POSITIVE WATER DRAINAGE FROM THE SITE AND ALL BUILDING ROOFS.
 E CONTRACTOR(S) SHALL MAINTAIN ALL LEGAL EGRESS FROM THE WORK TO COMPLY WITH APPLICABLE BUILDING CODES, SAFETY, REGULATIONS AND THE DISCRETION OF THE GOVERNING LOCAL BUILDING CODE AUTHORITIES FOR THE HEALTH, SAFETY AND WELFARE OF THE PUBLIC FOR NORMAL ACTIVITIES AND EMERGENCY EGRESS FROM THE WORK. THE CONTRACTOR(S) SHALL FURNISH AND INSTALL ANY TEMPORARY WALLS, DOORS, HARDWARE PARTITIONS, SCREENS, ENCLOSURES AND PEDESTRIAN PROTECTIONS TO MAINTAIN SUCH LEGAL EGRESS.
 F CONTRACTOR(S) SHALL VERIFY ALL DIMENSIONS AND CLEARANCES BEFORE PROCEEDING WITH THE WORK. COMMENCEMENT OF THE WORK, BY THE CONTRACTOR(S), CONSTITUTES ACCEPTANCE OF THE EXISTING CONDITIONS. CONTRACTOR(S) SHALL NOTIFY THE CONSTRUCTION MANAGER IMMEDIATELY OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
 G DIFFERENT FLOOR FINISH MATERIALS SHALL MEET UNDER THE CENTERLINE OF THE DOOR IN THE CLOSED POSITION UNLESS NOTED OR DETAILED OTHERWISE.
 H FURNISH AND INSTALL FLOOR DRAINS 1/2" BELOW FLOOR PERIMETER. SLOPE FINISH FLOOR TO FLOOR DRAINS. REFERENCE PLUMBING DRAWINGS FOR EXACT LOCATIONS.
 I FURNISH AND INSTALL CASING BEAD AT ALL LOCATIONS WHERE GYPSUM WALLBOARD ABUTS DISIMILAR MATERIALS. TYPICAL UNLESS NOTED OR DETAILED OTHERWISE.
 J ALL DIMENSIONS ARE MEASURED TO THE FACE OF MASONRY OR THE FACE OF STUD UNLESS NOTED OR DETAILED OTHERWISE.
 K IF FRAME WIDTH DOES NOT MATCH WALL WIDTH, DOOR AND BORROWED LITE FRAMES SHALL BE INSTALLED TO THE CORRIDOR OR PASSAGE SIDE OF THE WALL UNLESS NOTED OR DETAILED OTHERWISE. NON-CORRIDOR OR NON-PASSAGE FRAMES FROM ROOM TO ROOM SHALL BE FURNISHED AND INSTALLED TO THE SIDE OF THE WALL FACING THE LARGER ROOM. REFERENCE DOOR AND WINDOW DETAILS FOR FRAMING LOCATIONS RELATIVE TO THE WALL ONLY. DEDICATED WINDOW FRAMES SHALL BE FURNISHED AND INSTALLED TO THE CENTERLINE OF THE WALL SECTION.
 L INTERIOR FINISHES SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH THE LOCAL BUILDING CODE AUTHORITY HAVING JURISDICTION OVER THE WORK, AS WELL AS ALL APPLICABLE FEDERAL, STATE AND LOCAL BUILDING CODES AND REGULATIONS.
 M REFERENCE MATERIALS SCHEDULE FOR ALL INTERIOR FINISHES. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
 N THE CONTRACTOR(S) SHALL FURNISH AND INSTALL TREATED WOOD BLOCKING IN WALLS AS REQUIRED TO SECURE ALL EQUIPMENT, ACCESSORIES, HANDRAILS, CASEWORK, ETC. COORDINATE THIS WORK WITH ALL APPROPRIATE CONTRACTORS, SUPPLIERS AND MANUFACTURERS RECOMMENDATIONS. SUCH WOOD BLOCKING SHALL BE FASTENED TO STRUCTURAL MEMBERS AND CMU(S) WITH MINIMUM 1/2" DIAMETER EXPANSION BOLTS AT 14F OC MAXIMUM UNLESS NOTED OR DETAILED OTHERWISE.
 O REFERENCE FLOOR PLANS FOR FIRE EXTINGUISHER (FE) AND FIRE EXTINGUISHER CABINET (FEC) LOCATIONS. REFERENCE EQUIPMENT DRAWINGS FOR MOUNTING HEIGHTS.
 P THE GENERAL TRADES CONTRACTOR IS REQUIRED TO CUT AND PATCH ANY OPENINGS LARGER THAN 8" AS REQUIRED FOR ANY FOOD SERVICE, PLUMBING, MECHANICAL, ELECTRICAL AND FIRE PROTECTION CONTRACTOR(S) TO FURNISH AND INSTALL THEIR WORK. CUTTING AND PATCHING INCLUDING CUTTING FLOOR AND/OR WALL, EXCAVATING, BACK FILLING, PATCHING AND REPAIR AS REQUIRED TO MATCH EXISTING ADJACENT SURFACE TO ACCEPT NEW FINISH. REFERENCE ENGINEERING DRAWINGS FOR LOCATIONS OF WORK TO BE PERFORMED. THIS INCLUDES ALL AREAS NOT SPECIFICALLY NOTED BUT REQUIRING CUTTING AND PATCHING.
 Q OPENINGS IN ROOF FOR ROOFTOP EQUIPMENT SHALL BE CUT BY THE ROOFING CONTRACTOR. THE ASSOCIATED CONTRACTOR SHALL COORDINATE LOCATIONS OF SUCH OPENINGS WITH THE ROOFING CONTRACTOR. EQUIPMENT CURBS ARE TO BE FURNISHED BY THE ASSOCIATE CONTRACTOR AND INSTALLED BY THE ROOFING CONTRACTOR.
 R REFERENCE PLUMBING DRAWINGS FOR ALL VENT STACK LOCATIONS. COORDINATE LOCATIONS OF SUCH PENETRATIONS WITH THE CONTRACTORS.
 S REFERENCE MECHANICAL DRAWINGS FOR ALL VENT LOCATIONS. COORDINATE LOCATIONS OF SUCH PENETRATIONS WITH THE CONTRACTORS.
 T THE CONTRACTORS SHALL PROTECT ALL ROOF DRAINS, SCUPPERS AND DOWNSPOUTS FROM DEBRIS CREATED DURING DEMOLITION AND CONSTRUCTION. THE CONTRACTOR SHALL INSPECT AND CLEAR ALL ROOF DRAINS, SCUPPERS AND DOWNSPOUTS PRIOR TO THE COMPLETION OF THE WORK AND TO ENSURE THAT ALL ROOF DRAINS, SCUPPERS AND DOWNSPOUTS ARE FREE OF DEBRIS AND ARE FUNCTIONING PROPERLY AT PROJECT COMPLETION.
 U ALL TYPICAL ROOFING DETAILS ARE SHOWN FOR GENERAL INFORMATION. ALL FINAL FLASHING CONDITIONS SHALL MEET THE APPROVAL OF THE ROOFING MANUFACTURER. ALL DETAIL MODIFICATIONS MUST HAVE SHOP DRAWING APPROVAL.
 V INSTALL ALL FLASHING AND APPROPRIATE CRICKETS FOR ALL ROOF TOP PENETRATIONS.
 W CONTRACTOR TO COORDINATE AND MAINTAIN MINIMUM 1' 0" WIDE BY 6'-0" HIGH SPACE ON LATCH SIDE OF ALL DOORS FOR OWNER'S SIGNAGE.
 X IN THE EVENT OF INCONSISTENCIES WITHIN OR BETWEEN THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL PROVIDE THE BETTER QUALITY OR GREATER QUALITY OF WORK AND SHALL COMPLY WITH THE STRICTER REQUIREMENTS.
 Y BASIC DEFINITIONS: "FURNISH" SHALL MEAN TO PURCHASE AND DELIVER PRODUCT TO THE SITE READY FOR INSTALLATION; "INSTALL" SHALL MEAN TO TAKE FURNISHED PRODUCT AND ASSEMBLE, ERECT, SECURE IN PLACE, CONNECT IN OPERATION AS APPLICABLE; "PROVIDE" SHALL MEAN TO FURNISH AND INSTALL.

BEJ	- BRICK EXPANSION JOINT
BD	- BOARD
BITUM	- BITUMINOUS
BLDG	- BUILDING
BLK	- BLOCK
BLKG	- BEAM / BENCHMARK
B/O	- BOTTOM OF
BOT	- BOTTOM
FE	- FIRE EXTINGUISHER / FINISH END
FEC	- FIRE EXTINGUISHER CABINET
BRG	- BEARING
BS	- BONDED STACK
BSMT	- BASEMENT
BT	- BOLT
BUR	- BUILT-UP ROOF
BYND	- BEYOND

C	- CLOSURE
CAB	- CABINET
CAT	- CATEGORY
CB	- CATER BASIN
CB	- CHALK BOARD
CRU	- CEMENTIC BACKER UNIT
CEM	- CEMENT
CG	- CORNER GUARD
CH	- CABINET HEATER / CEILING HEIGHT
CHNL	- CHANNEL
CI	- CAST IRON
CIP	- CAST IRON PLACE
CI	- CEMENTED JOINT
CL	- CENTERLINE
CLG	- CEILING
CLR	- CLEAR
CML	- CORRUGATED METAL PIPE
CMT	- CERAMIC MOSAIC TILE
CMT	- CONCRETE MASONRY UNIT
CNT	- COUNTER
CO	- CLEANG
COL	- COLUMN
COMP	- COMPACT
COMP	- COMPRESSIBLE
CONC	- CONCRETE
COND	- CONDITION
CONN	- CONNECTION
CONST	- CONSTRUCTION
CONT	- CONTINUOUS / CONTINUE
CONTR	- CONTRACTOR
COORD	- COORDINATE
CORR	- CORRUGATED / CORRIDOR
CPT	- CARPET
CT	- CERAMIC TILE
CTR	- CENTER
CTSK	- COUNTER SINK
CTYD	- COURTYARD
CW	- COLD WATER
CWF	- CEMENTITIOUS WOOD FIBER

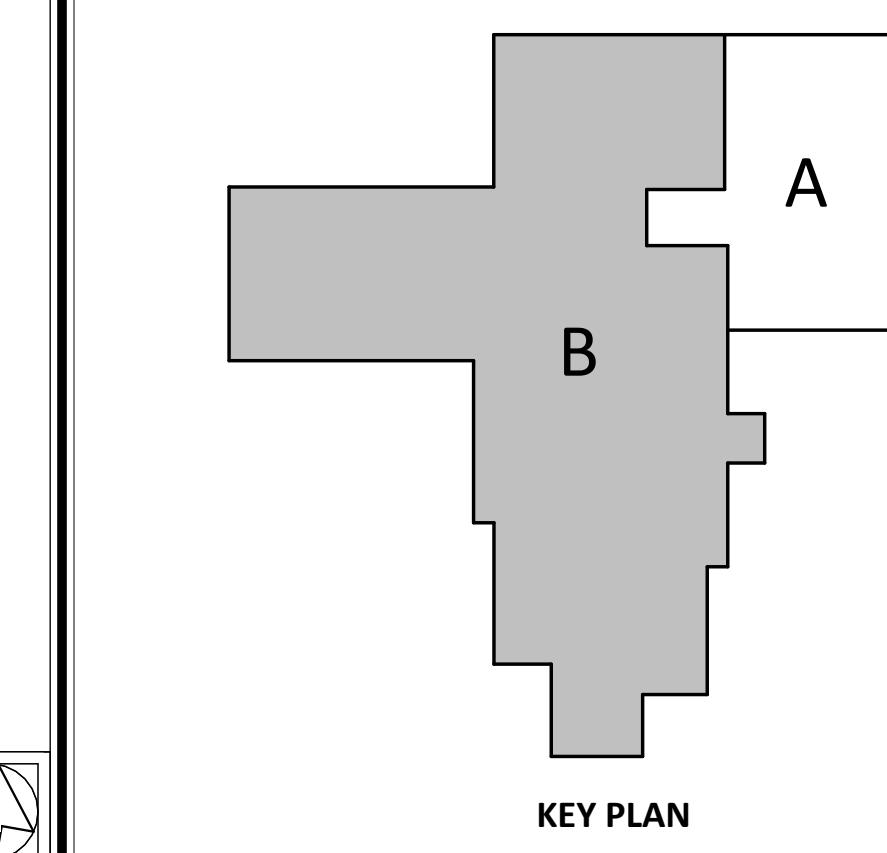
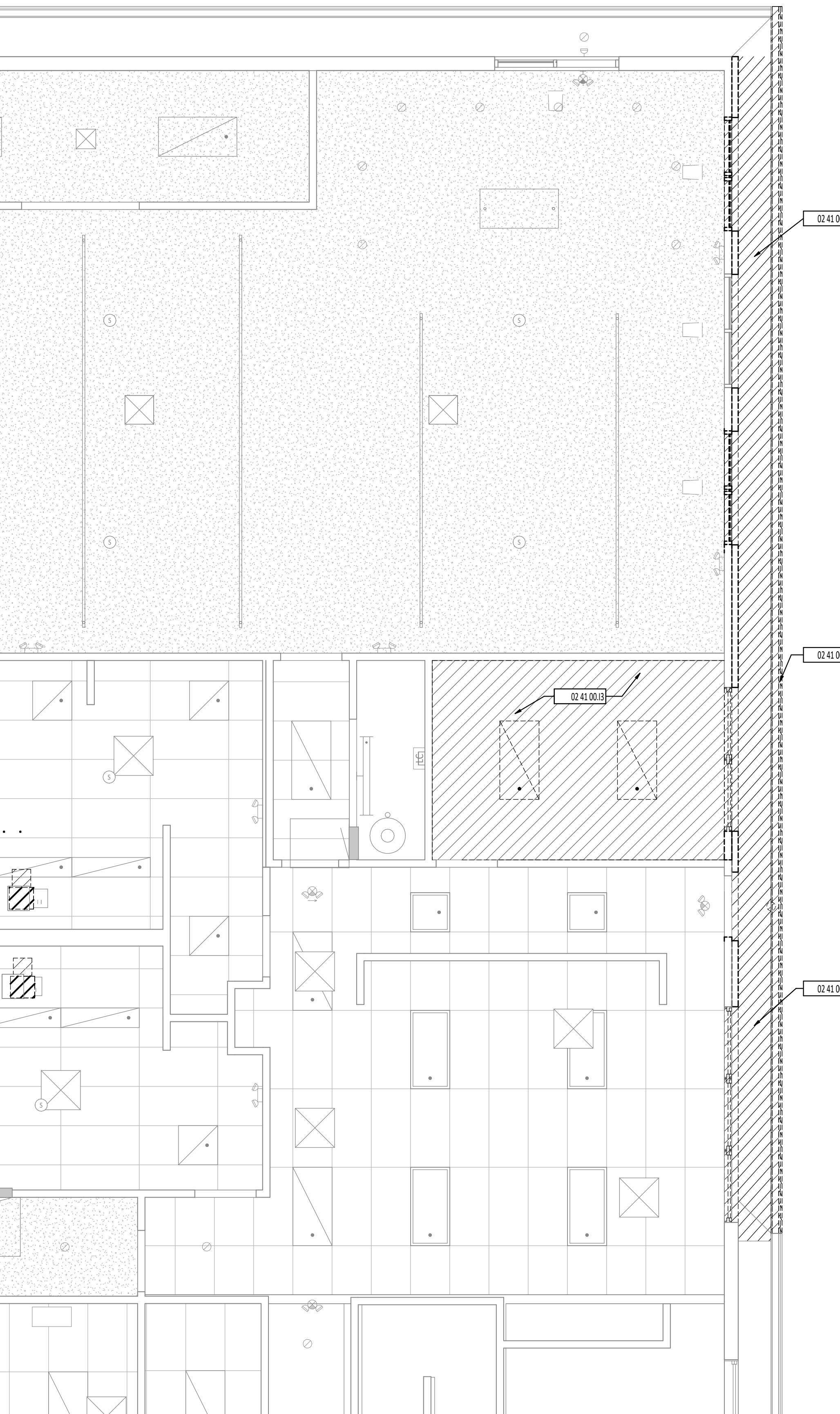
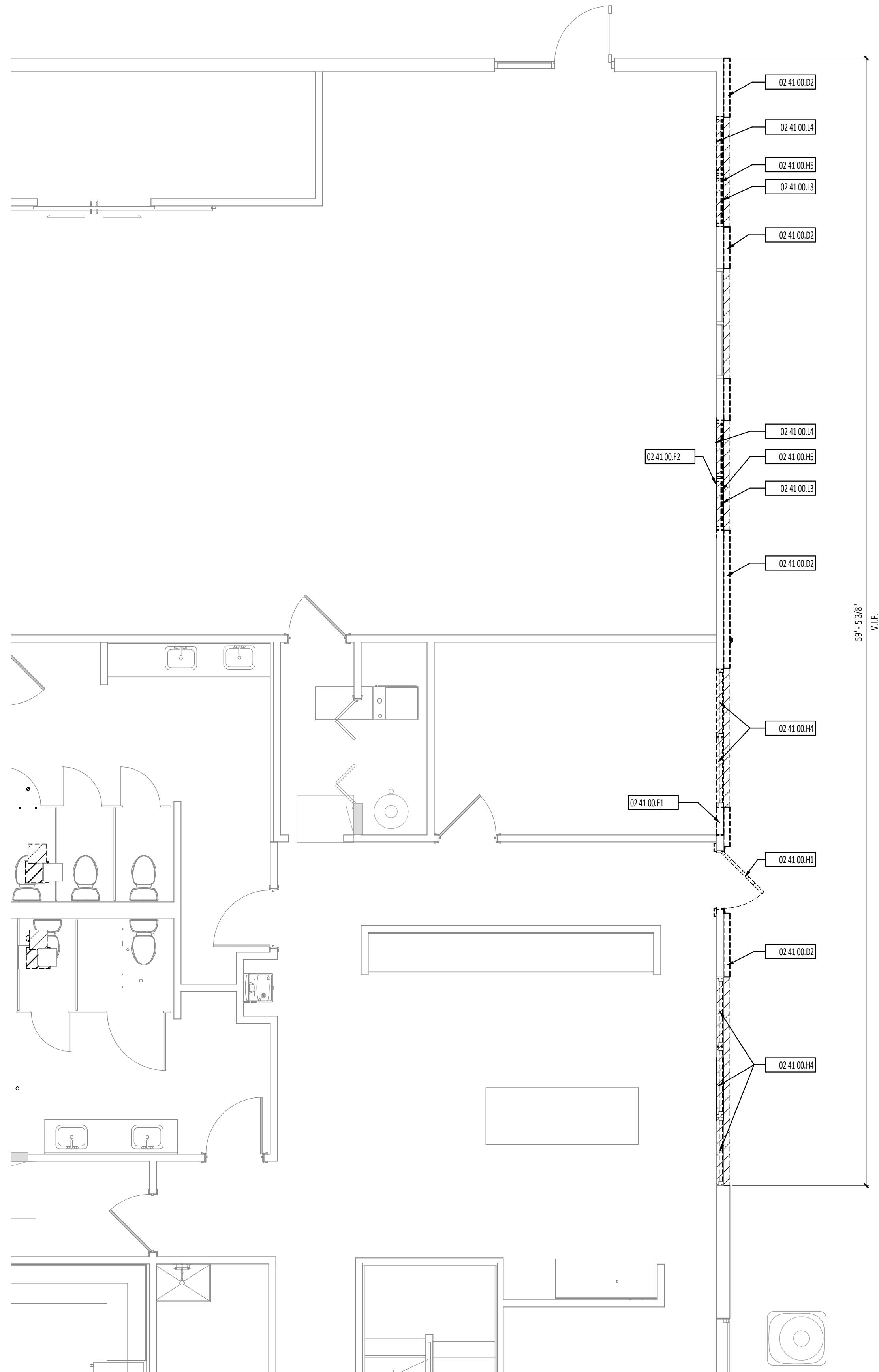
N	- NORTH
NA	- NOT APPLICABLE
NC	- NO CONTACT
NC	- NO NOMINAL
NTS	- NOT TO SCALE

G	- GROUND
GA	- GAUGE
GAUV	- GALVANIZED
GRAB	- GRAB
GC	- GENERAL CONTRACTOR
GFCMU	- GROUND-FACED CONCRETE MASONRY UNIT
GFRC	- GLASS FIBER REINFORCED CONCRETE
GFRGU	- GLASS FIBER REINFORCED GYPSUM UNIT
GL	- GLASS
GR	- GRADE
GRD	- GROUND
GWB	- GYPSUM WALLBOARD

DA	- DEPTH
DBL	- DOUBLE
DC	- DISPLAY CASE
DE	- DRINKING FOUNTAIN
DET	- DETAIL
DF	- DRINKING FOUNTAIN
DIM	- DIMENSION
DISP	- DISPENSER
DIV	- DIVISION
DL	- DEAD LOAD
DMPF	- DAMPROOFING
DMV	- DEMOUNTABLE
DN	- DOWN
DO	- OPENING
DP	- DIMENSION POINT
DPTN	- DEMOUNTABLE PARTITION
DR	- DOOR
DR	- DRAIN
DS	- DOWNSPOUT
DW	- DISHWASHER
DWC	- DRINKING WATER COOLER
DWG	- DRAWING
DWR	- DRAWER

DO	- INSIDE DIAMETER
DO	- IN LIEU OF
INC	- INCANDESCENT
INC	- INCLUDE
INFO	- INFORMATION
INSUL	- INSULATION
INT	- INTERIOR
INTERM	- INTERMEDIATE
INV	- INVERT
IRGW	- IMPACT RESISTANT GYPSUM WALLBOARD

I	- INSIDE
IC	- JANITORIAL CLOSET
JST	- JOIST
JT</td	



**FIRST FLOOR AND
REFLECTED
CEILING
DEMOLITION PLAN**

DEMOLITION FLOOR PLAN GENERAL NOTES

A THESE NOTES APPLY TO ALL ARCHITECTURAL DRAWINGS. FOR DEMOLITION NOTES AND SYMBOLS APPLICABLE ONLY TO DRAWINGS OF DISCIPLINE OTHER THAN ARCHITECTURAL, REFER TO SPECIFIC DRAWINGS OF THAT GENERAL DEMOLITION NOTES.

B FIELD VERIFY CONDITIONS AND COORDINATE DEMOLITION OR REMOVAL WORK WITH CORRESPONDING NEW CONSTRUCTION WORK AND WITH ALL APPROPRIATE TRADES PRIOR TO STARTING DEMOLITION WORK. IF DISCREPANCIES ARE FOUND BETWEEN CONTRACT DOCUMENTS AND ACTUAL FIELD CONDITIONS, NOTIFY ARCHITECT IMMEDIATELY.

C OWNER SHALL REMOVE LOOSE ITEMS, I.E. EQUIPMENT, FURNITURE, ARTWORK, PLAQUES, ETC. PRIOR TO CONTRACTOR'S START OF WORK IN SPECIFIED AREAS, WHERE PARTIAL OCCUPANCY, CONTRACTOR SHALL COORDINATE SCHEDULE WITH OWNER.

D REMOVE ITEMS TO BE DEMOLISHED IN THEIR ENTIRETY UNLESS OTHERWISE NOTED. DESCRIPTION OF PRIMARY ITEMS TO BE REMOVED IS GENERAL IN NATURE, AND REMOVAL OF SECONDARY COMPONENTS SUCH AS BLOCKING, SUPPORTS, ANCHORS, TRIM, ADHESIVE, PIPING, WIRING, ETC. RELATED TO PRIMARY ITEMS SHALL BE INCLUDED.

E PROTECT EXISTING SURFACES TO REMAIN IN AREAS ADJACENT TO DEMOLITION WORK. CONTRACTOR TO REPAIR EXISTING SURFACES TO REMAIN DAMAGED DURING CONSTRUCTION AND DEMOLITION.

F PROTECT EXISTING SURFACES, PLUMBING, AND CEILING CONSTRUCTION AT ABANDONED PENETRATION LOCATIONS WITH NEW MATERIALS AS REQUIRED TO RECEIVE NEW FINISHES AND TO MAINTAIN ORIGINAL FIRE RATING ASSEMBLY WHERE APPLICABLE.

G SELECTIVE DEMOLITION FOR INSTALLATION OF NEW MECHANICAL, PLUMBING, OR ELECTRICAL WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR OR TRADE REQUIRING THE DEMOLITION.

H DEMOLISHED MATERIALS ARE THE PROPERTY OF THE CONTRACTOR UNLESS NOTED OTHERWISE AND SHALL BE PROMPTLY DISPOSED OFF SITE IN A LEGAL MANNER.

I REPAIR FINISHES AND SURFACES LEFT EXPOSED BY DEMOLITION OR REMOVAL OF EQUIPMENT USING NEW MATERIALS TO MATCH SURROUNDING SURFACES. REPAIR EXISTING FLOOR, BASE, WALL AND CEILING FINISHES TO CORRECT DEFECTS CAUSED OR EXPOSED BY DEMOLITION WORK OR EQUIPMENT REMOVAL. REPAIRED SURFACES SHALL BE SMOOTH AND UNDETECTABLE UNDER FINAL FINISH. AREAS NOTED ON THE DWGS. TO BE REPAIRED OR PATCHED ARE GIVEN FOR REFERENCE AND SHALL NOT BE INTERPRETED TO LIMIT THE SCOPE OF WORK.

J DIMENSIONAL INFORMATION FOR NEW OPENINGS INDICATED ON DEMOLITION DWGS. ARE APPROXIMATE AND REQUIRE FIELD VERIFICATION AND COORDINATION WITH NEW CONSTRUCTION.

K PRIOR TO START OF DEMOLITION, DUST AND SOUND BARRIERS SHALL BE CONSIDERED.

L PROPER EGRESS AND APPROVED BARRIERS MUST BE MAINTAINED THROUGHOUT THE DEMOLITION AREA AT ALL TIMES.

M REMOVE DEBRIS DAILY.

DEMOLITION FLOOR PLAN SYMBOLS LEGEND

A101 ROOM DESIGNATION- REFERENCE ROOM INDEX.
XX XX XX XX DIVISIONAL KEYNOTE DESIGNATION- REFERENCE KEYNOTE SCHEDULE AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.
KEYNOTE DESIGNATION SPECIFICATION SECTION

#	KEYNOTE DESCRIPTION
0241.00.02	REMOVE EXISTING FACE BRICK VENEER. PREPARE FOR NEW WORK.
0241.00.01	REMOVE PORTION OF EXISTING WOOD FRAMING
0241.00.02	REMOVE PORTION OF EXISTING WOOD TRIM
0241.00.05	REMOVE EXISTING GUTTER. PREPARE FOR NEW WORK
0241.00.06	REMOVE EXISTING SOFFIT AND FRAMING. PREPARE FOR NEW WORK
0241.00.01	REMOVE EXISTING DOOR AND FRAME - PREPARE FOR NEW WORK.
0241.00.04	REMOVE EXISTING WINDOW - PREPARE FOR NEW WORK.
0241.00.05	REMOVE AND SALVAGE EXISTING STOREFRONT WINDOW FOR NEW LOCATION. PREPARE FOR NEW WORK.
0241.00.13	REMOVE EXISTING ACOUSTICAL CEILING TILE CEILING AND GRID
0241.00.13	REMOVE AND SALVAGE EXISTING ROLLER SHADES FOR NEW LOCATION
0241.00.14	REMOVE EXISTING SOLID SURFACE SILL

TIPP CITY SENIORS NEW ADDITION

ISSUANCES/REVISIONS
CONSTRUCTION DOCUMENTS | 01/13/2026

PROJECT NUMBER: 25059.00
DRAWN BY: MLE
CHECKED BY: SMD

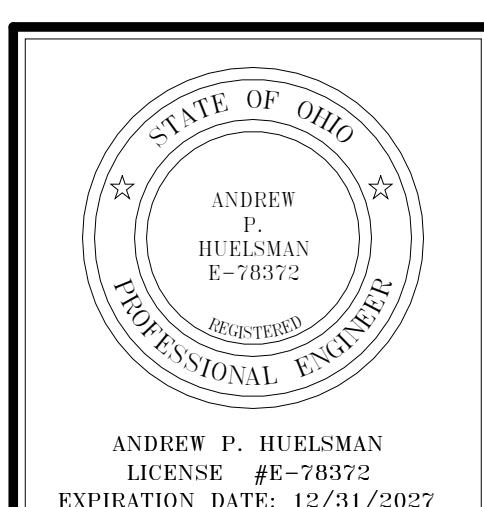
**FIRST FLOOR AND
REFLECTED
CEILING
DEMOLITION PLAN**



**GARMANN
MILLER**

MINSTER, OHIO | COLUMBUS, OHIO | INDIANAPOLIS, INDIANA

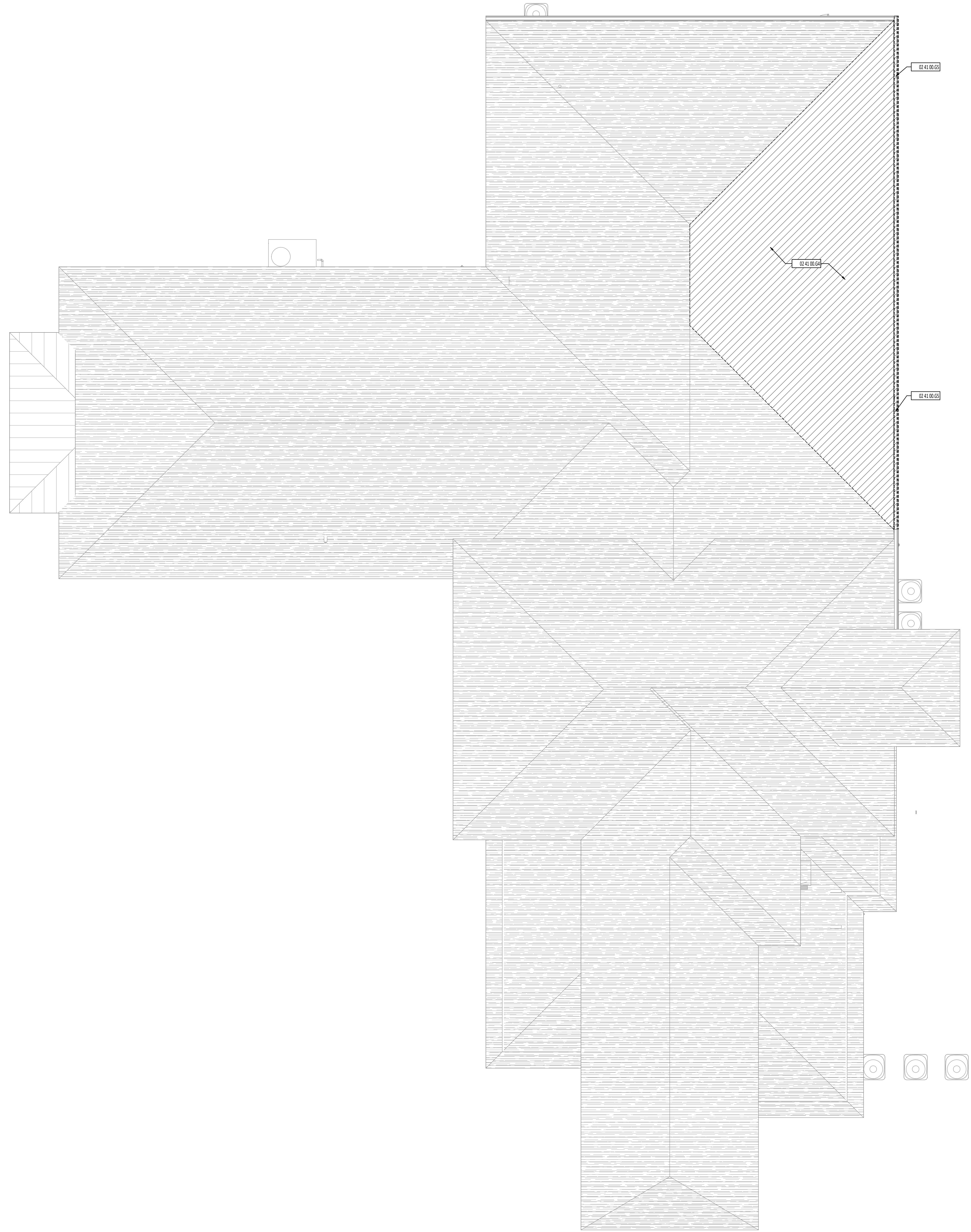
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ANDREW P. HUELSMAN
E-78372
REGISTERED

LICENSE #E-78372

EXPIRATION DATE: 12/31/2027



DEMOLITION FLOOR PLAN SYMBOLS LEGEND

A101	ROOM DESIGNATION - REFERENCE ROOM INDEX.
XX-XXXX-XX	DIVISIONAL KEYNOTE DESIGNATION - REFERENCE KEYNOTE SCHEDULE AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.
11	KEYNOTE DESIGNATION SPECIFICATION SECTION

KEYNOTE DESCRIPTION

0241 00.G4 REMOVE PORTION OF EXISTING ROOF INCLUDING ASPHALT SHINGLES AND FASCIA. PREPARE FOR NEW WORK.

0241 00.G5 REMOVE EXISTING GUTTER. PREPARE FOR NEW WORK.



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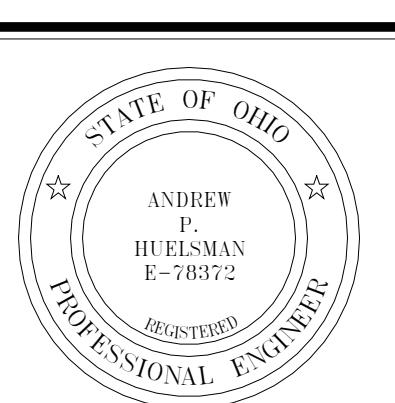
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CONSTRUCTION DOCUMENTS | 01/13/2026

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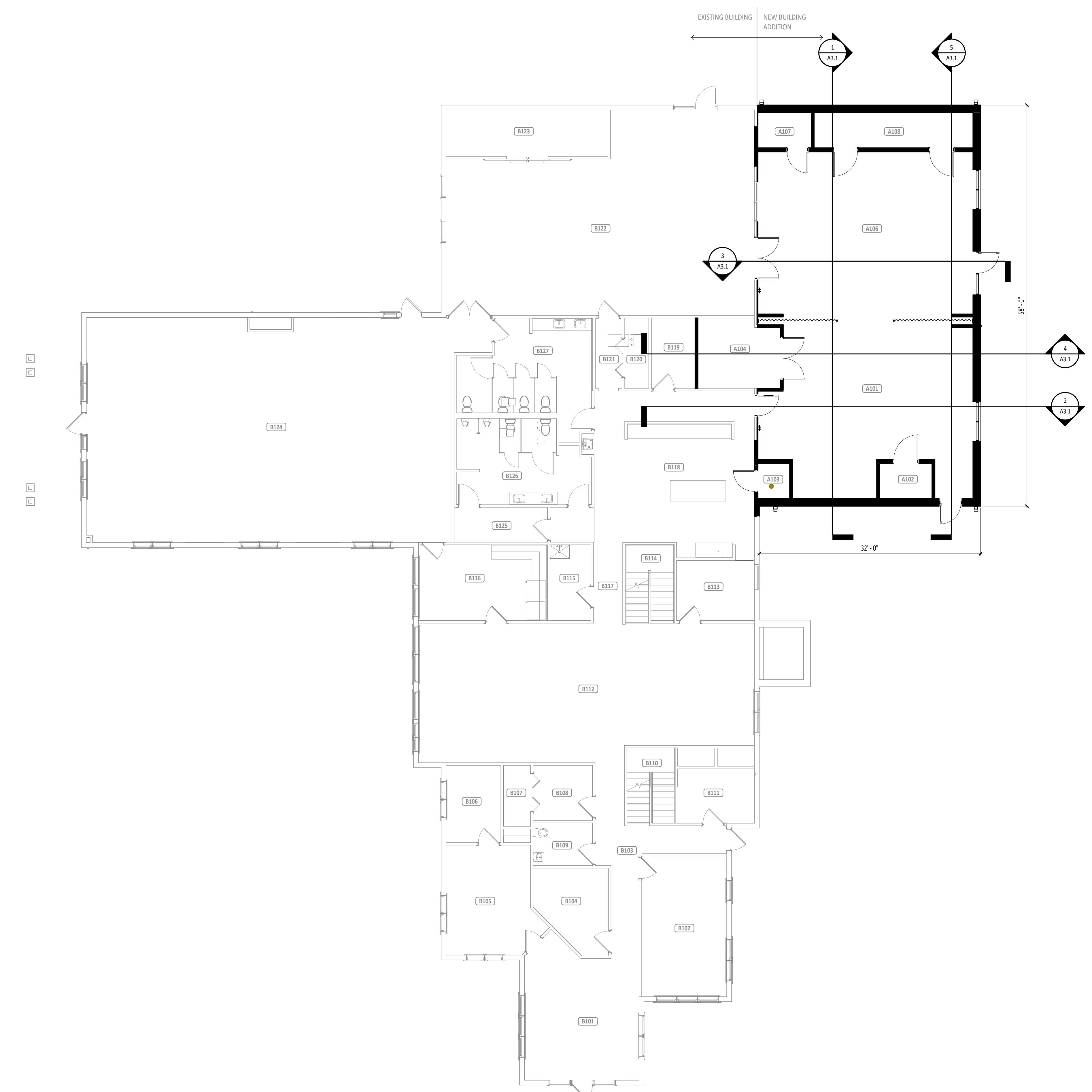
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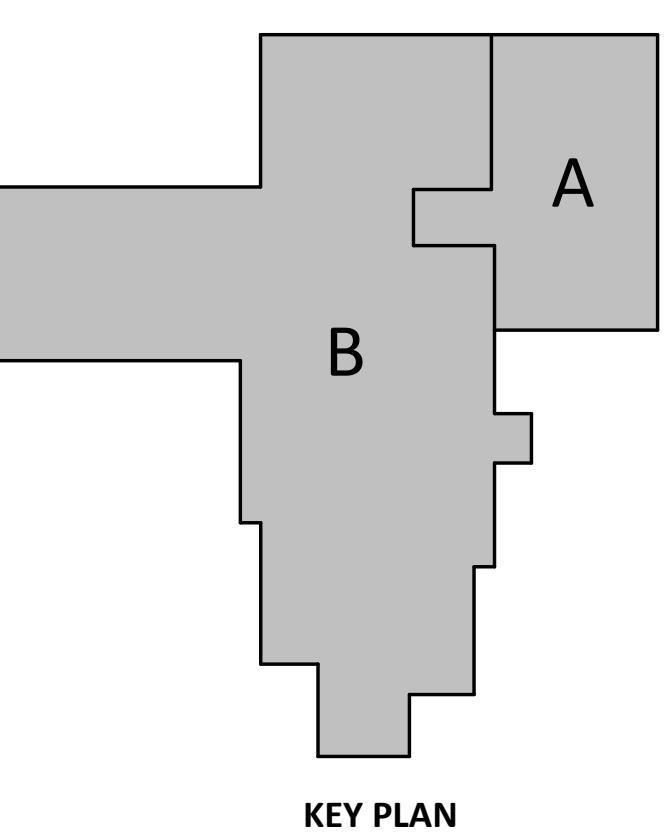
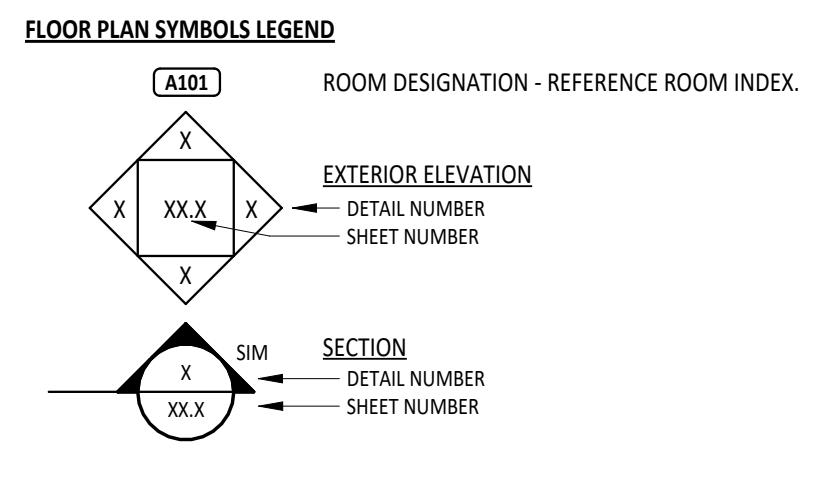
ANDREW P. HUELSMAN E-78372 REGISTERED



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FIRST FLOOR PLAN ROOM INDEX - OVERALL		
ROOM NUMBER	ROOM NAME	AREA
A101	FLEX SPACE	680 SF
A102	TOOL STORAGE	39 SF
A103	MECHANICAL	24 SF
A104	TABLE & CHAIR STORAGE	116 SF
A105	MECHANICAL	116 SF
A106	FLEX SPACE	750 SF
A107	MECHANICAL	39 SF
A108	STORAGE	117 SF
B101	LOBBY	310 SF
B102	CONFERENCE ROOM	250 SF
B103	CORRIDOR	180 SF
B104	COAT ROOM	113 SF
B105	OFFICE	201 SF
B106	FILE STORAGE	89 SF
B107	MECHANICAL	34 SF
B108	OFFICE	68 SF
B109	RESTROOM	53 SF
B110	STAIR	55 SF
B111	STORAGE	107 SF
B112	SOCIAL AREA	934 SF
B113	KITCHEN STORAGE	98 SF
B114	STAIR	75 SF
B115	CUSTODIAL	65 SF
B116	CATERING KITCHEN	204 SF
B117	CORRIDOR	49 SF
B118	KITCHEN	563 SF
B119	KITCHEN STORAGE	64 SF
B120	MECHANICAL	35 SF
B121	CORRIDOR	41 SF
B122	RECREATION ROOM	1,156 SF
B123	STORAGE	157 SF
B124	EVENT SPACE	1,739 SF
B125	CORRIDOR	68 SF
B126	MEN'S RESTROOM	218 SF
B127	WOMEN'S RESTROOM	252 SF

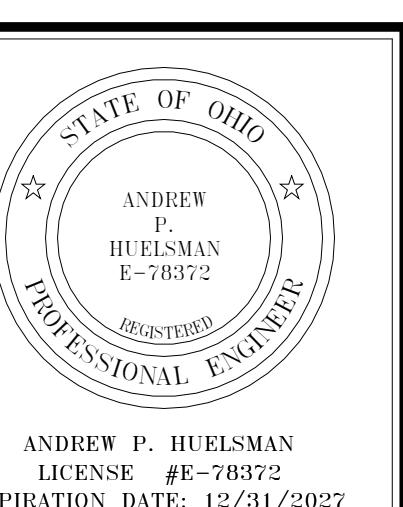


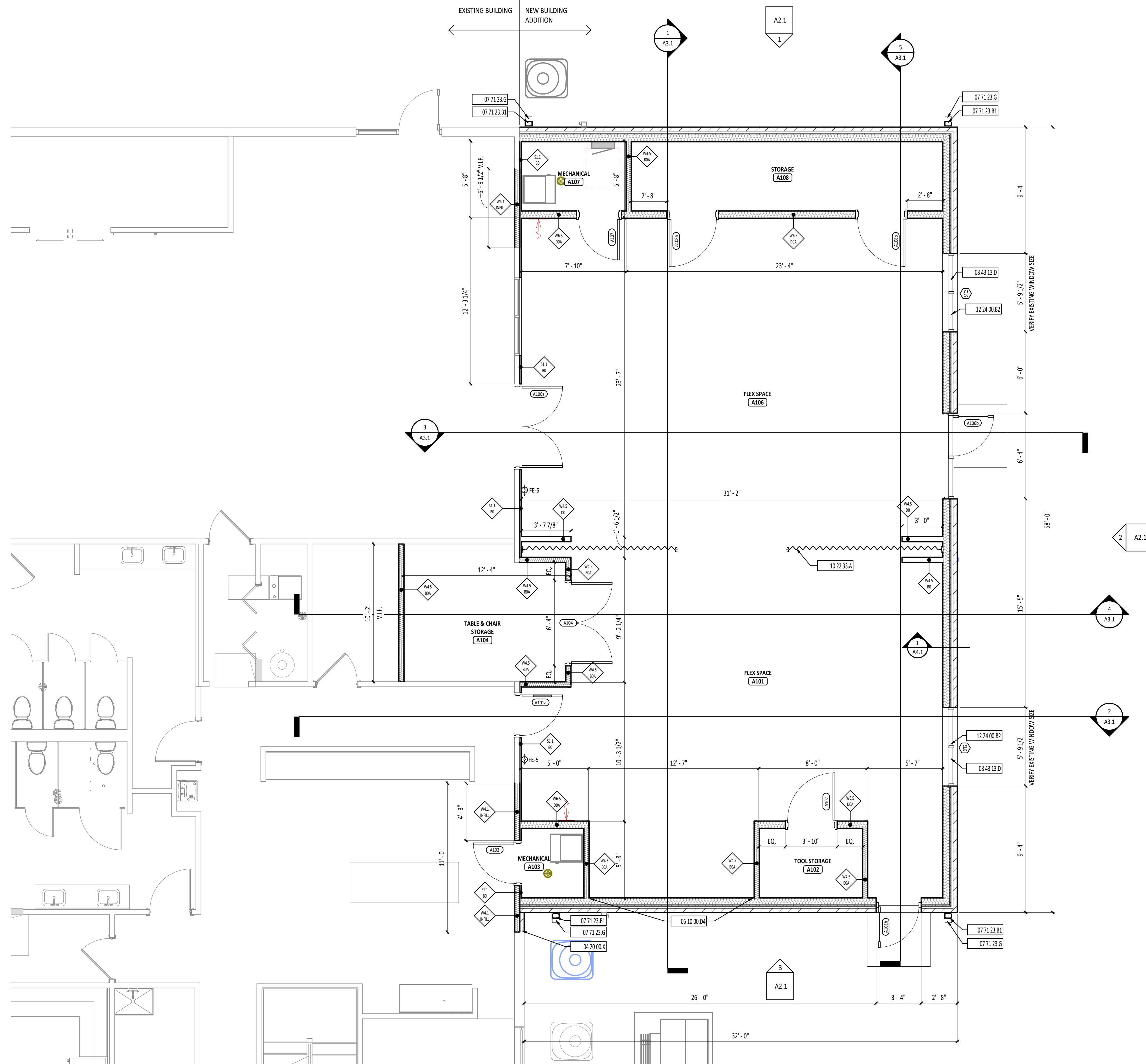
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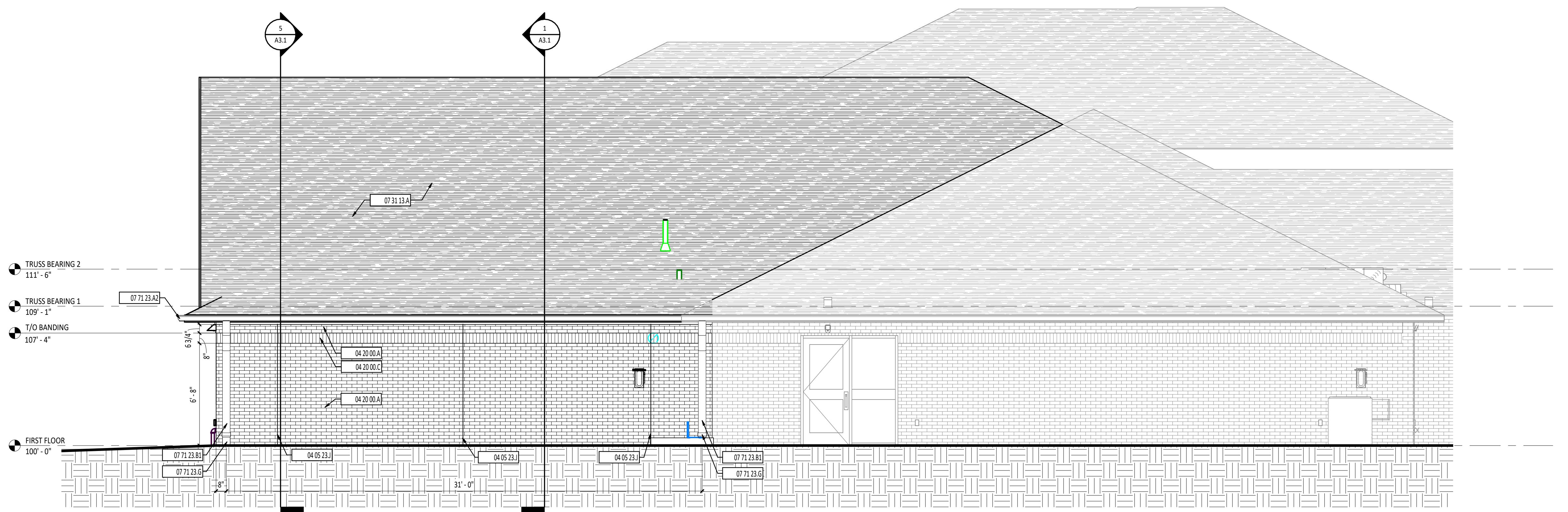
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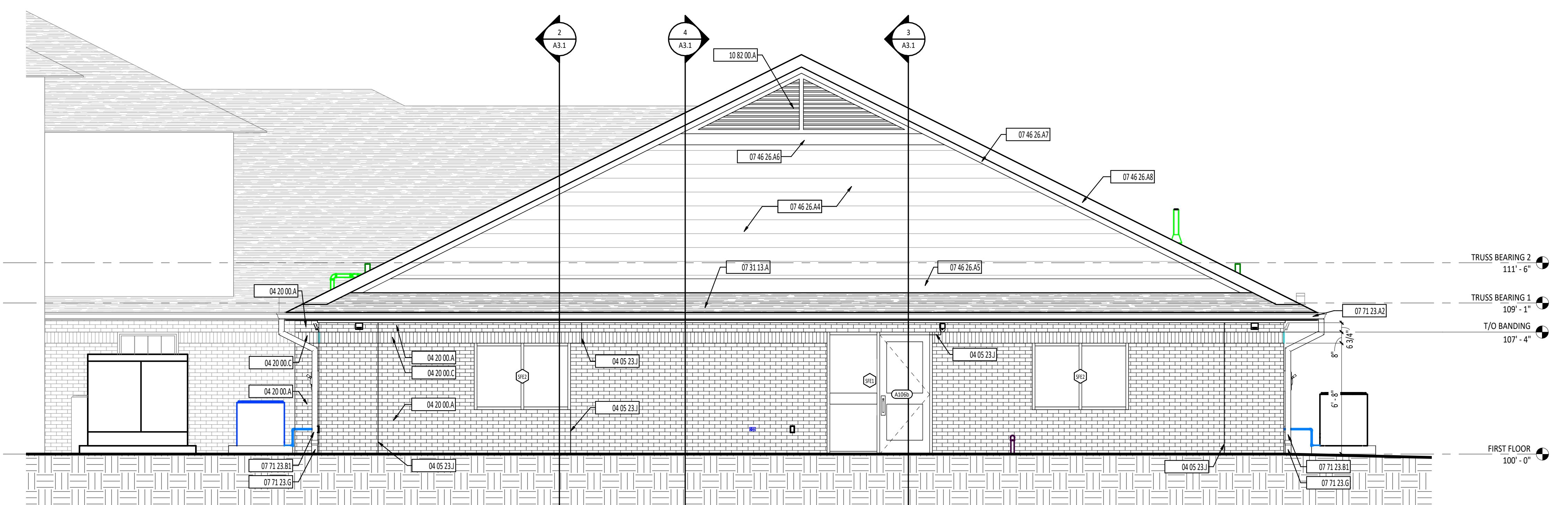
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SHEET TITLE: FIRST FLOOR PLAN - OVERALL



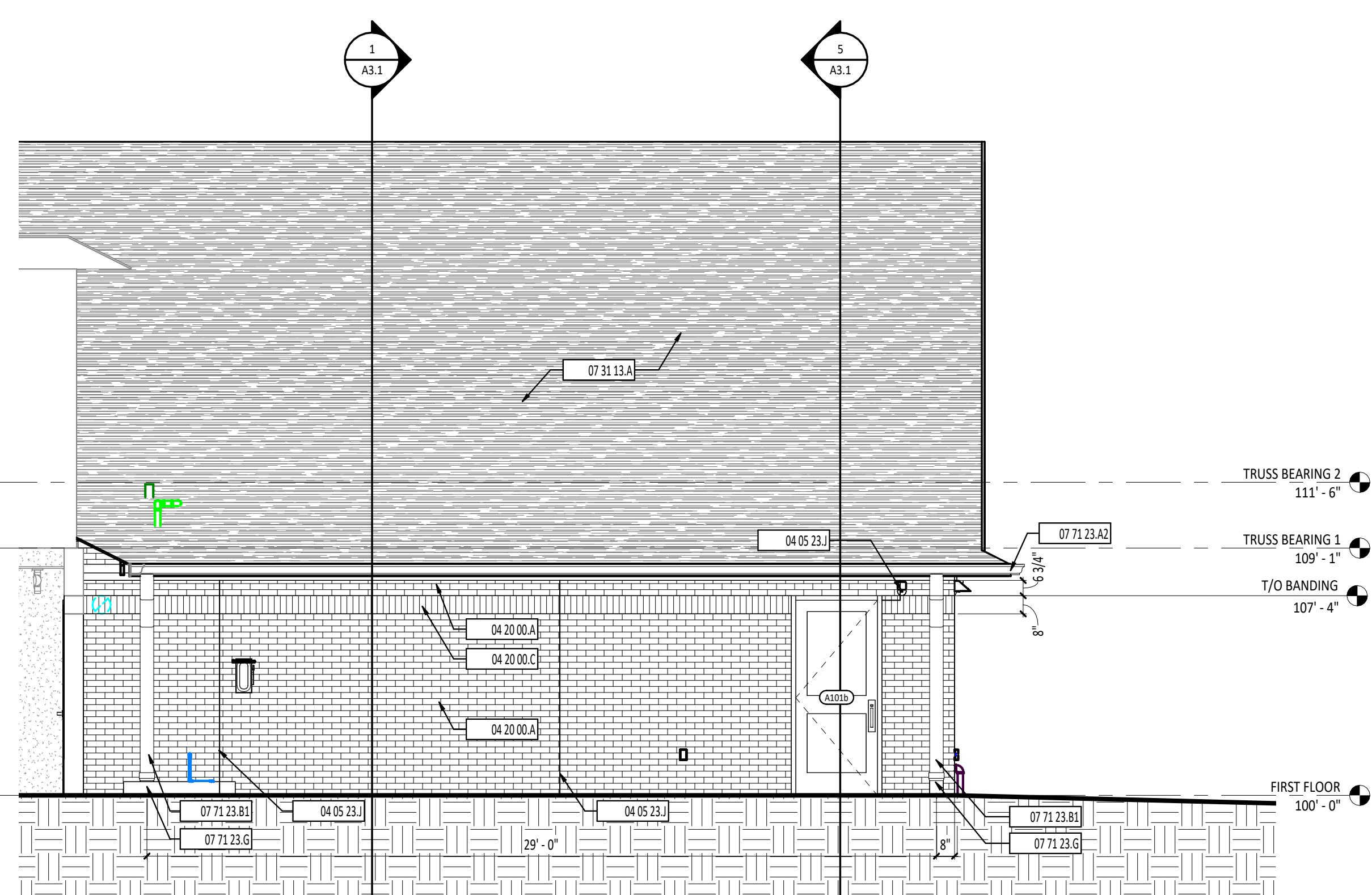




1 BUILDING ELEVATION - NORTH
A2.1 1/4" = 1'-0"



2 BUILDING ELEVATION - EAST
A2.1 1/4" = 1'-0"



3 BUILDING ELEVATION - SOUTH
A2.1 1/4" = 1'-0"

EXTERIOR ELEVATION GENERAL NOTES

A. PROVIDE CONTROL JOINTS AND EXPANSION JOINTS AT BUILDING INSIDE CORNERS AND AT CONCRETE MASONRY UNIT VENEER AND BRICK VENEER MATERIAL CHANGES.

EXTERIOR ELEVATION SYMBOLS LEGEND

XXXX	DOOR DESIGNATION - REFERENCE DOOR/OPENING SCHEDULE.
XXXX	SIGNAGE DESIGNATION - REFERENCE SIGNAGE DETAILS.
XXXX	CURTAIN WALL/STOREFRONT/WINDOW TYPE DESIGNATION
—	LEVEL LINE
X	STRUCTURAL GRID - REFERENCE STRUCTURAL DRAWINGS.
XX-XX-XX-XX	DIVISIONAL KEYNOTE DESIGNATION - REFERENCE KEYNOTE SCHEDULE AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.
X	KEYNOTE DESIGNATION
—	SPECIFICATION SECTION
AREA X SIM	CALLOUT
XX-X	DETAIL NUMBER
XX-X	DETAIL NUMBER
XX-X	SECTION
XX-X	DETAIL NUMBER
XX-X	DETAIL NUMBER

KEYNOTE DESCRIPTION

0405 23.J	BRICK EXPANSION JOINT
0420 00.A	FACE BRICK VENEER
0420 00.C	FACE BRICK VENEER - SOLDIER COURSE
0731 13.A	ASPHALT SHINGLE ROOFING
0746 26.44	LP SMARTSIDE SIDING - 7" EXPOSURE
0746 26.45	1 X 10 LP SMARTSIDE TRIM; PAINT PER FINISH SCHEDULE
0746 26.46	1 X 8 LP SMARTSIDE TRIM; PAINT PER FINISH SCHEDULE
0746 26.47	1 X 4 LP SMARTSIDE TRIM; PAINT PER FINISH SCHEDULE
0746 26.48	1 X 8 LP SMARTSIDE RAKE BOARD; PAINT PER FINISH SCHEDULE
0771 23.42	6" PREFINISHED METAL GUTTER WITH STRAP AND ANCHORAGES
0771 23.81	4" X 6" PREFINISHED METAL DOWNSPOUT
0771 23.81	PVC DOWNSPOUT BOOT
1082 00.A	NON-FUNCTIONAL DECORATIVE LOUVER

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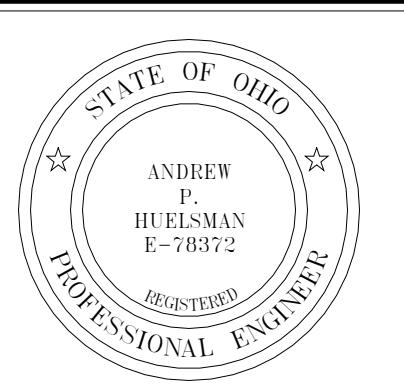
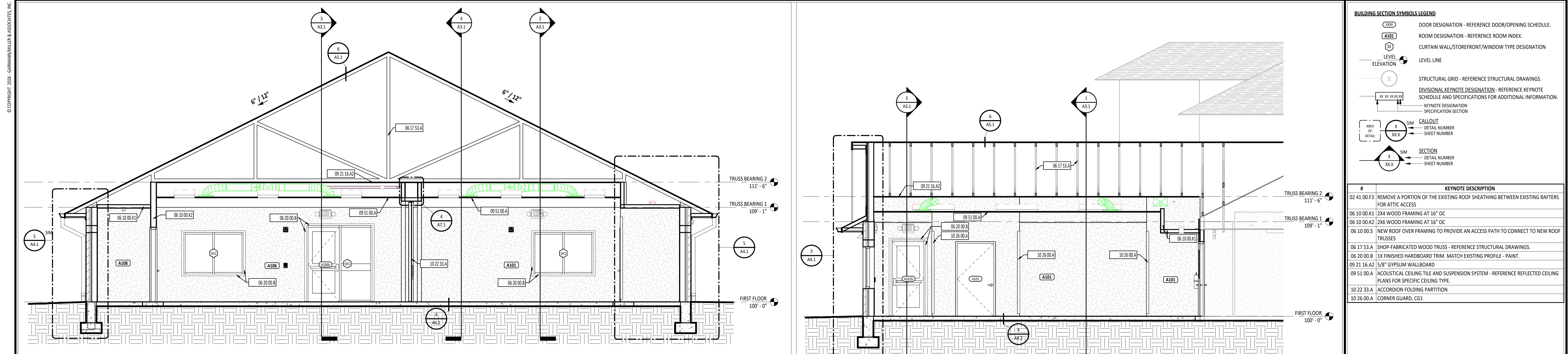
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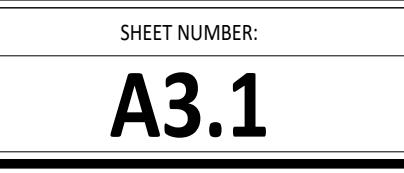
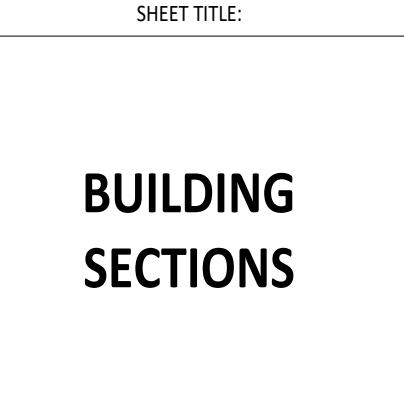
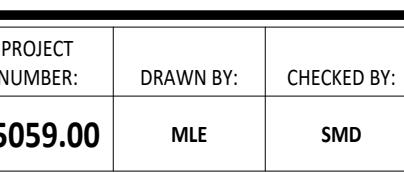
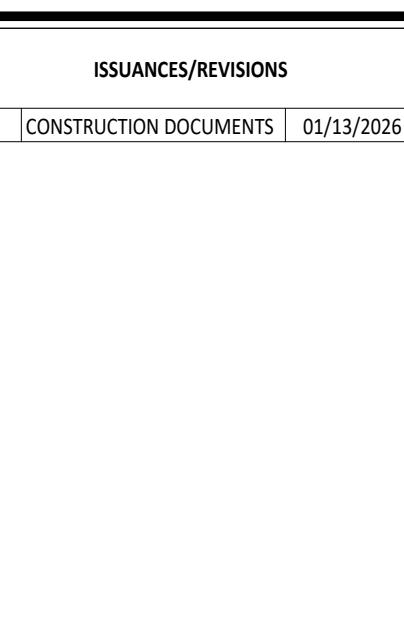
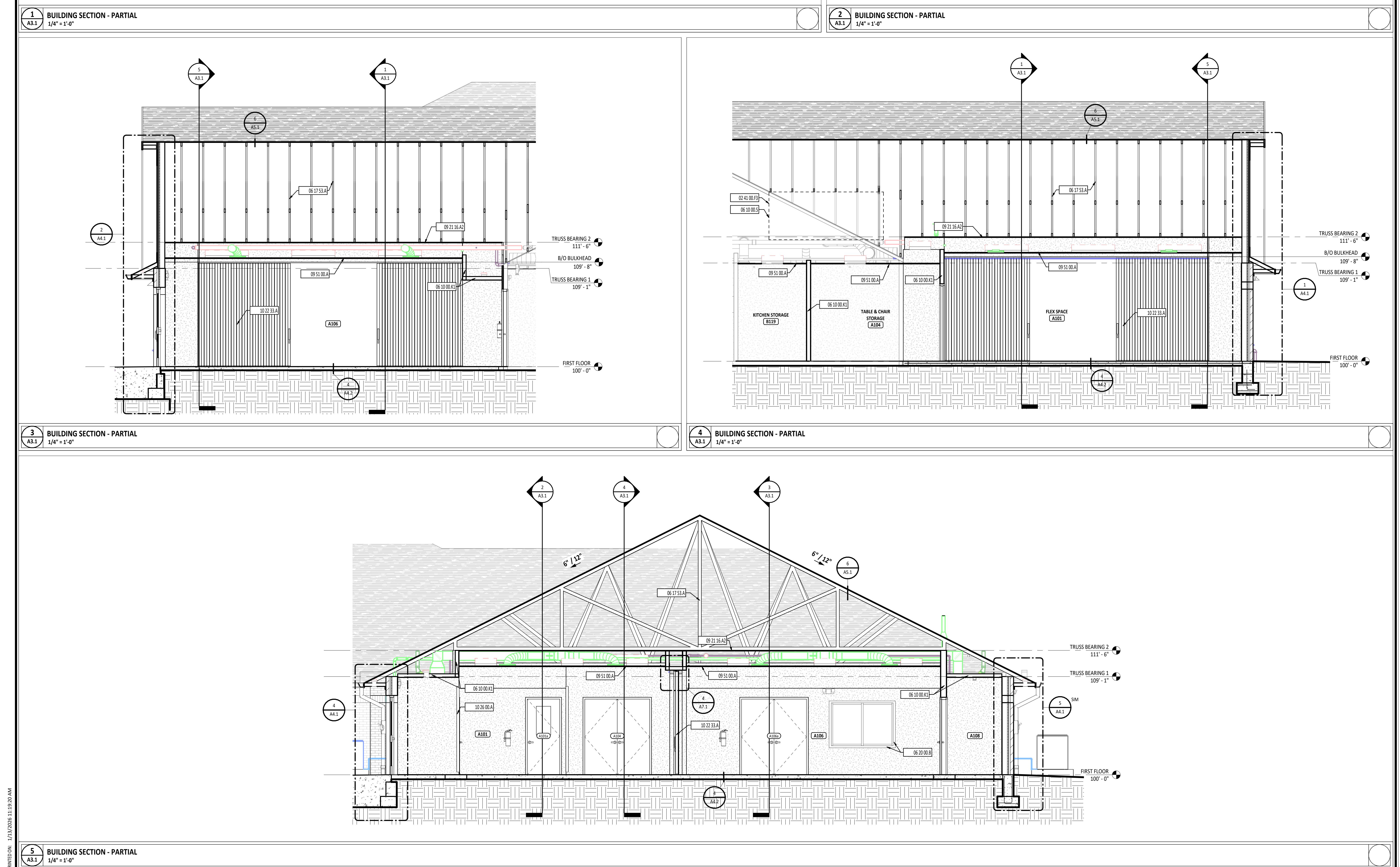
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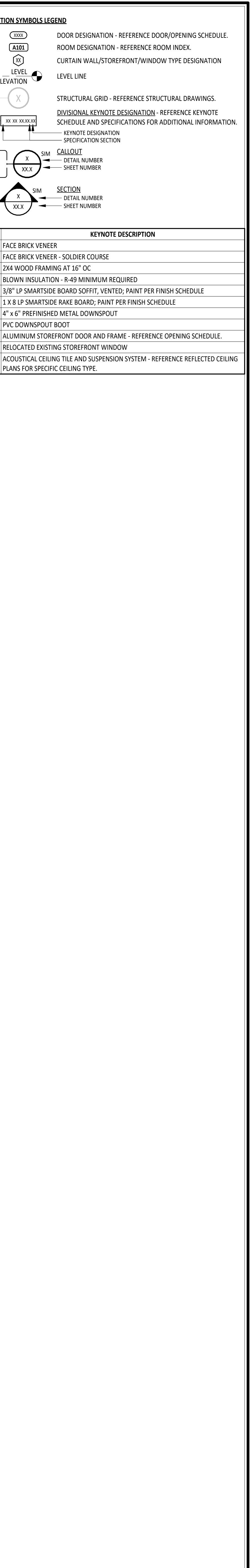
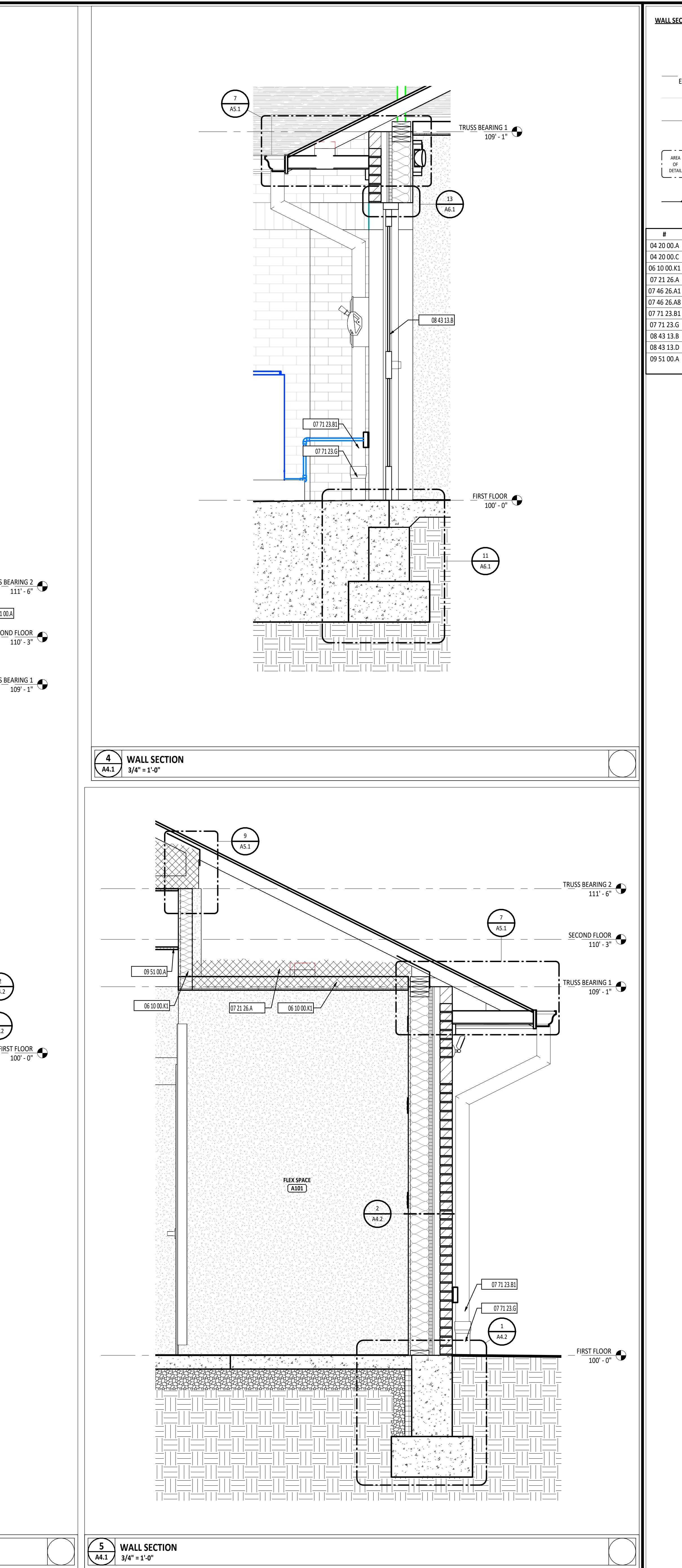
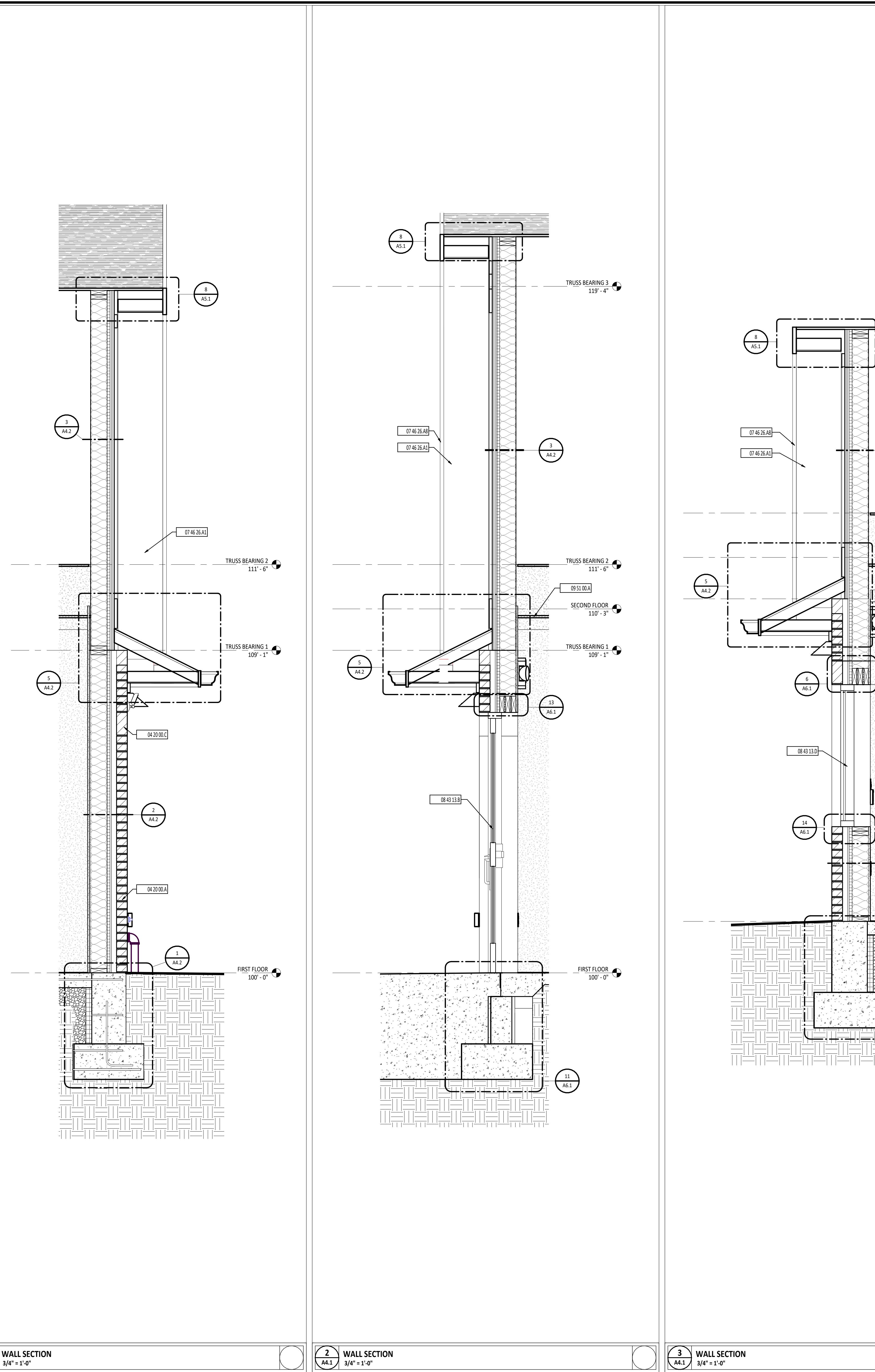
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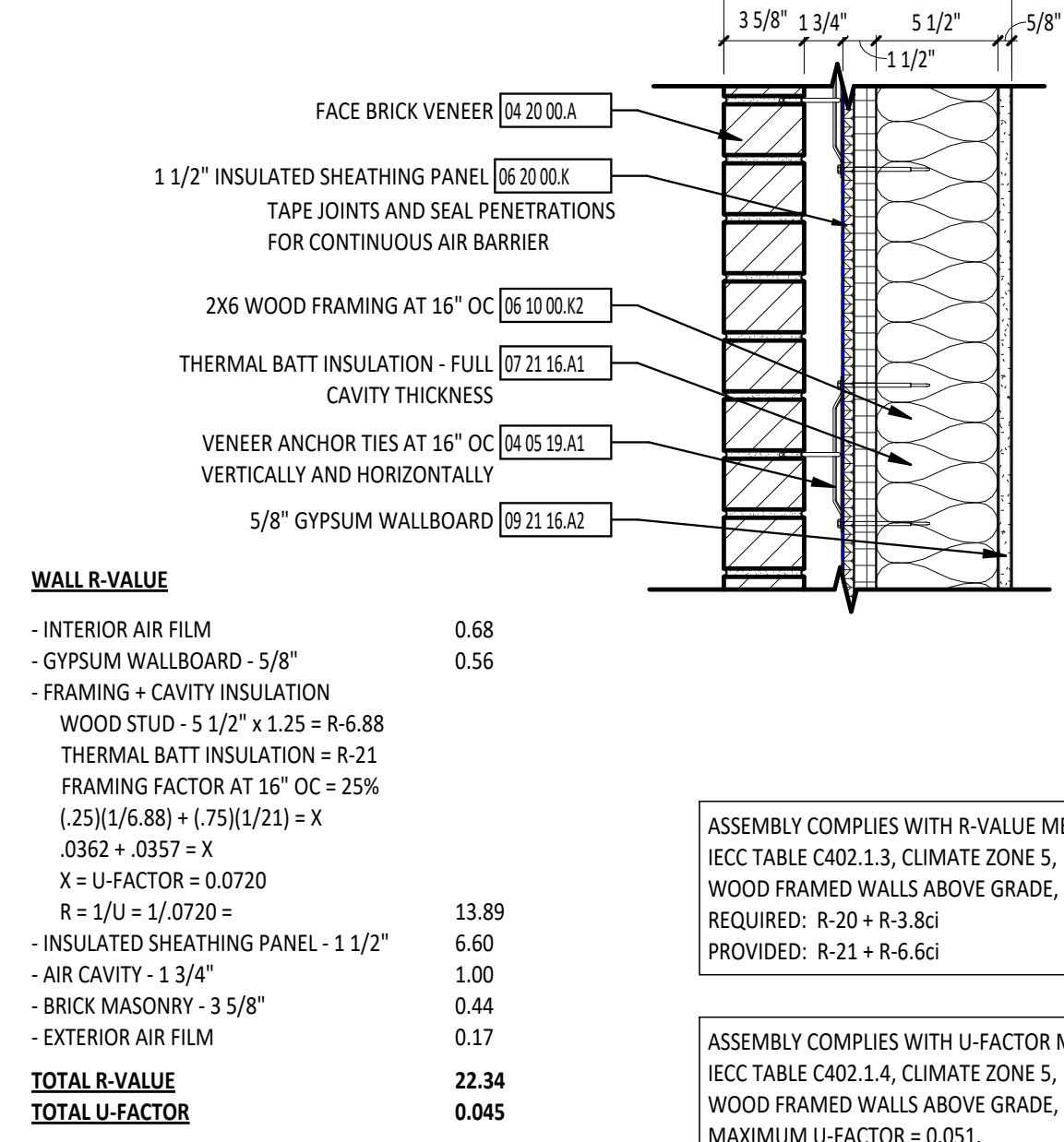
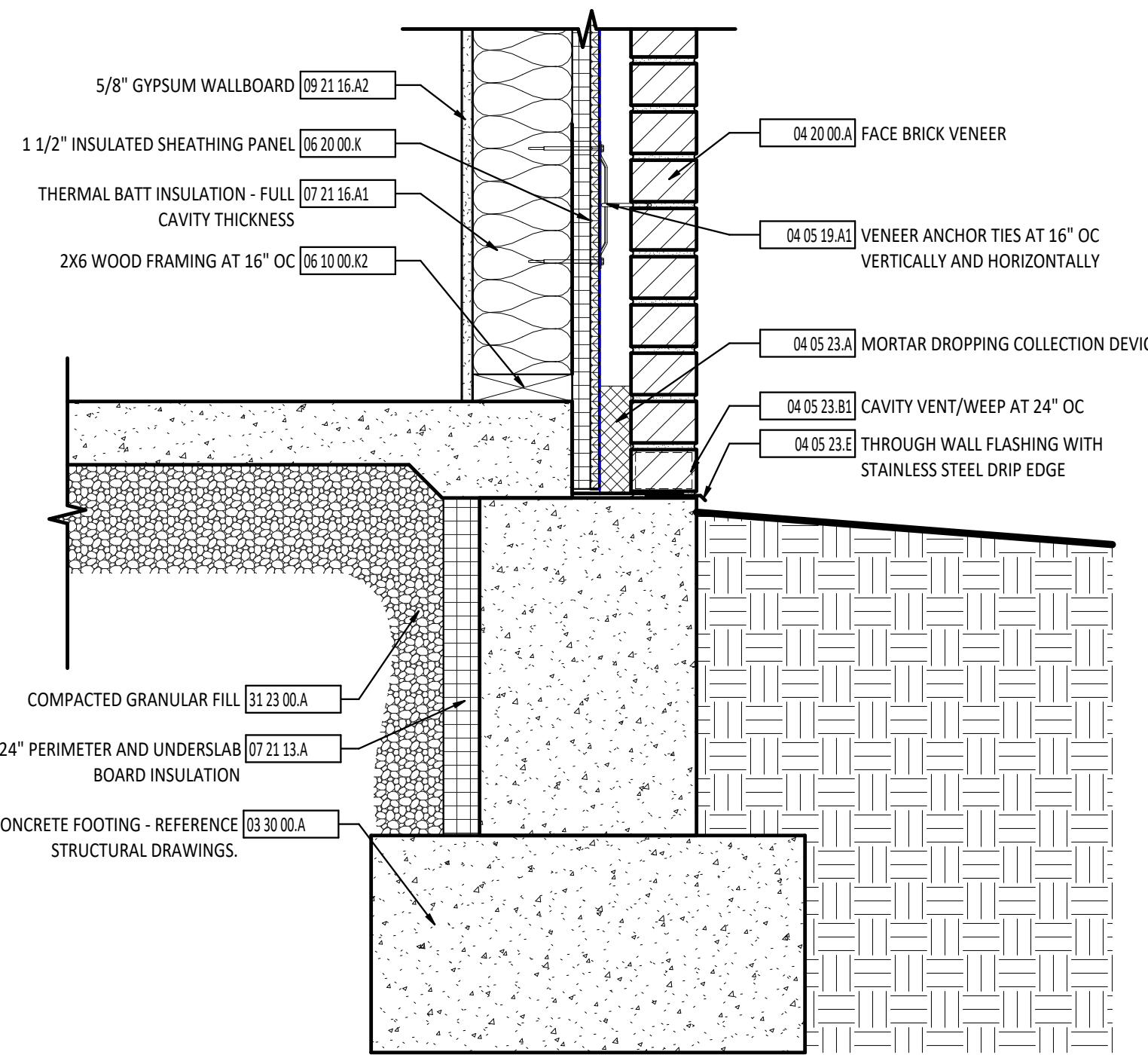
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1 TYPICAL FOUNDATION DETAIL

A4.2 1 1/2" = 1'-0"



WALL R-VALUE

- INTERIOR AIR FILM	0.68
- GYPSUM WALLBOARD - 5/8"	0.56
- FIRE-RETARDANT INSULATION	
- WOOD STUD - 5 1/2" x 1 1/2" = 6.68	
- THERMAL BATT INSULATION - R-21	
- FRAMING FACTOR AT 16" OC = 25%	
(.25)(1/6.68) + (.75)(1/21) = X	
.0362 + .0357 = X	
X = U-FACTOR = 0.0720	
R = 1/U = 1/0.0720 = 13.89	
- INSULATED SHEATHING PANEL - 1 1/2"	6.60
- AIR CAVITY - 1 3/4"	1.00
- BRICK MASONRY - 3 5/8"	0.44
- EXTERIOR AIR FILM	0.17
TOTAL R-VALUE	22.34
TOTAL U-FACTOR	0.045

ASSEMBLY COMPLIES WITH R-VALUE METHOD.

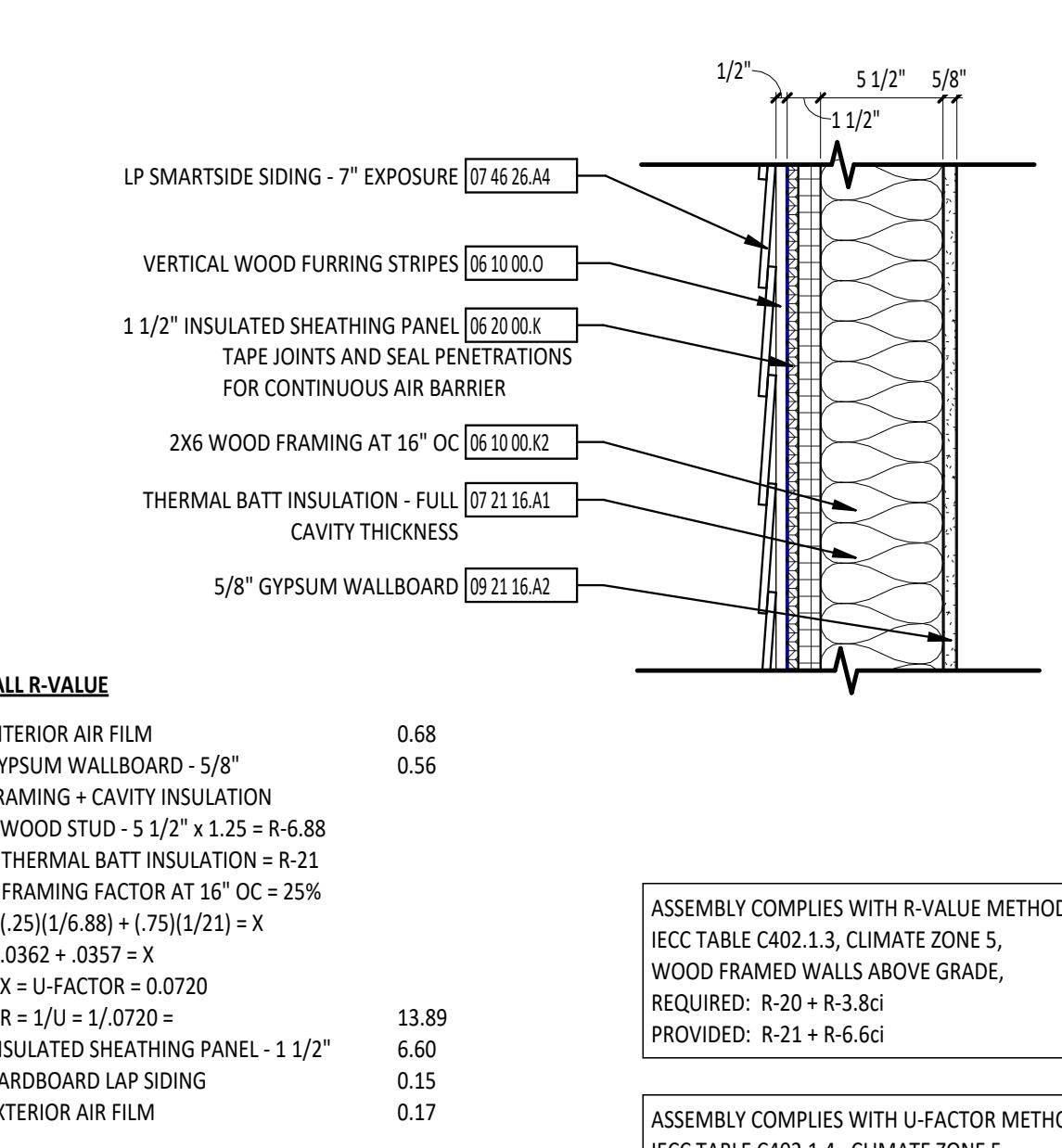
IECC TABLE C402.1.3, CLIMATE ZONE 5,	
WOOD FRAMED WALLS ABOVE GRADE,	
REQUIRED: R-20 + R-6.6ci	
PROVIDED: R-21 + R-6.6ci	

ASSEMBLY COMPLIES WITH U-FACTOR METHOD.

IECC TABLE C402.1.4, CLIMATE ZONE 5,	
WOOD FRAMED WALLS ABOVE GRADE,	
MAXIMUM U-FACTOR = 0.051.	

TOTAL R-VALUE

TOTAL U-FACTOR



WALL R-VALUE

- INTERIOR AIR FILM	0.68
- GYPSUM WALLBOARD - 5/8"	0.56
- FIRE-RETARDANT INSULATION	
- WOOD STUD - 5 1/2" x 1 1/2" = 6.68	
- THERMAL BATT INSULATION - R-21	
- FRAMING FACTOR AT 16" OC = 25%	
(.25)(1/6.68) + (.75)(1/21) = X	
.0362 + .0357 = X	
X = U-FACTOR = 0.0720	
R = 1/U = 1/0.0720 = 13.89	
- INSULATED SHEATHING PANEL - 1 1/2"	6.60
- EXTERIOR AIR FILM	0.17
TOTAL R-VALUE	22.05
TOTAL U-FACTOR	0.045

ASSEMBLY COMPLIES WITH R-VALUE METHOD.

IECC TABLE C402.1.3, CLIMATE ZONE 5,	
WOOD FRAMED WALLS ABOVE GRADE,	
REQUIRED: R-20 + R-3.8ci	
PROVIDED: R-21 + R-6.6ci	

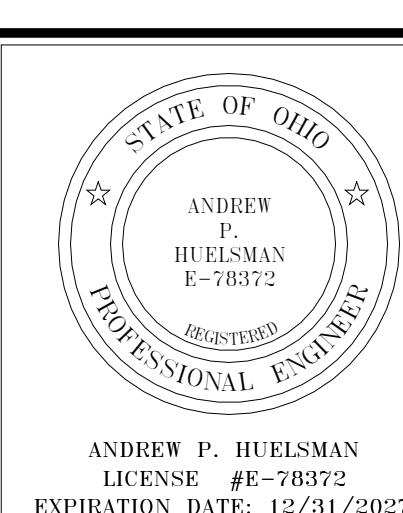
ASSEMBLY COMPLIES WITH U-FACTOR METHOD.

IECC TABLE C402.1.4, CLIMATE ZONE 5,	
WOOD FRAMED WALLS ABOVE GRADE,	
MAXIMUM U-FACTOR = 0.051.	

TOTAL R-VALUE

TOTAL U-FACTOR

WALL SECTION SYMBOLS LEGEND	
XXXX	DOOR DESIGNATION - REFERENCE DOOR/OPENING SCHEDULE.
ABCD	ROOM DESIGNATION - REFERENCE ROOM INDEX.
XX	CURTAIN WALL/STOREFRONT/WINDOW TYPE DESIGNATION
LEVEL ELEVATION	LEVEL LINE
XX XX XX XX	STRUCTURAL GRID - REFERENCE STRUCTURAL DRAWINGS.
XX XX XX XX	DIVISIONAL KEYNOTE DESIGNATION - REFERENCE KEYNOTE SCHEDULE AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.
XX XX XX XX	KEYNOTE DESIGNATION SECTION
XX XX XX XX	AREA OF DETAIL
XX XX XX XX	DET. NUMBER
XX XX XX XX	SECTION
XX XX XX XX	DET. NUMBER
XX XX XX XX	SECTION
XX XX XX XX	DET. NUMBER
XX XX XX XX	SECTION
XX XX XX XX	DET. NUMBER
#	KEYNOTE DESCRIPTION
03.15.21.A	VAPOR BARRIER
03.30.0.A	CONCRETE FOOTING - REFERENCE STRUCTURAL DRAWINGS.
03.30.0.C	CONCRETE SLAB - REFERENCE STRUCTURAL DRAWINGS.
04.05.19.A1	VEENEER ANCHOR TIES AT 16" OC VERTICALLY AND HORIZONTALLY
04.05.23.A	MORTAR DROPPING COLLECTION DEVICE
04.05.23.B1	CAVITY VENT/WEEP AT 24" OC
04.20.A	FACE BRICK VENEER
05.10.00.D	2X CONTINUOUS EAVE BOARD - REFERENCE STRUCTURAL DRAWINGS
05.10.00.E	3/8" FIRE-RETARDANT PLYWOOD
05.10.00.O	2X4 WOOD FRAMING AT 16" OC
05.10.00.P	2X6 WOOD FRAMING AT 16" OC
05.10.00.R	VERTICAL WOOD FURRING STRIPES
05.20.0.K	1 1/2" INSULATED SHEATHING PANEL
07.21.13.A	2" x 24" PERIMETER AND UNDERSLAB BOARD INSULATION
07.21.16.A1	THERMAL BATT INSULATION - FULL CAVITY THICKNESS
07.31.13.A	ASPHALT SHINGLE ROOFING
07.46.26.A1	3/8" LP SMARTSIDE BOARD SOFFIT, VENTED; PAINT PER FINISH SCHEDULE
07.46.26.A2	1 X 4 LP SMARTSIDE TRIM; PAINT PER FINISH SCHEDULE
07.46.26.A3	1 X 6 LP SMARTSIDE FASCIA; PAINT PER FINISH SCHEDULE
07.46.26.A4	LP SMARTSIDE SIDING - 7" EXPOSURE
07.46.26.A5	1 X 10 LP SMARTSIDE TRIM; PAINT PER FINISH SCHEDULE
07.63.00.F	APRON FLASHING - PROVIDED BY ROOFING MANUFACTURER
07.63.00.N	METAL EDGE DRIP EDGE FLASHING
07.71.00.G	STARTER STRIP WITH ADHESIVE BEAD INCORPORATED
07.71.23.A2	6" PREFINISHED METAL GUTTER WITH STRAP AND ANCHORAGES
09.21.16.A2	5/8" GYPSUM WALLBOARD
31.23.0.A	COMPACTED GRANULAR FILL



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TIPP CITY SENIORS NEW ADDITION

ISSUANCES/REVISIONS

CONSTRUCTION DOCUMENTS | 01/13/2006

PROJECT NUMBER:

DRAWN BY:

CHECKED BY:

25059.00

MLE

SMD

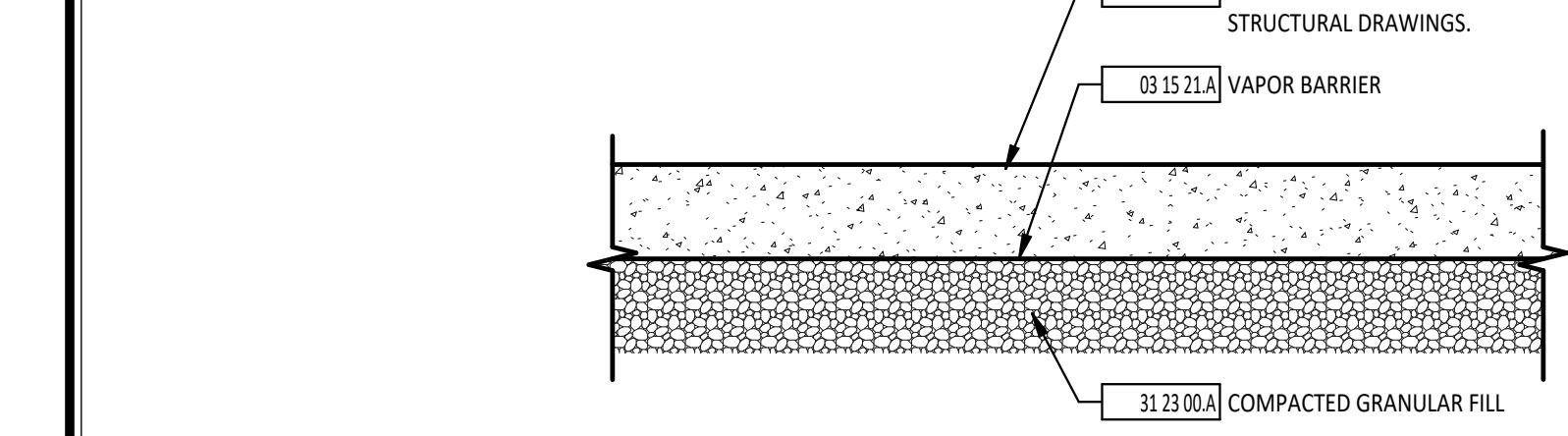
SHEET NUMBER:

A4.2

WALL SECTION DETAILS & WALL ASSEMBLIES

2 EXTERIOR WALL ASSEMBLY

A4.2 1 1/2" = 1'-0"



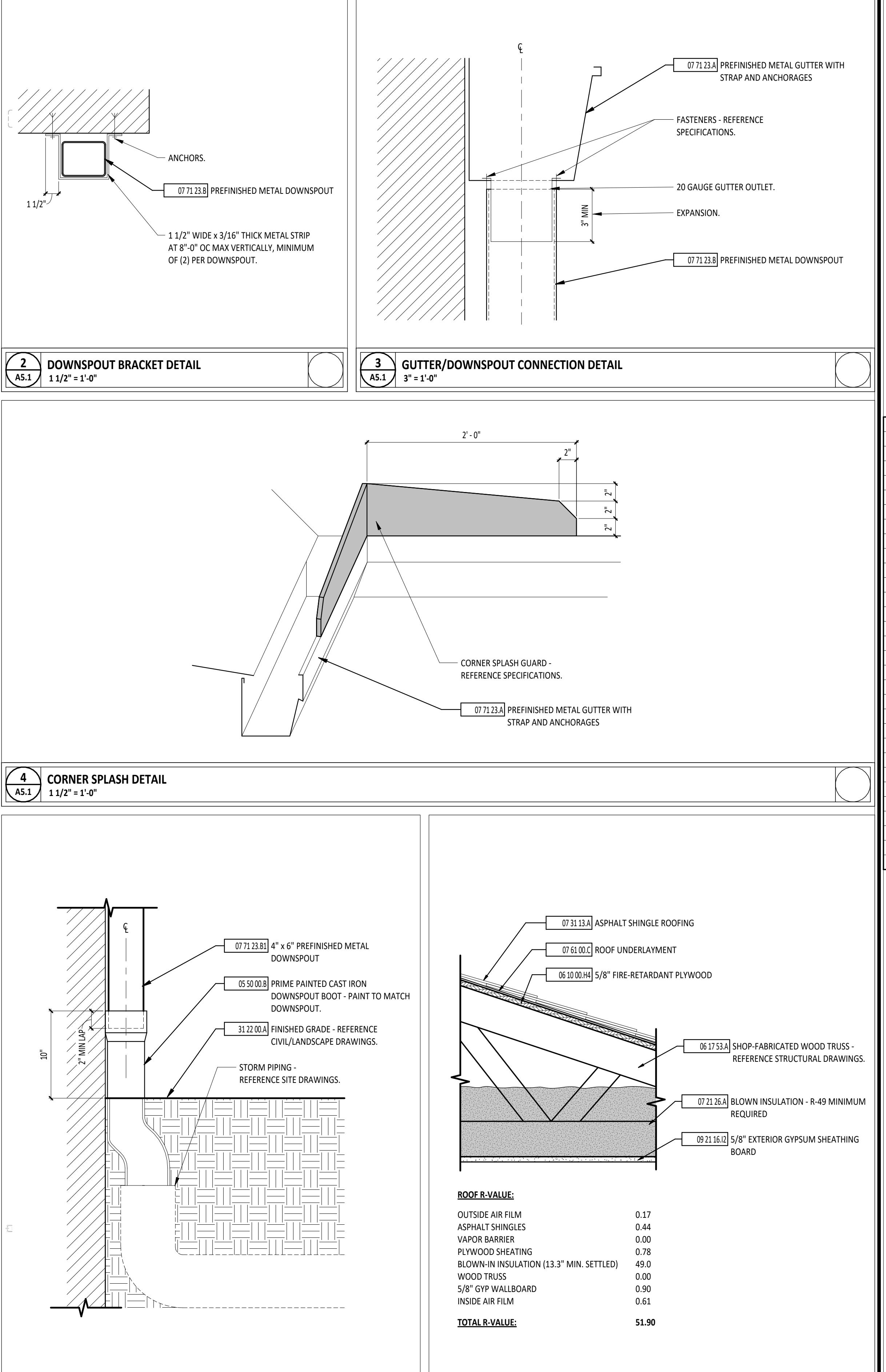
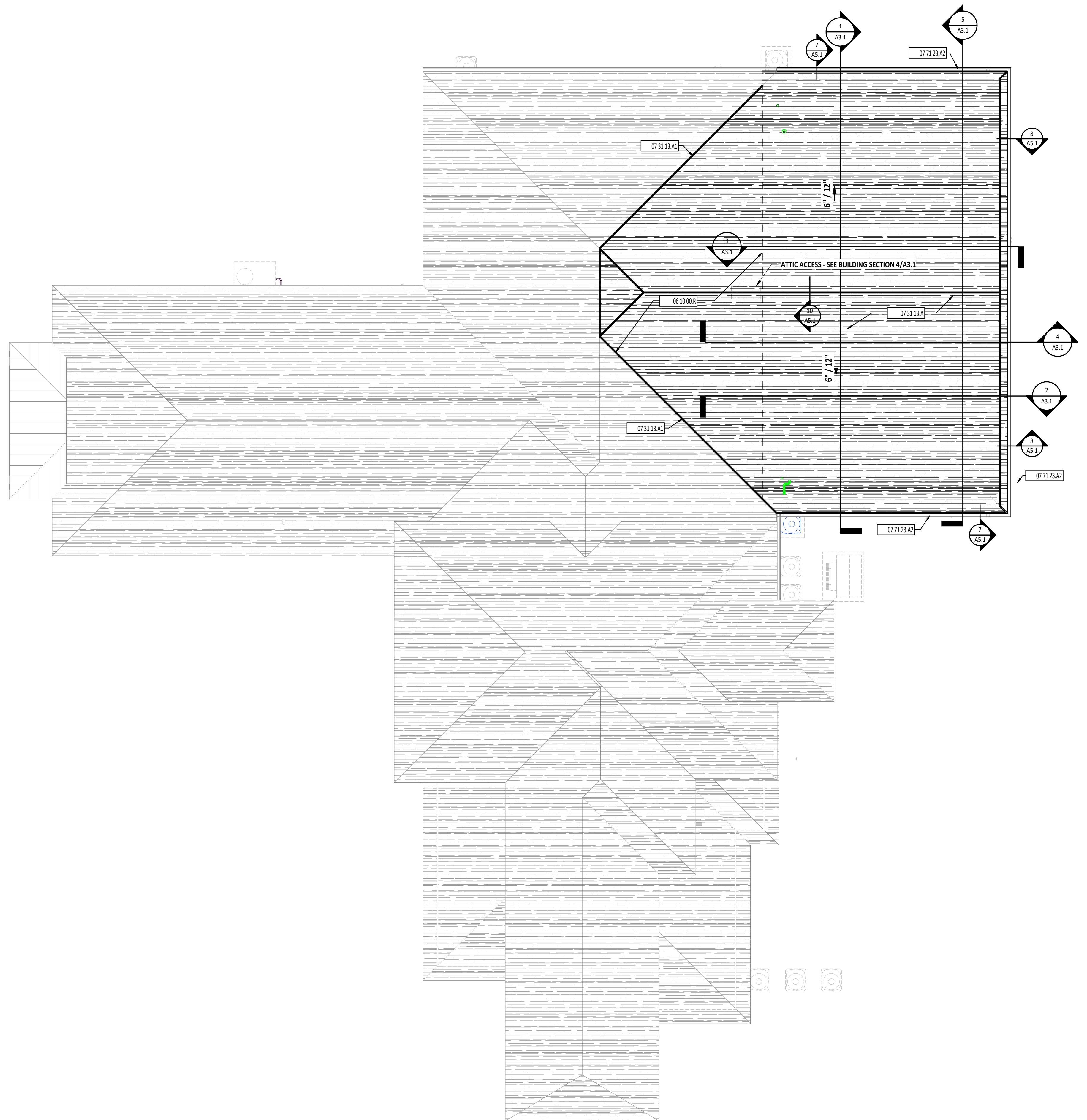
4 CONCRETE SLAB ASSEMBLY

A4.2 1 1/2" = 1'-0"

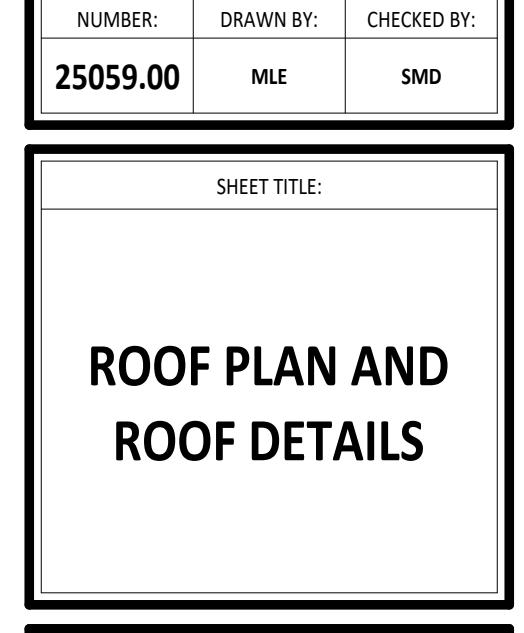
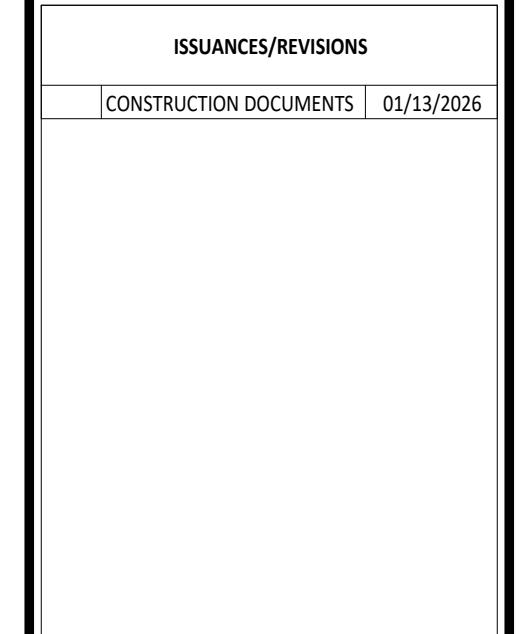


5 EAVE DETAIL WITH SOFFIT

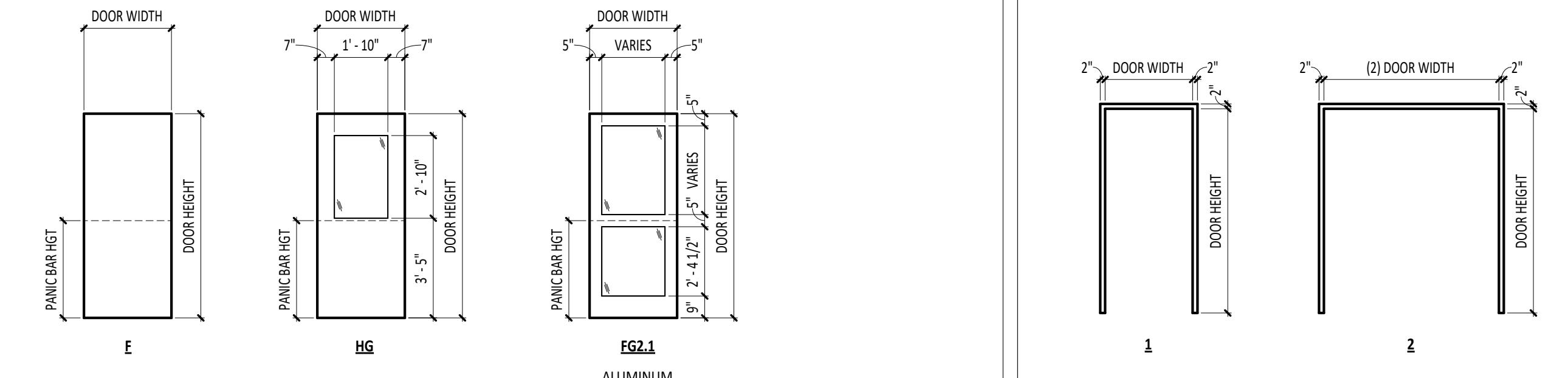
A4.2 1 1/2" = 1'-0"



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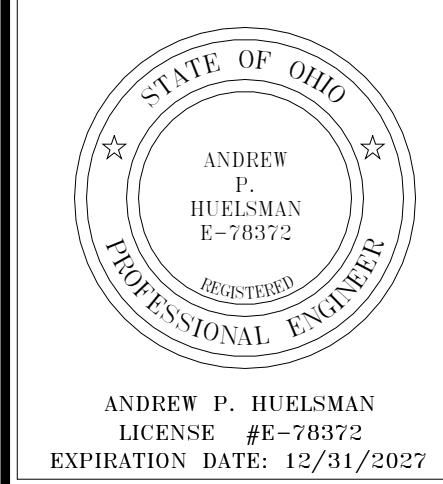


NUMBER	DOOR					FRAME					DETAIL NUMBER	HARDWARE SET	ROOM KEY SIDE	FUNCTION	LABEL (MIN)	NOTES	
	SIZE	THK	MATL	TYPE	GLASS	DEPTH	MATL	TYPE	GLASS	HEAD	JAMB	SILL					
	3'0" x 7'0"	1 3/4"	WD	HG	G-1	7 1/8"	HM	1	-	5/A6.1	9/A6.1	-	01	B118	Interior	-	1
A101a	3'0" x 7'2"	1 3/4"	AL	FG2.1	EG-1	6"	AL	SFE1	EG-1	13/A6.1	12/A6.1	11/A6.1	-	-	-	-	
A101b	3'6" x 7'0"	1 3/4"	WD	F	-	8 1/4"	HM	1	-	4/A6.1	8/A6.1	-	02	A101	Interior	-	
A102	3'6" x 7'0"	1 3/4"	WD	F	-	7 1/8"	HM	1	-	5/A6.1	9/A6.1	-	02	A118	Interior	-	
A103	3'0" x 7'0"	1 3/4"	WD	F	-	5 7/8"	HM	2	-	3/A6.1	7/A6.1	-	03	A101	Interior	-	
A104	(2) 3'0" x 7'0"	1 3/4"	WD	F	-	7 1/8"	HM	2	-	5/A6.1	9/A6.1	-	04	B122	Interior	-	
A106a	3'0" x 7'2"	1 3/4"	AL	FG2.1	EG-1	6"	AL	SFE1	EG-1	13/A6.1	12/A6.1	11/A6.1	-	-	Exterior	-	1
A106b	3'0" x 7'2"	1 3/4"	AL	FG2.1	EG-1	6"	AL	SFE1	EG-1	13/A6.1	12/A6.1	11/A6.1	-	-	Exterior	-	1
A107	3'0" x 7'0"	1 3/4"	WD	F	-	8 1/4"	HM	1	-	4/A6.1	8/A6.1	-	02	A106	Interior	-	
A108a	3'6" x 7'0"	1 3/4"	WD	F	-	8 1/4"	HM	1	-	4/A6.1	8/A6.1	-	02	A106	Interior	-	
A108b	3'6" x 7'0"	1 3/4"	WD	F	-	8 1/4"	HM	1	-	4/A6.1	8/A6.1	-	02	A106	Interior	-	



DOOR GENERAL NOTES		
A REFERENCE AG SHEETS FOR DOOR AND STOREFRONT DETAILS.		
B REFERENCE SPECIFICATION SECTION 08 71 00 FOR HARDWARE SETS.		
DOOR/OPENING SCHEDULE ABBREVIATIONS		
SYMBOL DESCRIPTION		
AL ALUMINUM		
F FLUSH		
FG FULL GLASS		
HG HALF GLASS		
HM HOLLOW METAL		
TG TEMPERED GLASS		
W WOOD		

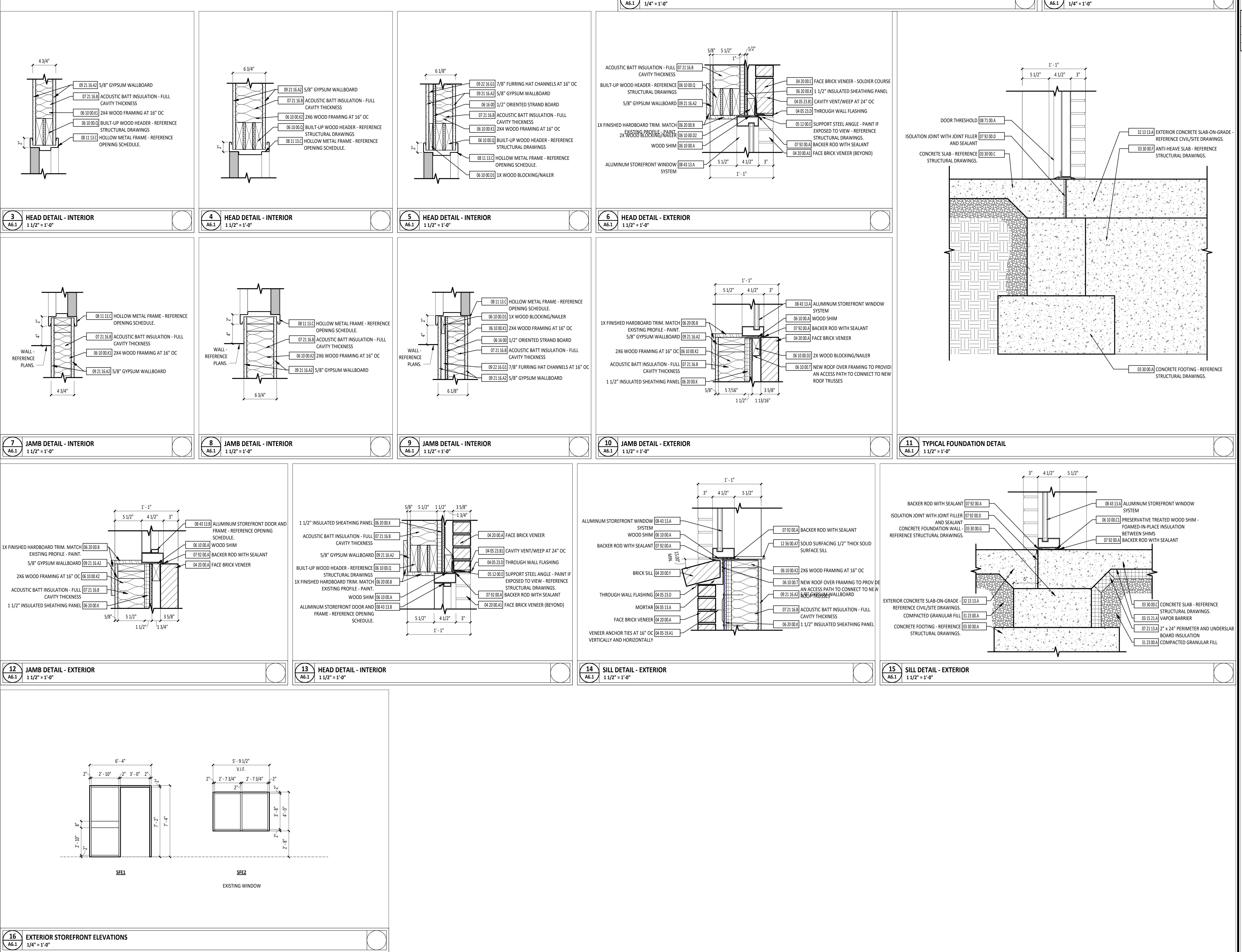
DOOR/OPENING SCHEDULE NOTES		
1. HARDWARE PROVIDED BY ALUMINUM STOREFRONT MANUFACTURER		



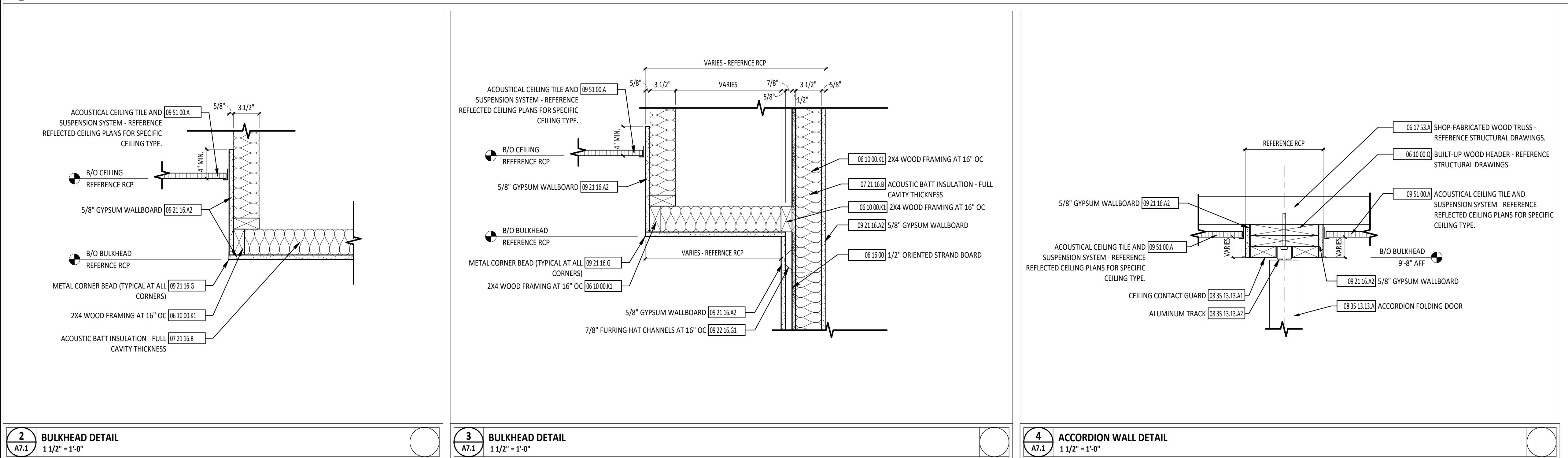
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TIPP CITY SENIORS NEW ADDITION

528 NORTH HUIT STREET, TIPP CITY, OHIO 45371



ISSUANCES/REVISIONS	CONSTRUCTION DOCUMENTS	01/13/2006
PROJECT NUMBER:	DRAWN BY:	CHECKED BY:
25059.00	MLE	SMD
SHEET NUMBER:		
SEE1		
SEE2		
EXISTING WINDOW		
16 EXTERIOR STOREFRONT ELEVATIONS		
A6.1		

1 FIRST FLOOR REFLECTED CEILING PLAN - UNIT A
A7.1 1/4" = 1'-0"

FIRST FLOOR PLAN ROOM INDEX - UNIT A		
ROOM NUMBER	ROOM NAME	AREA
A101	FLEX SPACE	680 SF
A102	TOOL STORAGE	39 SF
A103	MECHANICAL	24 SF
A104	TABLE & CHAIR STORAGE	116 SF
A106	FLEX SPACE	750 SF
A107	MECHANICAL	39 SF
A108	STORAGE	117 SF

REFLECTED CEILING PLAN GENERAL NOTES

B USE CEILING TYPE A UNLESS NOTED OTHERWISE.
C REFERENCE ELECTRICAL, MECHANICAL AND TECHNOLOGY DRAWINGS FOR MORE INFORMATION ON ALL CEILING MOUNTED DEVICES.
A REFER TO FINISH MATERIAL SCHEDULE ON SHEET A9.0 FOR MANUFACTURER INFORMATION AND MATERIAL SELECTION.

REFLECTED CEILING PLAN SYMBOLS LEGEND

	ROOM DESIGNATION - REFERENCE ROOM INDEX
	LEVEL ELEVATION
	STRUCTURAL GRID - REFERENCE STRUCTURAL DRAWINGS
	DIVISIONAL KEYNOTE DESIGNATION - REFERENCE KEYNOTE SCHEDULE AND SPECIFICATIONS FOR ADDITIONAL INFORMATION
	KEYNOTE DESIGNATION - SPECIFICATION SECTION
	CEILING TYPE AND HEIGHT DESIGNATION
	AREA OF DETAIL
	CALLOUT
	SECTION
	SECTION

REFLECTED CEILING PLAN MATERIAL PATTERNS LEGEND



REFERENCE ELECTRICAL/MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION

	SOUND SYSTEM CEILING SPEAKER
	FIRE ALARM SMOKE OR HEAT DETECTOR
	LIGHT FIXTURE
	LIGHT FIXTURE
	LIGHT FIXTURE
	CEILING MOUNTED EXIT SIGN
	OCCUPANCY SENSOR
	AIR TERMINAL

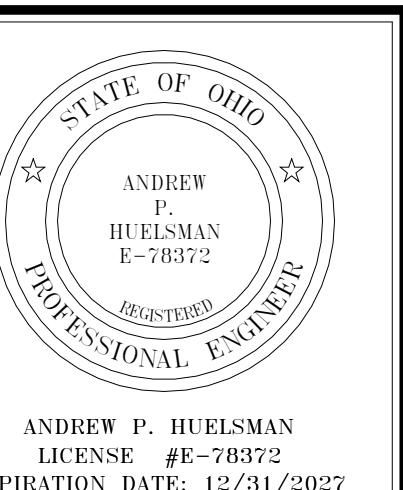
CEILING SCHEDULE

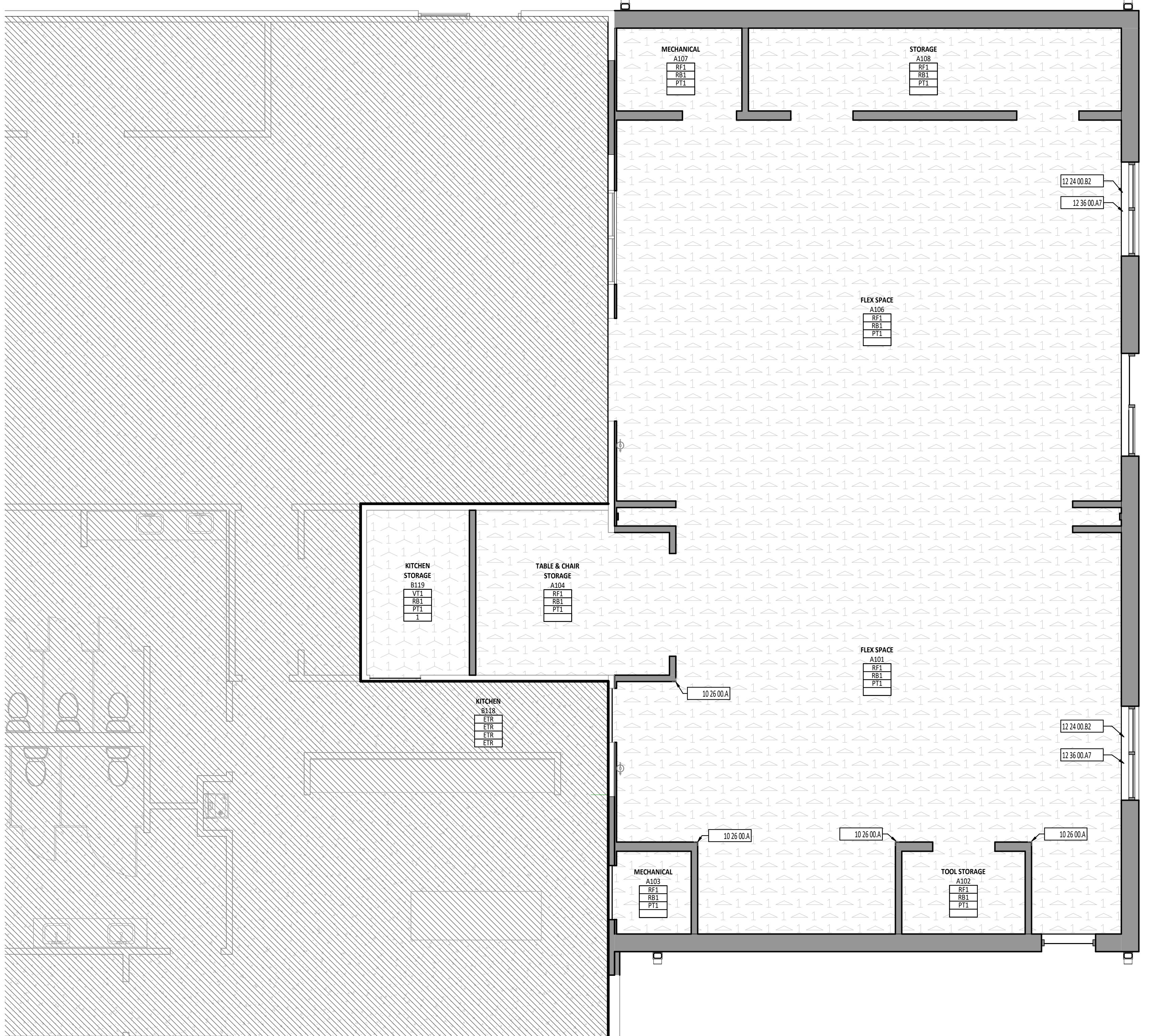
MARK	DESCRIPTION	NOTES
A	2' x 2' SUSPENDED ACOUSTICAL PANEL CEILING	REFER TO SPEC SECTION 09 5100
B	5/8" GYPSUM CEILING BOARD ON SUSPENDED CEILING SYSTEM	REFER TO SPEC SECTION 09 2216

NOTES:
1. REFER TO SPEC SECTION 09 21 16.
2. REFER TO SPEC SECTION 09 25 13.
3. REFER TO SPEC SECTION 09 51 00.
4. REFER TO SPEC SECTION 09 54 23.
5. REFER TO SPEC SECTION 09 84 00.
6. REFER TO SPEC SECTION 09 84 30.

#	KEYNOTE DESCRIPTION
06 10 00.K1	2X4 WOOD FRAMING AT 16" OC
06 10 00.Q	BUILT-UP WOOD HEADER - REFERENCE STRUCTURAL DRAWINGS
06 16 00	1/2" ORIENTED STRAND BOARD
06 17 53.A	SHOP-FABRICATED WOOD TRUSS - REFERENCE STRUCTURAL DRAWINGS
07 21 16.8	ACOUSTIC BATT INSULATION - FULL CAVITY THICKNESS
07 46 26.A1	3/8" SMARTSIDE BOARD SOFFIT, VENTED; PAINT PER FINISH SCHEDULE
07 71 23.A2	6" PREFINISHED METAL GUTTER WITH STRAP AND ANCHORAGES
08 35 13.13.A	ACCORDION FOLDING DOOR
08 35 13.13.A1	CEILING CONTACT GUARD
08 35 13.13.A2	ALUMINUM TRACK
09 21 16.G	5/8" GYPSUM WALLBOARD
09 22 16.G1	7/8" FURRING HAT CHANNELS AT 16" OC
09 51 00.A	ACOUSTICAL CEILING TILE AND SUSPENSION SYSTEM - REFERENCE REFLECTED CEILING PLANS FOR SPECIFIC CEILING TYPE.

TIPP CITY SENIORS NEW ADDITION

ISSUANCES/REVISONS
CONSTRUCTION DOCUMENTS | 01/13/2006PROJECT NUMBER: 25059.00
DRAWN BY: MLE
CHECKED BY: SMDSHEET TITLE: FIRST FLOOR REFLECTED CEILING PLAN - UNIT A
SHEET NUMBER: A7.1KEY PLAN
PINNED ON: 1/13/2008 11:10:04 AMGARMANN MILLER
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FLOOR FINISH MATERIAL LEGEND		
RF1	RESILIENT FLOORING 1	
VT1	VINYL TILE 1	
	NO INTERIORS SCOPE OF WORK	

FIRST FLOOR PLAN ROOM INDEX - UNIT A		
ROOM NUMBER	ROOM NAME	AREA
A101	FLEX SPACE	680 SF
A102	TOOL STORAGE	39 SF
A103	MECHANICAL	24 SF
A104	TABLE & CHAIR STORAGE	116 SF
A106	FLEX SPACE	750 SF
A107	MECHANICAL	39 SF
A108	STORAGE	117 SF

TYPICAL FINISHES

* UNLESS NOTED OTHERWISE, THESE FINISH SELECTIONS SHALL BE USED THROUGHOUT THE PROJECT. CONTRACTOR SHOULD BRING ANY DISCREPANCIES TO THE ARCHITECT'S ATTENTION IMMEDIATELY.

GW8 CEILINGS	PT3
BULKHEADS	PT1
HOLLOW METAL DOOR FRAMES	PT2
HOLLOW METAL DOORS	PT2
INTERIOR WOOD DOORS	WD1
SWITCH PLATES AND OUTLET COVERS	WHITE

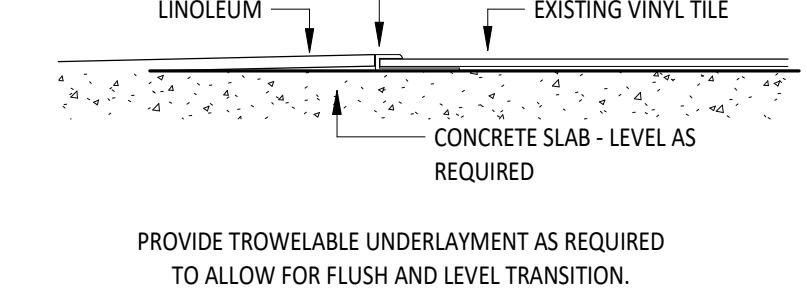
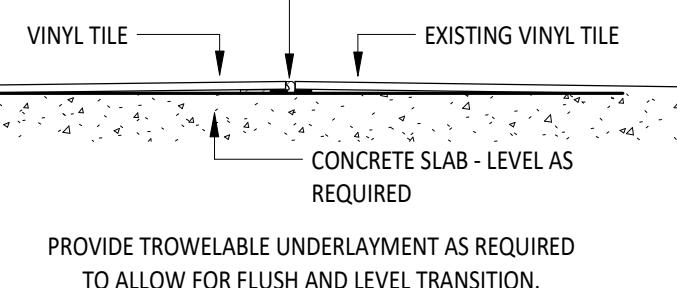
FLOOR FINISHES GENERAL NOTES

- A FLOORING TRANSITIONS AND SEAMS AT DOOR SHALL OCCUR DIRECTLY UNDER THE CENTERLINE OF CLOSER DOOR UNLESS NOTED OTHERWISE.
- B FLOORING TRANSITIONS ARE TO BE EASED TO ACHIEVE A SMOOTH AND UNIFORM TRANSITION.
- C TRANSITION STRIPS ARE REQUIRED IN ALL INSTANCES WHERE A FLOOR MATERIAL TRANSITION OCCURS.
- D LINOLEUM FLOOR (RF1) FINISH TO BE INSTALLED IN THE SAME DIRECTION, TO MATCH EXISTING, VERIFY IN FIELD.
- E REFERENCED THE FINISH MATERIAL SCHEDULE FOR MANUFACTURERS, TYPES, AND COLOR SELECTIONS.
- F ALL BASE MATERIALS SHALL BE INSTALLED TIGHT TO FLOORING SURFACE.
- G REFERENCE FINISH FLOOR MATERIAL LEGEND FOR SPECIFIC FLOORING MATERIAL AND COLOR.
- H RELOCATE EXISTING ROLLER SHADES

#	KEYNOTE DESCRIPTION
10 26 00.A	CORNER GUARD, CG1
12 24 00.B2	RELOCATED EXISTING ROLLER SHADES
12 36 00.A7	SOLID SURFACING 1/2" THICK SOLID SURFACE SILL

1 FIRST FLOOR FINISH PLAN - UNIT A

AB.1 1/4" = 1'-0"



2 FLOOR TRANSITION - RESILIENT FLOORING TO RESILIENT FLOORING

AB.1 6" = 1'-0"

3 FLOOR TRANSITION - RESILIENT FLOORING TO EXISTING VINYL TILE FLOORING

AB.1 6" = 1'-0"

FINISH MATERIAL SCHEDULE						
NAME	MANUFACTURER	STYLE	NUMBER	COLOR	SIZE	COMMENTS
08 14 00 WOOD DOORS	WD1	..	..	..	..	MATCH EXISTING - VERIFY IN FIELD
09 51 00 ACOUSTICAL CEILINGS - SUSPENSION SYSTEM	..	..	..	..	..
TYPE A	ARMSTRONG	PRELUDE XL	..	WHITE	15/16" WIDE FACE	
09 51 00 ACOUSTICAL CEILINGS - TILE	TYPE A	ARMSTRONG	SCHOOL ZONE FINE FISSURED	1713	WHITE	24"x24", 3/4" THICKNESS
						SQUARE EDGE, 81% LIGHT REFLECTANCE, .70 MINIMUM NRC, SAF RESISTANT, ANTI-MICROBIAL, USE WITH SUSPENSION SYSTEM TYPE A.
09 65 00 RESILIENT FLOORING - LINOLEUM SHEET	RF1	FORBO	MARMOLEUM, VIVACE	3420	SURPRISING STORM	3 MM
						ROLLS. FLOORING TO BE INSTALLED IN THE SAME DIRECTION AS EXISTING FLOORING. VERIFY IN FIELD.
09 65 00 RESILIENT FLOORING - FLOOR TRANSITIONS	FLT1	SCHLUTER	SCHIENE	E 30	STAINLESS STEEL	3 MM
	FLT2	POWERHOLD	SQUARE CAPS	LVT 925	TBD	2.5 MM
09 65 00 RESILIENT FLOORING - VINYL TILE	VT1	..	..	..	..	..
						MATCH EXISTING TILE FLOORING ADJACENT TO KITCHEN AREA. VERIFY IN FIELD. IF EXISTING PRODUCT CANNOT BE DETERMINED OR UNAVAILABLE, PROVIDE FORBO: MARMOLEUM MODULAR NEUTRAL, PLUTO
09 65 13 RESILIENT BASE & ACCESSORIES	R81	ROPPE	TRADITIONAL RUBBER BASE	129	DOLPHIN	4" COVE TOE
09 91 23 PAINTING - PAINT	PT1	SHERWIN-WILLIAMS	..	SW7029	AGREEABLE GRAY	..
	PT2	SHERWIN-WILLIAMS	..	SW7046	ANONYMOUS	..
	PT3	SHERWIN-WILLIAMS	..	SW7007	CEILING BRIGHT WHITE	..
						DOOR FRAME COLOR
						FOR CEILING AND BULKHEAD USE ONLY
10 26 23 PROTECTIVE WALL COVERING - CORNER GUARDS	CG1	INPRO	160 HIGH IMPACT CORNER GUARD	0119	PEPPERMINT	2" WINGS, 8' TALL
12 24 00 WINDOW SHADES- ROLLER SHADE	RS1	..	..	..	..	RELOCATE AND REUSE EXISTING ROLLER SHADES
12 36 00 SOLID SURFACE	SSM1	CORIAN	SOLID SURFACE	..	SILVER BIRCH	1/2" THICK
						USED ON WINDOW SILLS

FINISH TAG LEGEND

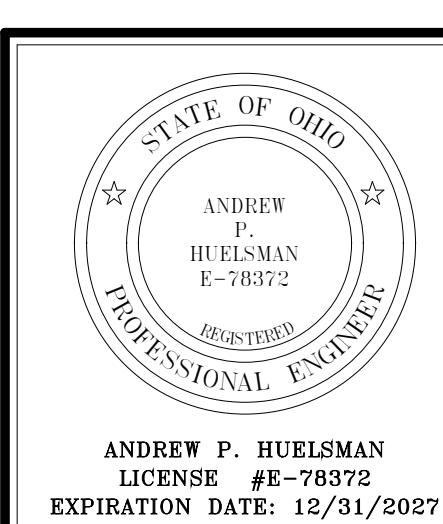
A1XX	ROOM NUMBER
FLOOR FINISH	RF1
BASE FINISH	R81
WALL FINISH	PT1
FINISH REMARK*	2

*REMARKS NUMBERS COORDINATE WITH "INTERIOR FINISH REMARKS" NOTES LEGEND ABOVE
MATERIALS NOTED IN FINISH TAG SHOULD BE CONSIDERED THE OVERALL FINISHES IN THE ROOM MARKED UNLESS NOTED OTHERWISE WITH KEYNOTES ON FINISH PLAN OR INTERIOR ELEVATIONS.

1) REMOVE EXISTING CARPET IN THIS ROOM, REFERENCE FINISH MATERIAL SCHEDULE FOR UPDATED FLOORING TYPE.

FIRST FLOOR EQUIPMENT PLAN - UNIT A

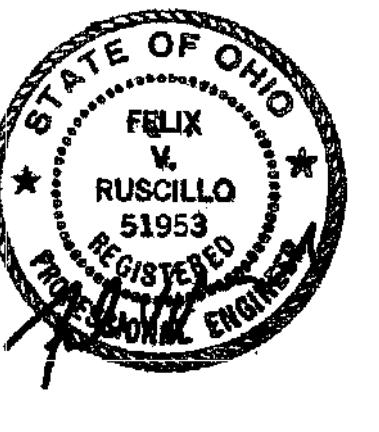
A8.1



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TIPP CITY SENIORS NEW ADDITION

528 NORTH HATT STREET, TIPP CITY, OH 45371



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APP CITY SENIORS NEW ADDITION

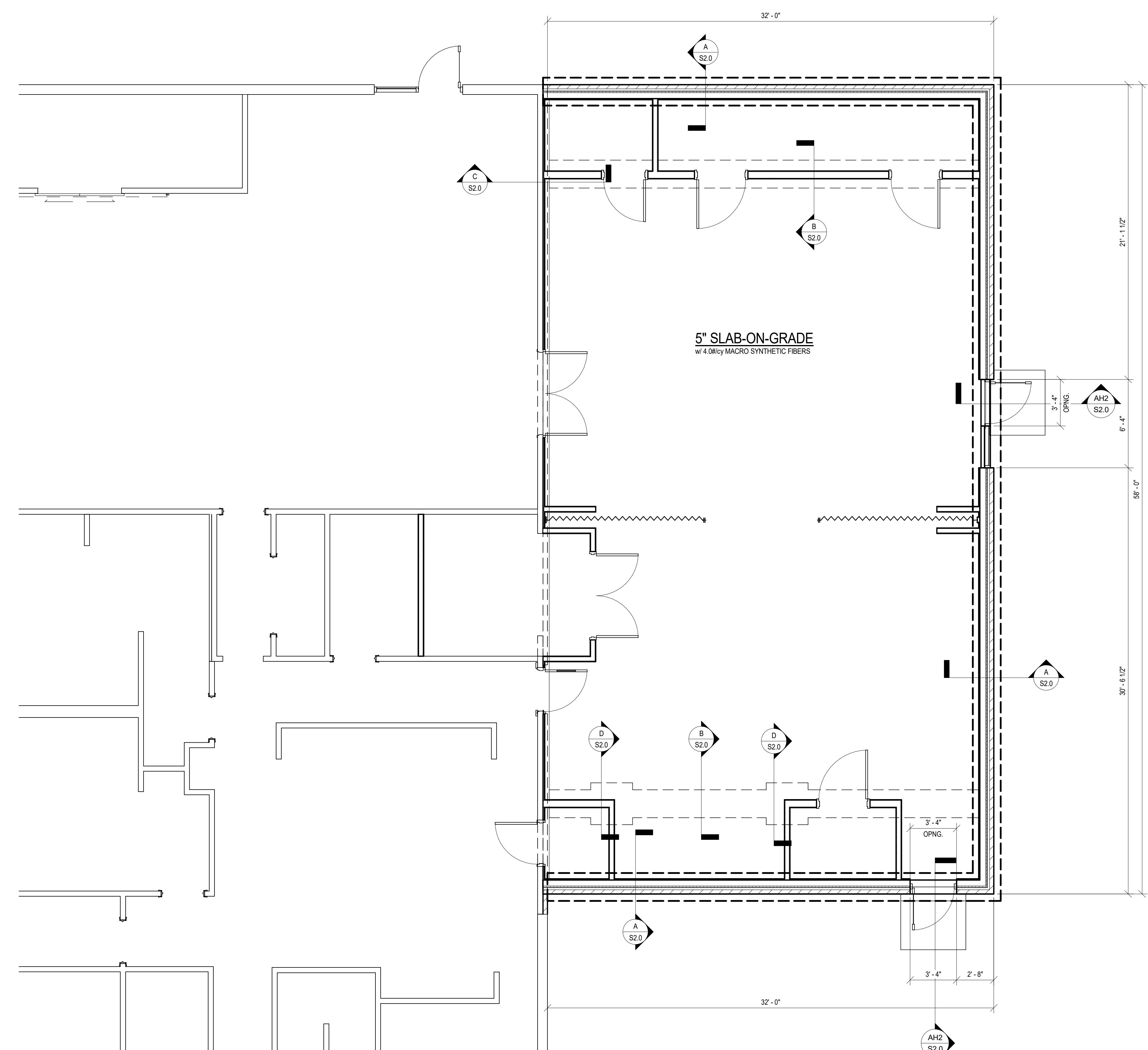
INDICE

ISSUANCES/REVISIONS

ECT BER:	DRAWN BY:	CHECKED BY:
9.00	TE	PR

SHEET TITLE:

SHEET NUMBER:
S1.0



A graphic element consisting of a black circle containing a white arrow pointing upwards and to the right. To the right of the circle, the word "NORTH" is written in a bold, black, sans-serif font.

SLAB REINFORCING DETAILS AT REENTRANT CORNER

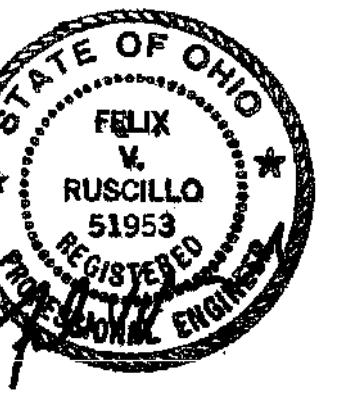
SLA
NTS

Architectural floor plan showing a room with a height limit of 12' - 0" MAX. The height is indicated by a vertical dimension line on the left side of the room, and a horizontal dimension line at the top of the room.

NOTES:

1. SAW CUT CONTROL JOINTS AT 12'-0"o.c. MAX. MAINTAIN LENGTH TO WIDTH RATIO OF 1:1; DO NOT EXCEED MORE THAN 1.5:1.
2. LOCATE AT WALL RE-ENTRANT CORNERS AND ON COLUMNS WHERE POSSIBLE.
3. CONSTRUCTION JOINTS CAN BE LOCATED AT CONTRACTORS OPTION.
4. PROVIDE A JOINTING PLAN FOR ARCHITECTURAL REVIEW AREAS WHERE CONCRETE WILL BE EXPOSED TO VIEW.

TYPICAL SLAB-ON-GRADE CONTROL JOINT



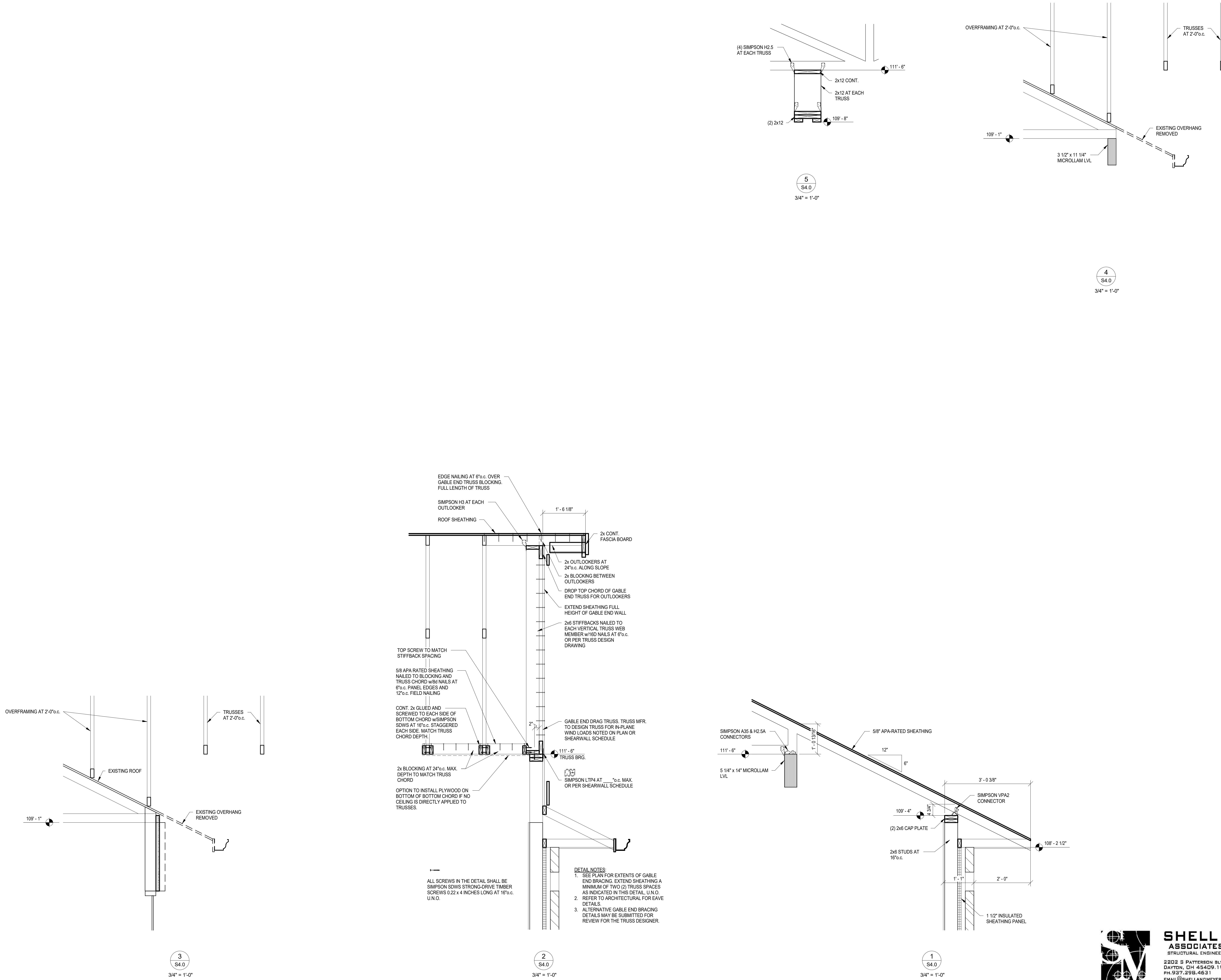
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TIPP CITY SENIORS NEW ADDITION

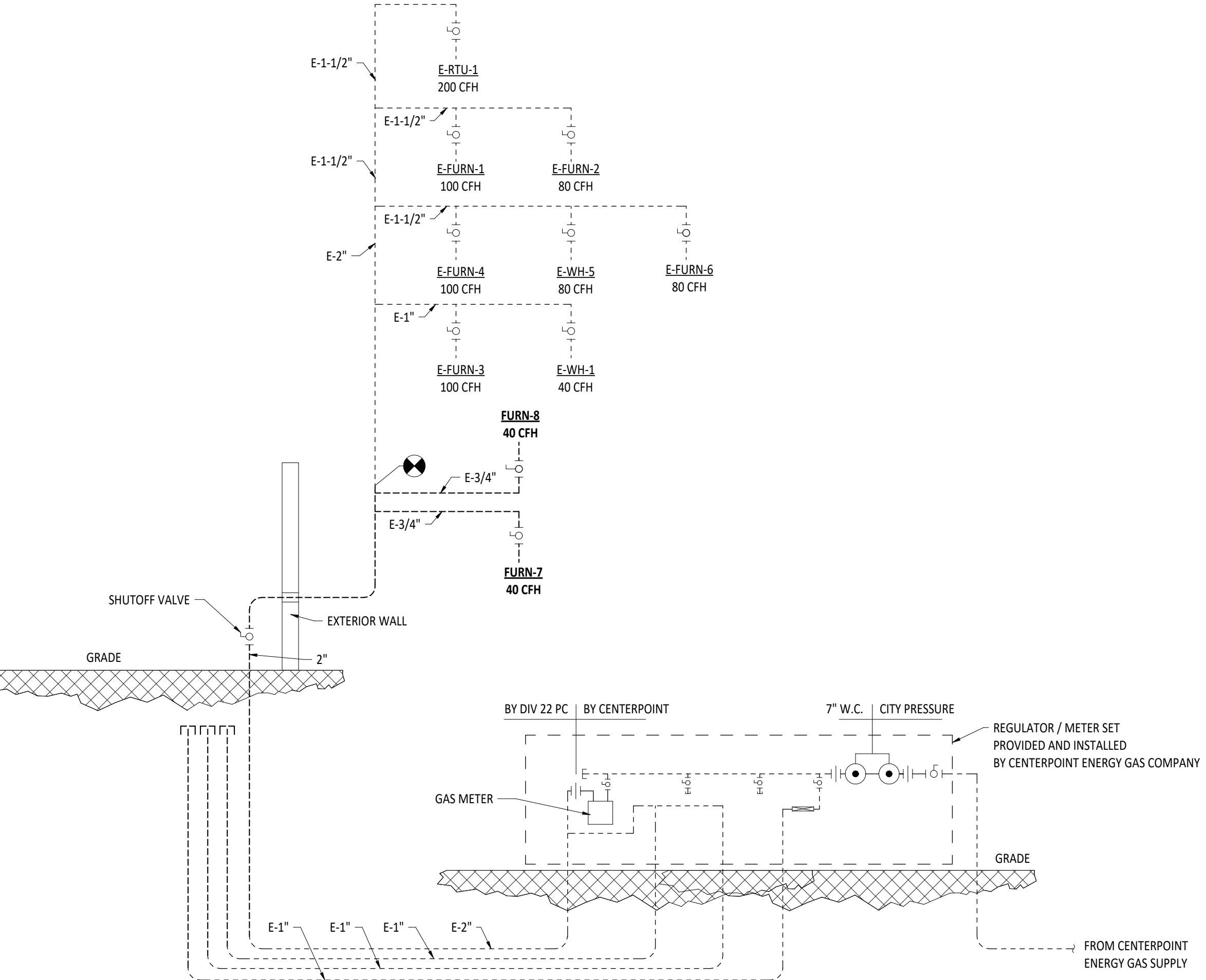
528 NORTH HARRIET STREET, TIPP CITY, OH 45371



1 FIRST FLOOR PLUMBING DEMOLITION PLAN - UNIT A

P2.1 1/8" = 1'-0"

N



3 NATURAL GAS PIPING DETAIL

P2.1 NTS

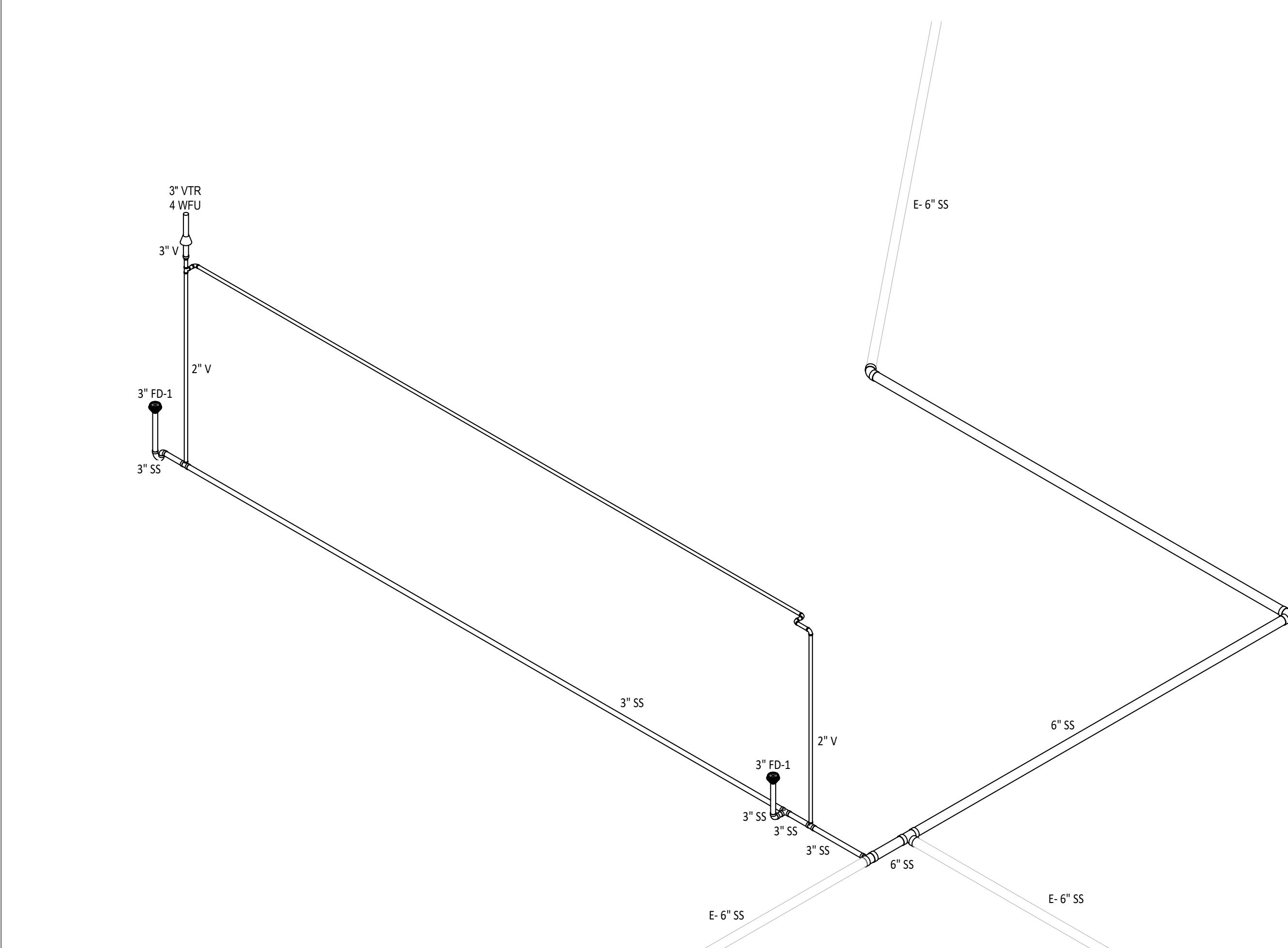
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2 FIRST FLOOR PLUMBING PLAN - UNIT A

P2.1 1/8" = 1'-0"

N



4 WASTE AND VENT RISER DIAGRAM

P2.1 NTS

N

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FIRST FLOOR PLAN ROOM INDEX - UNIT A		
ROOM NUMBER	ROOM NAME	AREA
A101	FLEX SPACE	680 SF
A102	TOOL STORAGE	39 SF
A103	MECHANICAL	24 SF
A104	TABLE & CHAIR STORAGE	116 SF
A106	FLEX SPACE	750 SF
A107	MECHANICAL	39 SF
A108	STORAGE	117 SF

PLUMBING GENERAL NOTES

- A FIELD VERIFY INVERT ELEVATIONS ON UNDERGROUND SANITARY AND PIPING. COORDINATE DEPTHS WITH THE BUILDING CONSTRUCTION AND ALL OTHER UTILITIES.
- B ALL FINAL GAS CONNECTIONS SHALL BE MADE WITH FLEXIBLE STAINLESS STEEL PIPE OR RIDGED PIPE WITH UNION, SHUT-OFF VALVE, AND DIRT LEG. REFERENCE DETAIL FOR ADDITIONAL INFORMATION.
- C PITCH UNDERFLOOR SANITARY WASTE PIPING 3" AND GREATER AT 1/8" PER FOOT, UNLESS NOTED OTHERWISE. PITCH ALL OTHER WASTE PIPING AT 1/4" PER FOOT UNLESS OTHERWISE NOTED.
- D FIELD VERIFY LOCATION AND INVERTS OF SITE UTILITIES PRIOR TO INSTALLATION. COORDINATE WITH G.C. ON CUTTING, EXCAVATION, BACKFILL AND PATCHING OF CONCRETE REQUIRED FOR THE DEMO OF OLD AND INSTALLATION OF NEW UNDERGROUND UTILITIES.
- E ALL DOMESTIC WATER PIPING SHALL BE Routed ABOVE CEILING BELOW THE STAPLED INSULATION UNLESS OTHERWISE INDICATED. REPAIR ANY INSULATION DAMAGED DURING CONSTRUCTION.
- F WHERE FLOOR DRAINS OCCUR WITHIN THE LIMITS OF CONSTRUCTION, PREVENT CONSTRUCTION DEBRIS FROM ENTERING DRAIN BODY BY SEALING DRAIN OPENING PRIOR TO START OF WORK.
- G PROVIDE SLEEVES AND/OR OPENINGS TO RUN PIPES THROUGH FOUNDATIONS, FLOORS, WALLS, AND ROOF.
- H FIELD VERIFY ALL NEW WATER, WASTE, AND VENT PIPING CONNECTIONS AND PROVIDE NEW CONNECTIONS AS REQUIRED FOR PROPERLY OPERATING SYSTEMS.
- J WASTE AND VENT PIPING BELOW FLOOR AND THROUGH FLOOR SHALL BE 2" MINIMUM.

#	KEYNOTE DESCRIPTION
1	REMOVE EXISTING WALL HYDRANT AND DISPOSE OF OFF SITE.
2	DISCONNECT 3/4" WATER LINE ABOVE CEILING AND CAP FOR EXTENSION INTO THE ADDITION. REMOVE PIPE IN WALL.
3	CUT AND CAP ONE 2" AND THREE 1" GAS PIPES BELOW GROUND 4' BEYOND THE EAST EDGE OF THE NEW ADDITION. REMOVE THE UNDERGROUND PIPES TO THE EXISTING BUILDING. FIELD VERIFY SIZE AND LOCATION OF THESE PIPES.
4	REMOVE THREE 1" PIPES IN THE WALL FROM THE GROUND TO THE CEILING AS PRACTICAL.
5	REMOVE 2" GAS PIPE IN THE WALL FROM THE GROUND TO THE CEILING. CAP THE PIPE ABOVE THE CEILING FOR EXTENSION THROUGH THE ADDITION.
6	REMOVE 6" SANITARY TEE AND PIPE TO 5' BEYOND NEW ADDITION.
7	EXTEND 3/4" WATER LINE ABOVE CEILING TO EAST WALL AND INSIDE WALL TO HYD-1 AS SHOWN.
8	EXTEND 2" GAS PIPING ABOVE CEILING TO EAST WALL, INSIDE WALL TO 6" ABOVE FLOOR, OUT WALL, DROP BELOW GRADE, AND CONNECT TO EXISTING UNDERGROUND GAS PIPE AS SHOWN. COORDINATE UNDERGROUND PIPING WITH GENERAL CONTRACTOR TO AVOID THE SIDEWALK. FIELD VERIFY SIZE, DEPTH, AND LOCATION OF THIS PIPE.

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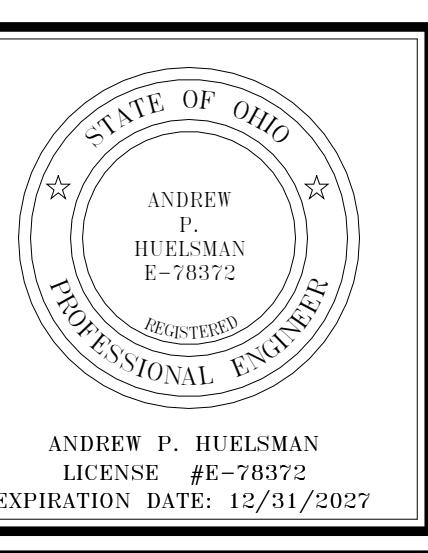
TIPP SENIORS NEW ADDITION

ISSUANCES/REVISIONS		
CONSTRUCTION DOCUMENTS	01/13/2008	

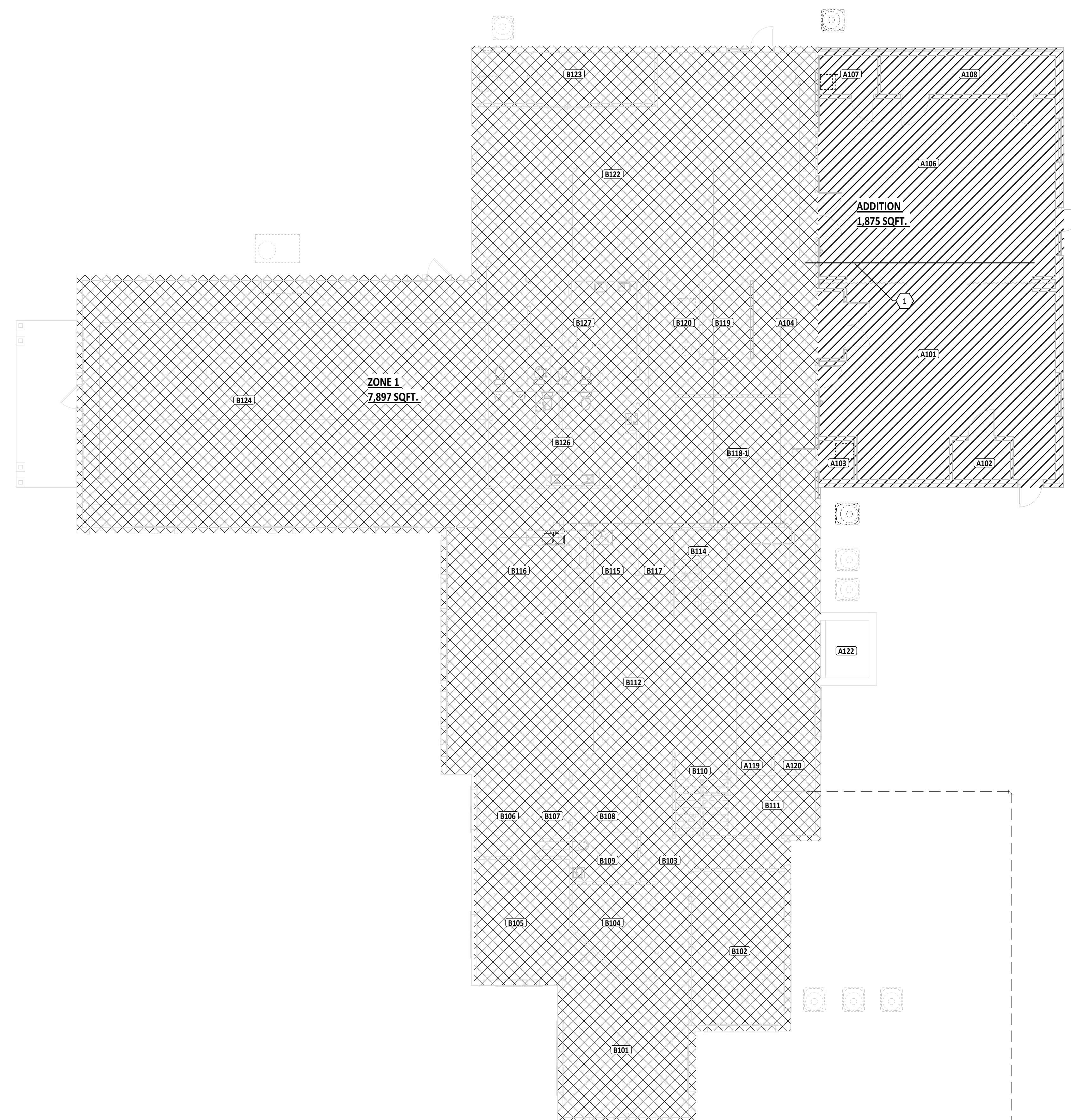
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SHEET TITLE:		
FIRST FLOOR PLUMBING PLAN - UNIT A		

SHEET NUMBER:
P2.1



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NOTE:
ABBREVIATIONS USED ON THE CONTRACT DOCUMENTS, INCLUDE BUT ARE NOT LIMITED TO THOSE LISTED BELOW.

- CHARACTERS
& Ø DIAMETER/ROUND

A AIR

AB ABOVE BASE

ABV ABOVE

AC AIR CONDITIONING

ACOUS ACOUSTICAL

AD AREA DRAIN

ADD ADDENDUM

ADDL ADDITIONAL

AFF ABOVE FINISHED FLOOR

AFUE ANNUAL FUEL UTILIZATION EFFICIENCY

AG ABOVE GROUND

ALT ALTERNATE

AP ACCESS PANEL

APPROX APPROXIMATE

ARCH ARCHITECT/ARCHITECTURAL

AUTO AUTOMATIC

AV ACID RESISTANT VENT

AW ACID RESISTANT WASTE

B BFF BELOW FINISHED FLOOR

BLDG BUILDING

BLW BELOW

BO BY OTHER

BOT BOTTOM

BSMT BASEMENT

BTUH BRITISH THERMAL UNITS

BTWN BRITISH THERMAL UNITS PER HOUR

BTWN BETWEEN

C CAPACITY

CB CATCH BASIN

CCW COUNTER CLOCKWISE

CFCV CONSTANT FLOW CONTROL VALVE

CFM CUBIC FEET PER MINUTE

CHW CIRCULATING HOT WATER

CI CAST IRON

CLG CEILING/COOLING

CO CLEAN OUT

COL COLUMN

COMB COMBINATION

CONC CONCRETE

COND CONDENSATE

CONF CONFERENCE

CONN CONNECT

CONST CONSTRUCTION

CONT CONTINUE/CONTINUATION

CONTR CONTRACT/CONTRACTOR

COORD COORDINATE

CTR CENTER

ELEV ELEVATION

EP EXPLOSION PROOF

EQ EQUAL

EQUIP EQUIPMENT

EWC ELECTRIC WATER COOLER

EWT ENTERING WATER TEMPERATURE

EXIST EXISTING

EXP EXPANSION JOINT

EXT EXTERIOR

F DEGREES FAHRENHEIT

FCO FLOOR CLEAN OUT

FD FLOOR DRAIN/FIRE DAMPER

FDV FIRE DEPARTMENT VALVE

FHC FIRE HOSE CABINET

FL FLOOR

FLEX FLEXIBLE

FLG FLANGE

FO FUEL OIL

FOR FUEL OIL RETURN

FOS FUEL OIL SUPPLY

FOV FUEL OIL VALVE

FPM FUEL PER MINUTE

FRP FIBERGLASS REINFORCED PIPE

FSL FULL SIZE/FLOOR SINK

FT FOOT/FEET

FTG FOOTING

FTR FINE TUBE RADIATION

FUT FUTURE

GW GAGE/GAUGE

GAL GALLON

GALV GALVANIZED

GC GENERAL CONTRACTOR

GEN GENERAL

GPM GALLONS PER MINUTE

GR GRADE

GW GREASE WASTE

H BFF BELOW FINISHED FLOOR

BLDG BUILDING

BLW BELOW

BO BY OTHER

BOT BOTTOM

BSMT BASEMENT

BTUH BRITISH THERMAL UNITS

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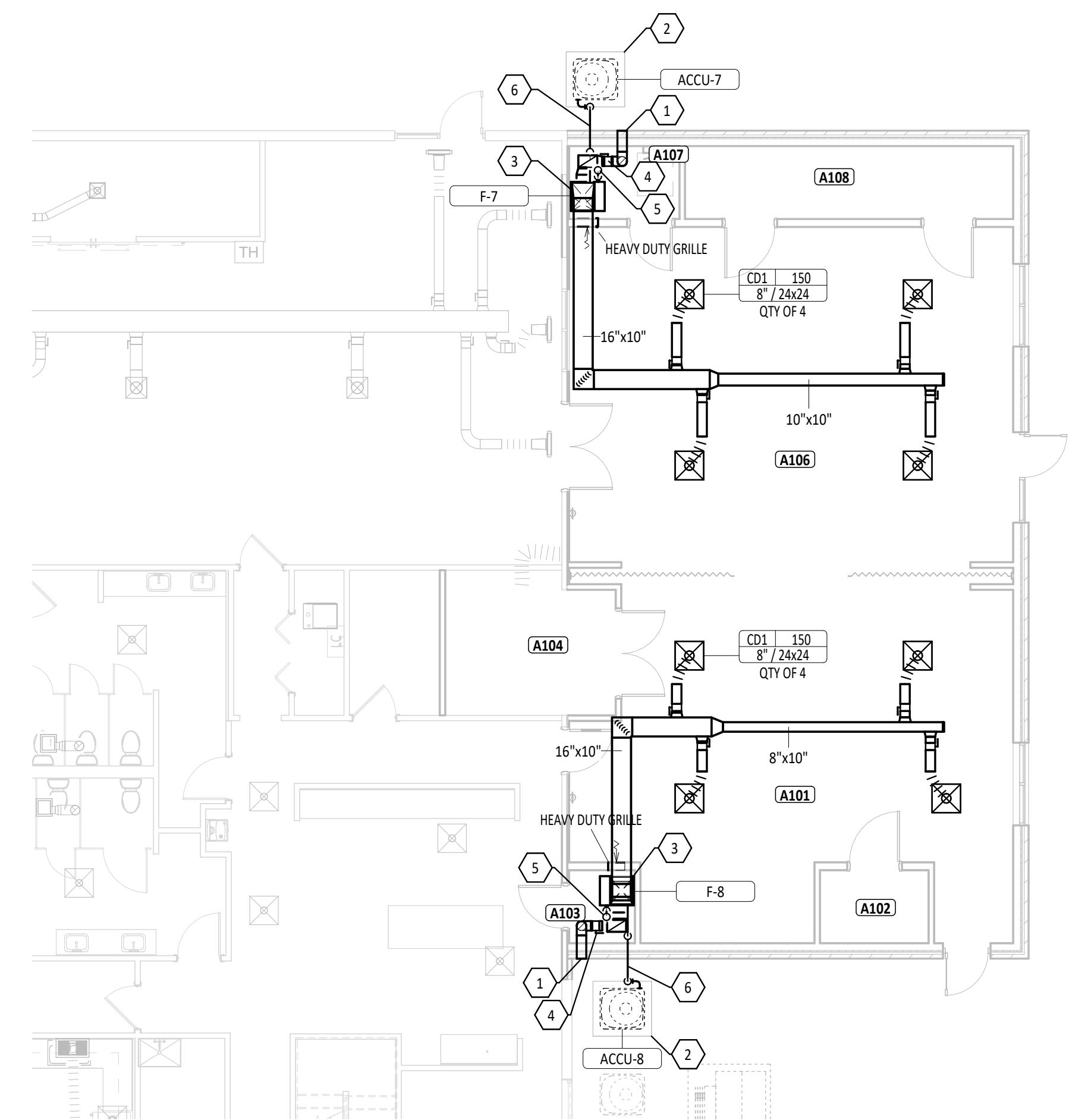
FD FLOOR DRAIN/FIRE DAMPER

FDV FIRE DEPARTMENT VALVE

FHC FIRE HOSE CABINET

FL FLOOR

FLEX FLEXIBLE



FURNACE SCHEDULE																				
UNIT NO.	MFG	MODEL NO.	TYPE	SUPPLY FAN			GAS FIRED HEAT EXCHANGE							UNIT WEIGHT	ELECTRICAL			REMARKS		
				AIRFLOW	EXT. STATIC PRESS.	DRIVE TYPE	MOTOR			GAS BURNER					AIRSIDE		EFFICIENCY			
							QTY	POWER	INPUT	OUTPUT	FUEL TYPE	PRESSURE AVAILABLE (IN W.C.)	ENTERING AIR TEMP. DB	LEAVING AIR TEMP. DB	AFUE					
FURN-7	TRANE	S9V2B040U3PSC	UPFLOW	600 CFM	0.50 in-wg	DIRECT VARIABLE SPEED	1	0.50 hp	40000 Btu/h	38800 Btu/h	NATURAL GAS	7.00	51.0 °F	110.0 °F	97	114 lb	120 V	1	8.9	VARIABLE SPEED FAN; EXTERNAL FILTER CABINET; 2-STAGE BURNER
FURN-8	TRANE	S9V2B040U3PSC	UPFLOW	600 CFM	0.50 in-wg	DIRECT VARIABLE SPEED	1	0.50 hp	40000 Btu/h	38800 Btu/h	NATURAL GAS	7.00	51.0 °F	110.0 °F	97	114 lb	120 V	1	8.9	VARIABLE SPEED FAN; EXTERNAL FILTER CABINET; 2-STAGE BURNER

AIR COOLED CONDENSING UNIT SCHEDULE										
MARK	MFG	OUTDOOR UNIT MODEL	COOLING			ELECTRICAL			REMARKS	
			AHRI TOTAL CAPACITY (BTUH)	COOLING EFFICIENCY (SEER2)	COOLING EFFICIENCY (EER2)	MCA	MOP	VOLTAGE		
ACCU-7	TRANE	5TTR5018A1	19000	17	12	9 A	20 A	208 V	1	PROVIDE MATCHING CASED INDOOR A-COIL. LINE SET: COPPER PER ASTM B280, 1" ELASTOMERIC INSULATION
ACCU-8	TRANE	5TTR5018A1	19000	17	12	9 A	20 A	208 V	1	PROVIDE MATCHING CASED INDOOR A-COIL. LINE SET: COPPER PER ASTM B280, 1" ELASTOMERIC INSULATION

GRILLES, REGISTERS, AND DIFFUSERS SCHEDULE														
ID	DESCRIPTION	MANUFACTURER	MODEL	QTY	FACE SIZE	NECK			BLADE DESIGN				INSTALLATION	
						SIZE	WIDTH	HEIGHT	THICKNESS	SPACING	DEFLECTION ANGLE		ORIENTATION	
											SINGLE	DOUBLE		
CD1	LOUVERED FACE DIFFUSER	TITUS	TDC-AA	8	24x24	8"								TYPE 3 (LAY-IN)
HDC-1	HEAVY DUTY GRILLE	TITUS	22PL	2	24x24	8"	14"	12"	1/8"	2/8"	0-2°	0-2°		TYPE 1 (SURFACE)

ASHRAE 62.1 VENTILATION RATE PROCEDURE SUMMARY												
Room Identity	Location	Occupancy Category	Area, Az	Selected Supply Airflow	Number of People, Pz	Outdoor Airflow Rate Per Person, Rp	Outdoor Airflow Rate Per Unit Area, Ra	Zone Air Distribution Effectiveness, Ez	Breathing Zone Outdoor Airflow, Voz	Required Outdoor Air Intake Flow, Vot	OA Delivered	Specified Exhaust Airflow
No.	Name											
A101	FLEX SPACE	Multipurpose assembly	680 SF	600 CFM	12	5.0 CFM	0.06 CFM/SF	1	101 CFM	101 CFM	110 CFM	0 CFM
A102	TOOL STORAGE	Storage rooms	39 SF			0.0 CFM	0.12 CFM/SF					0 CFM
A103	MECHANICAL	Electrical equipment rooms	24 SF			0.0 CFM	0.06 CFM/SF					0 CFM
A104	TABLE & CHAIR STORAGE	Storage rooms	116 SF			0.0 CFM	0.12 CFM/SF					0 CFM
A106	FLEX SPACE	Multipurpose assembly	750 SF	600 CFM	12	5.0 CFM	0.06 CFM/SF	1	105 CFM	105 CFM	110 CFM	0 CFM
A107	MECHANICAL	Electrical equipment rooms	39 SF			0.0 CFM	0.06 CFM/SF					0 CFM
A108	STORAGE	Storage rooms	117 SF			0.0 CFM	0.12 CFM/SF					0 CFM

FIRST FLOOR PLAN ROOM INDEX - UNIT A

M ER	ROOM NAME	AREA
1	FLEX SPACE	680 SF
2	TOOL STORAGE	39 SF
3	MECHANICAL	24 SF
4	TABLE & CHAIR STORAGE	116 SF
5	FLEX SPACE	750 SF
7	MECHANICAL	39 SF
8	STORAGE	117 SF

GENERAL NOTES

DIVISION 23 MECHANICAL CONTRACTOR IS REQUIRED TO COORDINATE DIFFUSER AND GRILLE LOCATIONS WITH ARCHITECTURAL REFLECTED CEILING PLANS.

ALL EQUIPMENT LOCATED ABOVE CEILING REQUIRING MAINTENANCE SHALL BE INSTALLED WITHIN (2) FEET OF THE CEILING FOR MAINTENANCE PURPOSES. DO NOT INSTALL UNITS ABOVE LIGHTS AND CEILING SPEAKERS. COORDINATE LOCATION WITH ARCHITECTURAL REFLECTED CEILING PLAN AND GENERAL CONTRACTOR.

ANY BALANCING DAMPERS OR OTHER DEVICES IN DUCTS ABOVE HARD CEILINGS SHALL BE LOCATED ABOVE NEAREST ACCESSIBLE CEILING.

LOCATE DUCTWORK AND MECHANICAL EQUIPMENT AWAY FROM THE SPACE ABOVE ELECTRICAL PANELS. TRANSFORMERS AND OTHER ELECTRICAL EQUIPMENT.

PROVIDE SLEEVES AND/OR OPENINGS TO RUN DUCTS THROUGH FOUNDATIONS, FLOORS, WALLS, AND ROOF.

CONTRACTOR SHALL LOCATE THERMOSTATS AND TEMPERATURE SENSORS AT 3'-8" AFF, A MINIMUM OF 4" FROM LIGHT SWITCH.

CONDENSATE DRAINS SHALL BE SUPPLIED FOR ALL COOLING EQUIPMENT.

CONTRACTOR SHALL ENSURE PROPER INSTALLATION AND DRAINAGE AS REQUIRED BY FEDERAL, STATE, AND LOCAL CODES. CONDENSATE PIPING SHALL BE PVC.

ALL SUPPLY, RETURN, AND EXHAUST DUCTWORK SHALL BE RATED FOR PRESSURE CLASS OF 2" W.G. UNLESS NOTED OTHERWISE.

THIS CONTRACTOR SHALL BE REQUIRED TO REPLACE FILTERS ON HVAC EQUIPMENT AFTER ALL DUST PRODUCING CONSTRUCTION HAS BEEN COMPLETED AND PRIOR TO THE SUBSTANTIAL COMPLETION.

	KEYNOTE DESCRIPTION
	PROVIDE ALUMINUM, OUTSIDE AIR WALL CAP WITH 8" DIAMETER DUCT CONNECTION, BIRDSCREEN, AND DAMPER. GREENHECK MODEL WC-8 OR EQUAL. COLOR BY ARCHITECT.
	PROVIDE 3 1/2" CONCRETE HOUSEKEEPING PAD FOR CONDENSING UNIT. CONCRETE PAD SHALL EXTEND A MINIMUM OF 6" BEYOND THE EDGE OF THE EDGE OF THE EQUIPMENT. CONFIRM UNIT DIMENSIONS AND CLEARANCES WITH THE APPROVED MANUFACTURER'S SUBMITTAL.
	ROUTE TRAPPED CONDENSATE PIPING FROM EVAPORATOR COIL ON FURNACE TO FLOOR DRAIN IN MECHANICAL CLOSET.
	BALANCE MANUAL OUTSIDE AIR DAMPER TO 110 CFM.
	ROUTE FURNACE COMBUSTION AIR AND FLUE THROUGH THE CEILING AND TERMINATE THROUGH THE ROOF WITH MANUFACTURER'S SUPPLIED CONCENTRIC VENT KIT. SEAL ROOF PENETRATION WATER TIGHT. COORDINATE WITH GENERAL CONTRACTOR.
	ROUTE REFRIGERANT LINES THROUGH EXTERIOR WALL BETWEEN EVAPORATOR COIL ON FURNACE AND CONDENSING UNIT. SEAL WALL PENETRATION WATER TIGHT.



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- NOTE: ABBREVIATIONS USED ON THE CONTRACT DOCUMENTS, INCLUDE BUT ARE NOT LIMITED TO THOSE LISTED BELOW.	
L	LOCATION LSIG LONG TIME, SHORT TIME, INSTANTANEOUS, AND GROUND FAULT PROTECTION
M	mA MILLIAMPS MAXIMUM MCA MINIMUM CIRCUIT AMPACITY MCC MOTOR CONTROL CENTER MINIMUM MOUNTING HEIGHT MINIMUM MOUNTED MTS MANUAL TRANSFER SWITCH
N	N/A NOT APPLICABLE NC NORMALLY CLOSED NEC NATIONAL ELECTRICAL CODE NEMA NATIONAL ELECTRICAL MANUFACTURERS ASSOCIATION NEUT NEUTRAL NFFA NATIONAL FIRE PROTECTION ASSOCIATION NIC NOT IN CONTRACT NO NORMALLY OPEN NTS NOT TO SCALE O OH OVERHEAD
D	DC DIRECT CURRENT DIA DIAMETER
P	POLE PA PUBLIC ADDRESS PC PHOTOCELL PH PHASE PVC POLYVINYL CHLORIDE
E	EC ELECTRICAL CONTRACTOR EM EMERGENCY EMT ELECTRICAL METALLIC TUBING EX EXISTING
F	FA FIRE ALARM FAA FIRE ALARM ANNUNCIATOR FACP FIRE ALARM CONTROL PANEL FDR FEEDER FLA FULL LOAD AMPS FUT FUTURE
G	GEN GENERATOR GFI OR GFCI GROUND FAULT CIRCUIT INTERRUPTER GFP OR GFPE GROUND FAULT PROTECTION OF EQUIPMENT GND GROUND
H	HOA HAND-OFF-AUTO HP HORSEPOWER HT HEIGHT
I	IEEE INSTITUTE OF ELECTRICAL AND ELECTRONICS ENGINEERS IG ISOLATED GROUND
K	KCMIL THOUSAND CIRCULAR MILS KV KILOVOLT KVA KILOVOLT AMPS KVAR KILOVOLT AMPS REACTIVE KW KILOWATT KWH KILOWATT HOUR
ABBREVIATIONS	

DEMOLITION (IF APPLICABLE)		
SYMBOL	DESCRIPTION	NOTES

SYMBOL	DESCRIPTION	NOTES
	DASHED SYMBOL INDICATES EXISTING DEVICE OR EQUIPMENT TO BE REMOVED.	REFER TO DEMOLITION PLANS
	SOLID SYMBOL, LIGHTER IN COLOR INDICATES EXISTING DEVICE OR EQUIPMENT TO REMAIN.	FOR ADDITIONAL INFORMATION

GENERAL DRAWINGS SYMBOLS		
	KEYED NOTE REFERENCE	
	REVISION NUMBER - SHOWN ON PLANS	
	CONTINUATION SYMBOL	
	NUMBER OF DETAIL ON SHEET	DRAWING NUMBER WHERE DETAIL APPEARS

NOTE: ALL SYMBOLS OR ABBREVIATIONS MAY NOT BE USED FOR THIS PROJECT AND ARE SUBJECT TO CHANGE ON OTHER DRAWINGS.

RACEWAY & CONDUCTORS		
SYMBOL DESCRIPTION		
	TICK MARKS DENOTING CONDUCTOR IDENTIFICATION. REFER TO 'KEY TO ELECTRICAL CIRCUIT WIRING' FOR MORE INFORMATION.	
	CIRCUIT CONCEALED IN CEILING, WALL, OR FLOOR OF NEW CONSTRUCTION. CONCEALED WHEREVER POSSIBLE IN AREAS OF OPEN STRUCTURE OR EXISTING CONSTRUCTION.	
	INDICATES CONCEALED CONDUIT UNDERGROUND/UNDERFLOOR	
	HOMERUN TO PLATE OR LOCATION NOTED	
	SURFACE MOUNT RACEWAY. REFER TO PLANS FOR TYPE.	
	DENOTES HORIZONTALLY MOUNTED RACEWAY	
	DENOTES VERTICALLY MOUNTED RACEWAY	
	CONDUIT SLEEVE(S) ABOVE CEILING FOR TECHNOLOGY CABLEING. (#) INDICATES QUANTITY, # INDICATES CONDUIT SIZE. REFER TO ARCHITECTURAL SECTIONS FOR CEILING HEIGHTS.	
	CONDUIT TURNS	

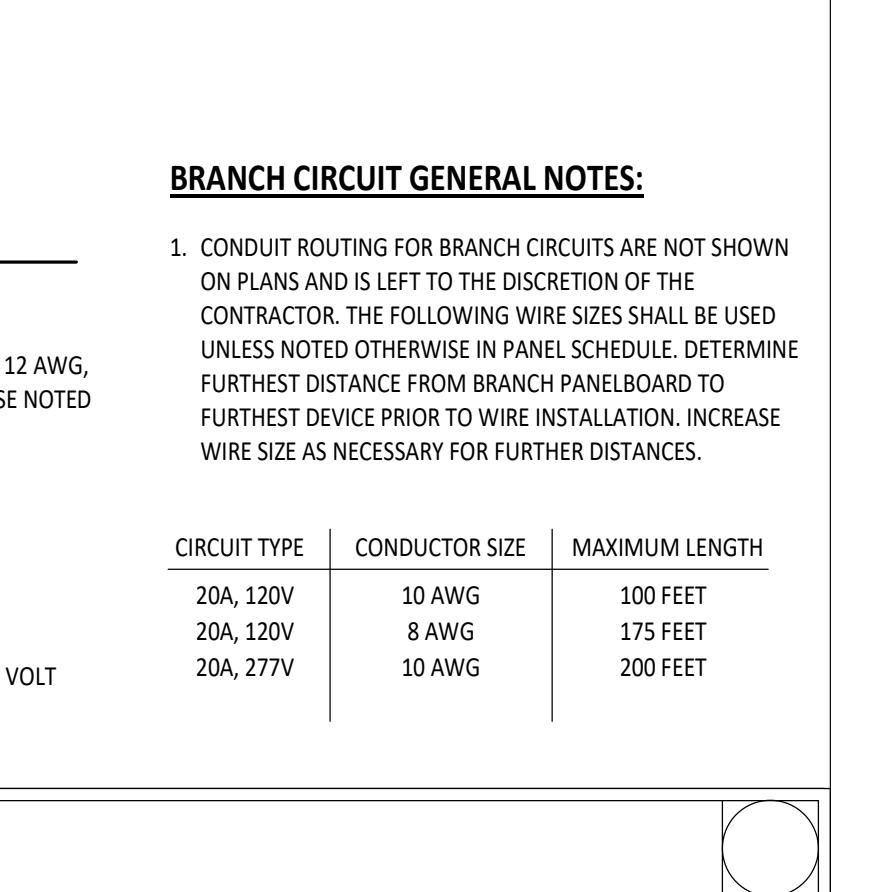
ELECTRICAL EQUIPMENT SYMBOLS		
SYMBOL DESCRIPTION		
	SURFACE MOUNTED PANELBOARD - CIRCUIT BREAKER TYPE. DASHED LINES ON PLAN INDICATE CLEARANCES. REFER TO PANEL SCHEDULES AND ONE-LINE DIAGRAM.	MOUNTING LOC. HT. VARIES 78" TO TOP
	FLUSH MOUNTED PANELBOARD - CIRCUIT BREAKER TYPE. DASHED LINES ON PLAN INDICATE CLEARANCES. REFER TO PANEL SCHEDULES AND ONE-LINE DIAGRAM.	MOUNTING LOC. HT. VARIES VARIES
	NON-FUSED DISCONNECT SWITCH.	MOUNTING LOC. HT. VARIES VARIES
	FUSED DISCONNECT SWITCH.	MOUNTING LOC. HT. VARIES VARIES
	ENCLOSED CIRCUIT BREAKER.	MOUNTING LOC. HT. 72" TO TOP

WIRING DEVICE SYMBOLS		
SYMBOL DESCRIPTION		
	DUPLEX RECEPTACLE, 20A, 125V, NEMA 5-20R, WITH COVERPLATE MOUNTED VERTICALLY.	MOUNTING LOC. HT. WALL, UNO 16"
	DOUBLE DUPLEX RECEPTACLE, 20A, 125V, NEMA 5-20R, WITH COMMON COVERPLATE.	MOUNTING LOC. HT. WALL, UNO 44", UNO
	SPECIAL PURPOSE RECEPTACLE WITH COVERPLATE. REFER TO PLANS FOR TYPE.	MOUNTING LOC. HT. WALL, UNO
	DUPLEX RECEPTACLE, 20A, 125V, NEMA 5-20R, WITH COVERPLATE MOUNTED VERTICALLY.	MOUNTING LOC. HT. WALL, UNO
	DOUBLE DUPLEX RECEPTACLE, 20A, 125V, NEMA 5-20R, WITH COMMON COVERPLATE.	MOUNTING LOC. HT. CEILING, FLUSH
	CEILING MOUNTED DUPLEX RECEPTACLE	MOUNTING LOC. HT. CEILING, FLUSH

FIRE ALARM SYMBOLS		
SYMBOL DESCRIPTION		
	FIRE ALARM CONTROL PANEL. REFER TO SPECIFICATIONS.	MOUNTING LOC. HT. 72" TO TOP
	FIRE ALARM ANNUNCIATOR PANEL. REFER TO SPECIFICATIONS.	MOUNTING LOC. HT. 48"
	FIRE ALARM PULL STATION. REFER TO SPECIFICATIONS.	MOUNTING LOC. HT. 80", UNO
	FIRE ALARM HORN DEVICE. REFER TO SPECIFICATIONS.	MOUNTING LOC. HT. 80", UNO
	FIRE ALARM HORN/STROBE DEVICE. REFER TO SPECIFICATIONS.	MOUNTING LOC. HT. N/A

AUDIO DEVICE SYMBOLS		
SYMBOL DESCRIPTION		
	EXISTING PUBLIC ADDRESS SOUND SYSTEM RACK TO REMAIN.	MOUNTING LOC. HT. FLOOR N/A
	SPEAKER FOR PA SYSTEM, UNO. PROVIDE ROUGH-IN AND RACEWAY AS REQUIRED IN HARD CEILINGS. COORDINATE WITH DIVISION 27.	MOUNTING LOC. HT. CEILING N/A

LIGHTING FIXTURE SYMBOLS		
REFER TO LUMINAIRE SCHEDULE FOR ALL FIXTURE TYPES AND ADDITIONAL INFORMATION.		
	SOLID HATCH INDICATES LIGHT FIXTURE CONNECTED TO EMERGENCY CIRCUIT. HATCH WILL BE MODIFIED FOR EACH FIXTURE TYPE.	MOUNTING LOC. HT. VARIES
	CAPITAL LETTER INDICATES FIXTURE TYPE LOWERCASE LETTER INDICATES SWITCHING	MOUNTING LOC. HT. VARIES
	RECESSED MOUNTED LUMINAIRE; APPROXIMATE SIZE AS INDICATED ON PLANS.	MOUNTING LOC. HT. VARIES
	SURFACE MOUNTED LUMINAIRE; APPROXIMATE SIZE AS INDICATED ON PLANS.	MOUNTING LOC. HT. VARIES
	RECESSED DOWNLIGHT LUMINAIRE. DIRECTIONAL ARROW INDICATES AIMABLE FIXTURE TYPE.	MOUNTING LOC. HT. VARIES
	PENDANT MOUNT LUMINAIRE; APPROXIMATE SIZE AS INDICATED ON PLANS.	MOUNTING LOC. HT. VARIES
	STRIP LIGHT LUMINAIRE.	MOUNTING LOC. HT. VARIES
	PENDANT MOUNTED ROUND OR RING TYPE LUMINAIRE; APPROXIMATE SIZE AS INDICATED ON PLANS.	MOUNTING LOC. HT. VARIES
	DECORATIVE PENDANT MOUNT LUMINAIRE.	MOUNTING LOC. HT. VARIES
	EXTERIOR WALL PACK LUMINAIRE.	MOUNTING LOC. HT. VARIES
	WALL MOUNTED LUMINAIRE.	MOUNTING LOC. HT. VARIES
	WALL MOUNTED LUMINAIRE.	MOUNTING LOC. HT. VARIES
	EMERGENCY BATTERY PACK LUMINAIRE.	MOUNTING LOC. HT. VARIES
	SINGLE OR DOUBLE (AS INDICATED) EMERGENCY REMOTE HEAD.	MOUNTING LOC. HT. VARIES
	WALL MOUNTED EXIT SIGN, ARROWS AND EMERGENCY LIGHTS AS INDICATED. SHADeD AREA INDICATES FACE LOCATIONS.	MOUNTING LOC. HT. VARIES
	CEILING MOUNTED EXIT SIGN, ARROWS AND EMERGENCY LIGHTS AS INDICATED. SHADeD AREA INDICATES FACE LOCATIONS.	MOUNTING LOC. HT. VARIES



CIRCUIT TYPE CONDUCTOR SIZE MAXIMUM LENGTH

20A, 120V

10 AWG

100 FEET

20A, 120V

8 AWG

175 FEET

20A, 277V

10 AWG

200 FEET

1

E1.1

KEY TO ELECTRICAL CIRCUIT WIRING

NTS

2

E1.1

PANELBOARD CLEARANCES

NTS

NOTES:

1. REFER TO NEC SECTION 110.26 FOR MORE INFORMATION.
2. COORDINATE ALL WORK WITH OTHER TRADES TO MAINTAIN ALL OTHER NEC CLEARANCES AND REQUIREMENTS.

STRUCTURAL CEILING
LAY-IN CEILING
CLEARANCE TO FRONT OF PANELBOARD, 48" WHEN PANEL FED AT 480V.
36" MIN.

WORKING CLEARANCE ZONE. LUMINAIRES, PIPING, DUCTWORK OR OTHER ITEMS SHALL NOT BE INSTALLED IN THIS ZONE.

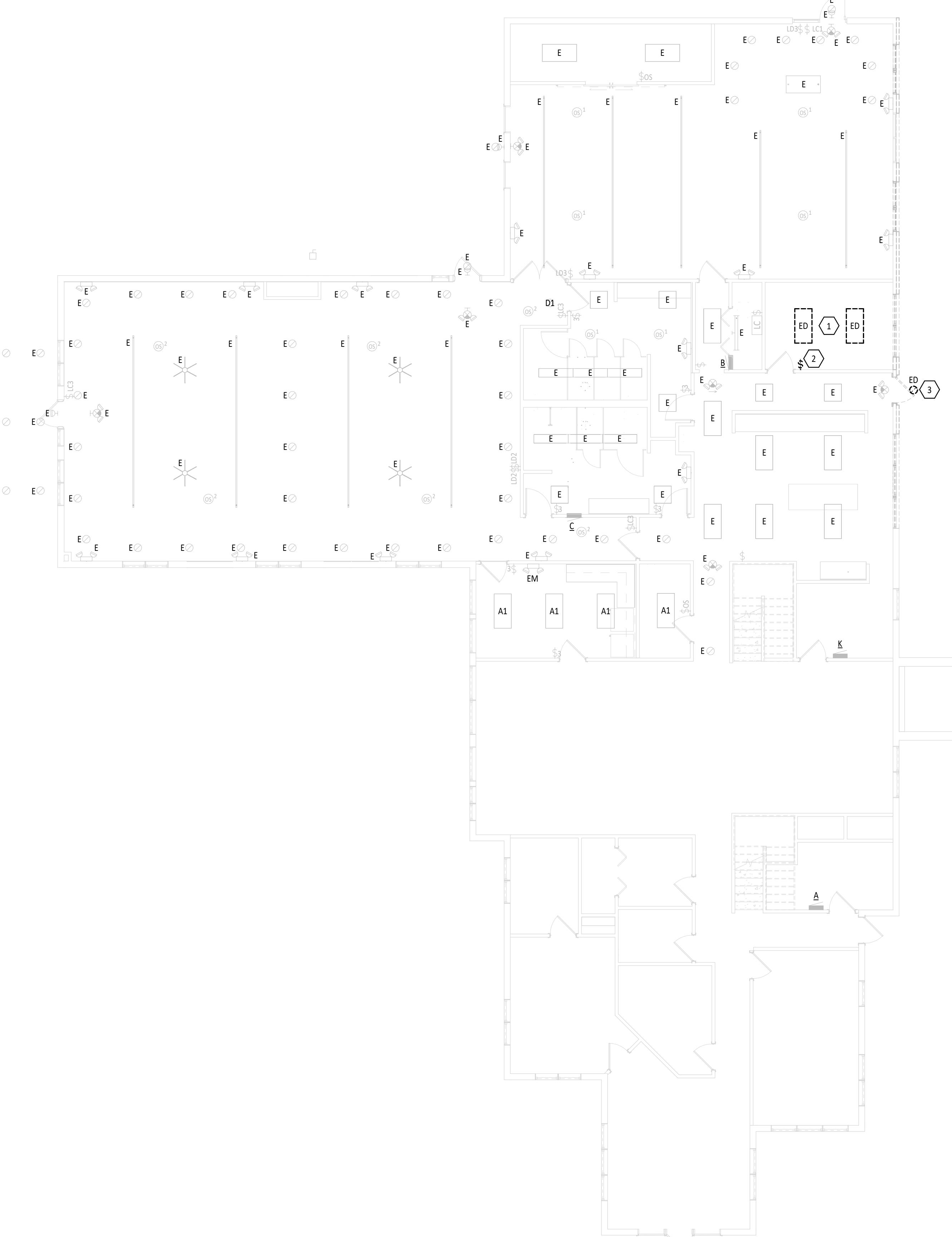
SUPERFICIAL CEILING
RECESSED PANELBOARD
DEDICATED ELECTRICAL SPACE TO FLOOR. ONLY ELECTRICAL CONDUIT AND CONDUCTORS SHALL BE PERMITTED TO PENETRATE THIS AREA.

ULTRASONIC CEILING MOUNT SENSORS REQUIRE THAT THEY BE LOCATED NO CLOSER THAN 6 TO 10 AWG SUPPLY/RETURN REGISTERS.

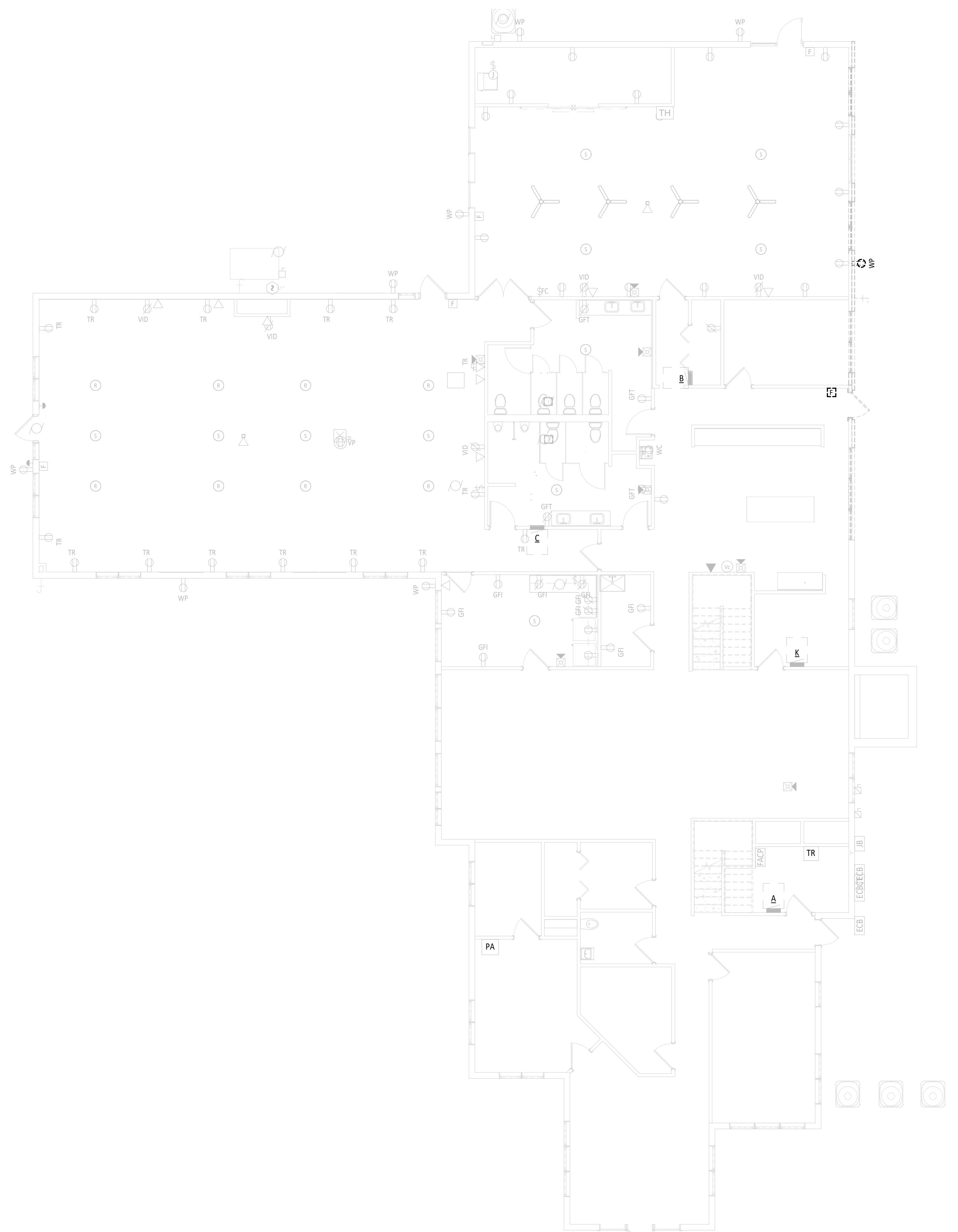
3-1/2" CONCRETE FLOOR CURB FOR UNDERGROUND CONDUIT PENETRATIONS. (SURFACE MOUNTED PANELBOARDS ONLY)

30" DOES NOT REQUIRE TO BE CENTERED ON PANEL, BUT MUST INCLUDE ENTIRE PANEL.

NOTES:
1. HEIGHTS REFER TO BOTTOM OF BOX, UNO.
2. NOT ALL SYMBOLS ARE SHOWN. REFER TO SYMBOLS LEGEND FOR ADDITIONAL MOUNTING HEIGHTS AND INFORMATION.



ALL DEVICES FADED BACK ON THIS
DRAWING ARE EXISTING TO REMAIN. ALL
DEVICES SHOWN BOLD AND/OR DASHED
ON THIS DRAWING ARE TO BE
DEMOLISHED UNLESS NOTED OTHERWISE.



ALL DEVICES FADED BACK ON THIS
DRAWING ARE EXISTING TO REMAIN. ALL
DEVICES SHOWN BOLD AND/OR DASHED
ON THIS DRAWING ARE TO BE
DEMOLISHED UNLESS NOTED OTHERWISE.

ELECTRICAL DEMOLITION GENERAL NOTES

- A FIELD VERIFY ALL DIMENSIONS & CONDITIONS PRIOR TO START OF CONSTRUCTION. NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCY OR SITUATION DISCOVERED THAT DOES NOT CONFORM TO CONSTRUCTION DOCUMENTS.
- B ALL WORK PERFORMED IS SUBJECT TO APPROVAL BY THE ARCHITECT AND OWNER. WORK FOUND TO BE UNSATISFACTORY SHALL BE REMOVED AND PROPERLY REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO OWNER.
- C ALL ITEMS NOT MARKED WITH NOTE TO REMOVE SHALL BE PROPERLY DISPOSED OF BY THE CONTRACTOR OFF-SITE. COORDINATE REMOVAL OF ITEMS WITH OWNER. OWNER HAS THE OPTION TO CLAIM ANY REMOVED ITEMS.
- D TEMPORARILY SUPPORT ALL EQUIPMENT, CONDUIT, ETC. AS REQUIRED UNTIL FINAL SUPPORTS ARE IN PLACE.
- E CLOSELY COORDINATE ALL WORK WITH THE OWNER AND WITH ALL OTHER CONTRACTORS HIRED BY THE OWNER. CLARIFY IN ADVANCE ANY QUESTIONS AS TO SCOPE OF WORK AND AREAS OF RESPONSIBILITY.
- F CONDUITS, BOXES, AND CIRCUIT BREAKERS MAY BE REUSED WHERE POSSIBLE, IF NOT, MODIFY AS NEEDED FOR NEW WORK.
- G DIV. 26 SHALL REFER TO ARCHITECTURAL, MECHANICAL, AND PLUMBING DEMOLITION PLANS FOR ELECTRICAL DISCONNECTION OR REMOVAL OF ANY ELECTRICAL EQUIPMENT.
- H DIV. 26 SHALL PULL ALL WIRE AND CAP CONDUIT TO ALL CIRCUITS DISCONNECTED AND NOT REUSED.
- I ALL ABANDONED WIRING ABOVE CEILING SHALL BE REMOVED PER THE REQUIREMENTS OF THE NEC.

#	KEYNOTE DESCRIPTION
1	REMOVE LIGHT FIXTURES IN THIS ROOM. SALVAGE LIGHTING CIRCUIT FOR NEW WORK.
2	REMOVE WALL SWITCH, SALVAGE BOX AND WIRING FOR NEW WORK.
3	REMOVE EXTERIOR LIGHT FIXTURE AND SALVAGE LIGHTING CIRCUIT FOR NEW WORK.

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TIPP SENIORS NEW ADDITION

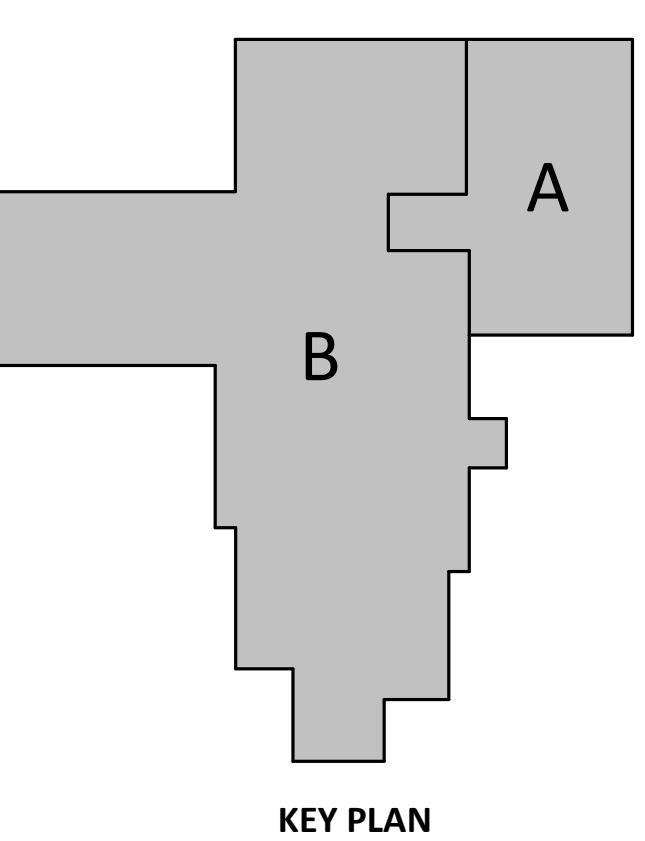
528 NORTHWAY ST, TIPP CITY, OH 45371

ISSUANCES/REVISIONS		
CONSTRUCTION DOCUMENTS | 01/13/2026		

PROJECT NUMBER:	DRAWN BY:	CHECKED BY:
25059.00	AEM	HIP

SHEET TITLE:		
ELECTRICAL DEMOLITION PLANS		

SHEET NUMBER:
ED1.1



KEY PLAN

DROP

SIGN

SIGN

ELECTRICAL SITE PLAN
E2.1 1" = 20'-0"

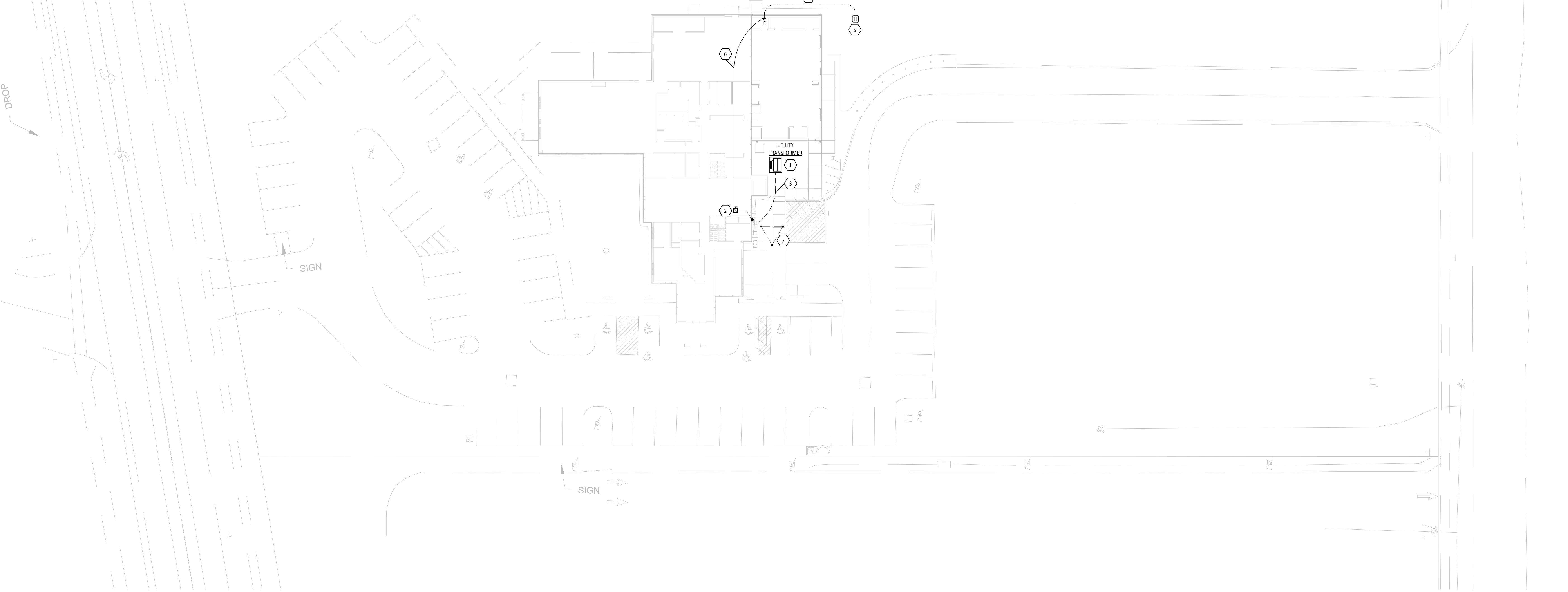
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STATE OF OHIO
ANDREW P. HUELSMAN
LICENSURE #E-78372
EXPIRATION DATE: 12/31/2027

TIPP SENIORS NEW ADDITION

S28 NORTHWATERS TIPP CITY, OH 45371

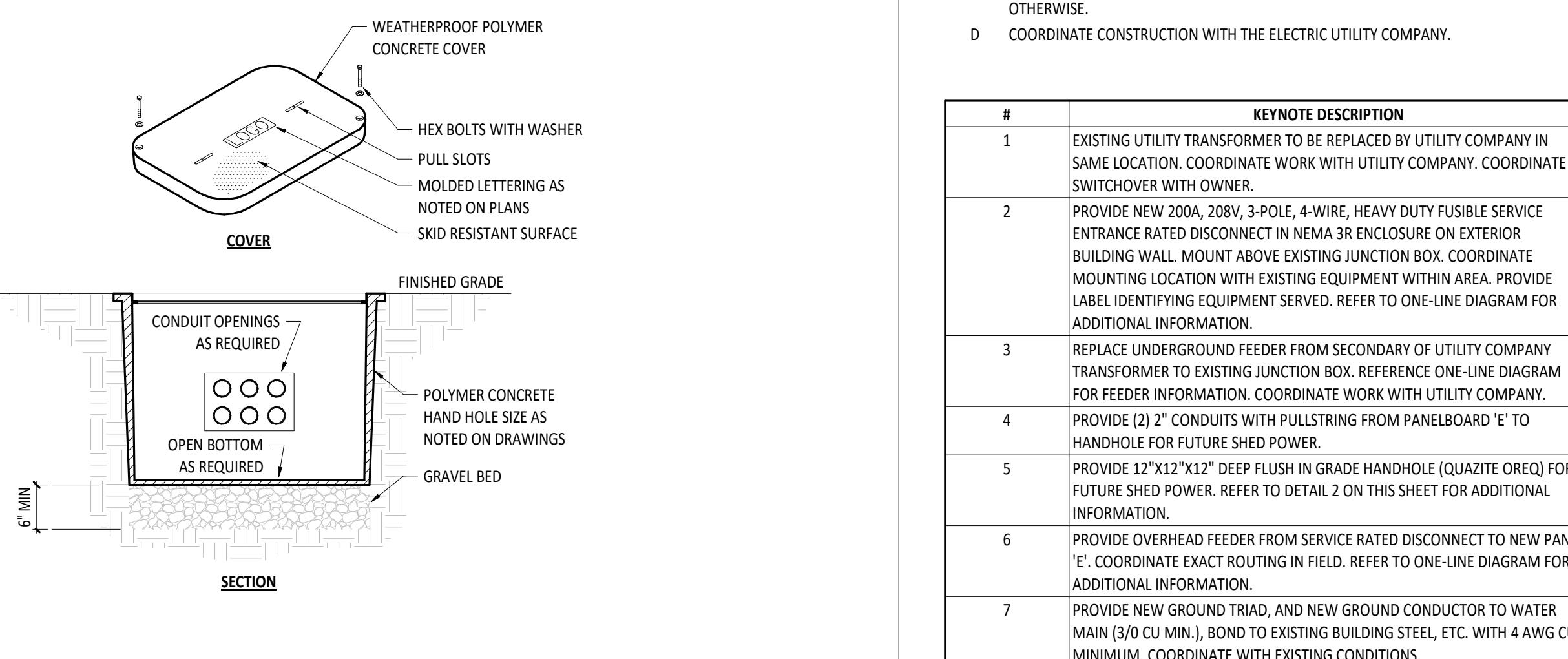


UTILITY COMPANY CONTACT

CITY OF TIPP CITY 260 S. GABER DR., TIPP CITY, OH 45371
 JERRY GEE ELECTRIC SUPERINTENDANT
 (OFFICE) 937.667.0519

ELECTRICAL SITE GENERAL NOTES

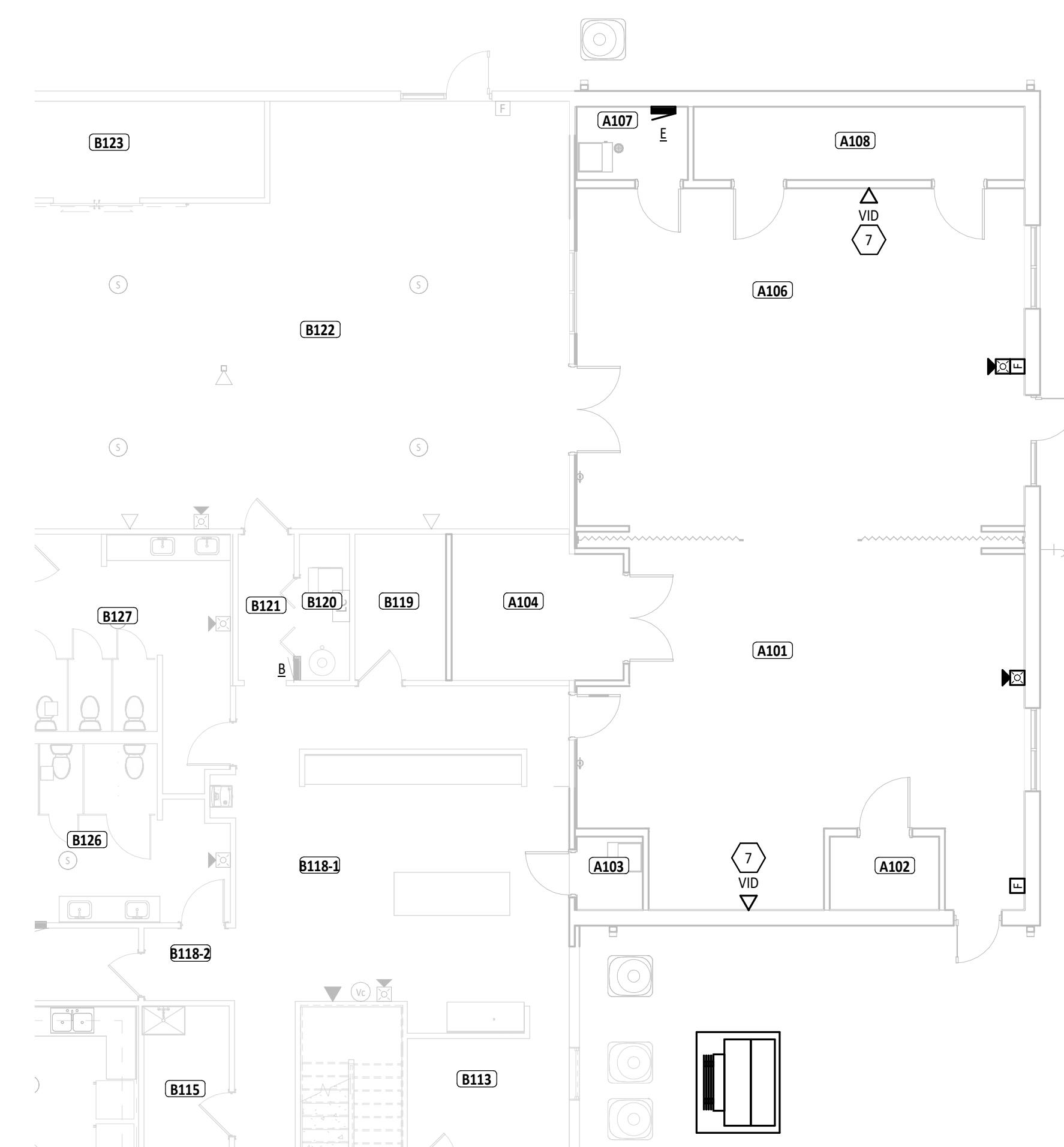
- A SEE CIVIL SITE PLAN, AND LANDSCAPE SITE PLANS FOR EXACT LOCATION OF OTHER UTILITIES. INSTALLATION OF ELECTRICAL WORK SHALL BE COORDINATED WITH THE OTHER TRADES.
- B PROVIDE PULL WIRES IN ALL EMPTY CONDUITS.
- C ALL UNDERGROUND CONDUIT SHALL BE 1" SCHEDULE 40 PVC, UNLESS NOTED OTHERWISE.
- D COORDINATE CONSTRUCTION WITH THE ELECTRIC UTILITY COMPANY.



#	KEYNOTE DESCRIPTION
1	EXISTING UTILITY TRANSFORMER TO BE REPLACED BY UTILITY COMPANY IN SAME LOCATION. COORDINATE WORK WITH UTILITY COMPANY. COORDINATE DOWNGEARD FEEDER.
2	PROVIDE NEW 200A, 240V, 3-POLE, 4-WIRE, HEAVY DUTY FUSIBLE SERVICE ENTRANCE RATED DISCONNECT IN NEMA 3R ENCLOSURE ON EXTERIOR BUILDING WALL. MOUNT ABOVE EXISTING JUNCTION BOX. COORDINATE MOUNTING LOCATION WITH EXISTING EQUIPMENT WITHIN AREA. PROVIDE LABEL IDENTIFYING EQUIPMENT SERVED. REFER TO ONE-LINE DIAGRAM FOR ADDITIONAL INFORMATION.
3	REPLACE UNDERGROUND FEEDER FROM SECONDARY OF UTILITY COMPANY TRANSFORMER TO EXISTING JUNCTION BOX. REFERENCE ONE-LINE DIAGRAM FOR FEEDER INFORMATION. COORDINATE WORK WITH UTILITY COMPANY.
4	PROVIDE (2) 2" CONDUITS WITH PULLSTRING FROM PANELBOARD 'E' TO HANDBEADLE FOR FUTURE SHED POWER.
5	PROVIDE 12"X12"X12" DEEP FLUSH IN GRADE HANDBEADLE (QUAZITE OREQ) FOR FUTURE SHED POWER. REFER TO DETAIL 2 ON THIS SHEET FOR ADDITIONAL INFORMATION.
6	PROVIDE OVERHEAD FEEDER FROM SERVICE RATED DISCONNECT TO NEW PANEL 'E'. COORDINATE EXACT ROUTING IN FIELD. REFER TO ONE-LINE DIAGRAM FOR ADDITIONAL INFORMATION.
7	PROVIDE NEW GROUND THIAD, AND NEW GROUND CONDUCTOR TO WATER MAIN (1/0 CU MIN). BOND TO EXISTING BUILDING STEEL, ETC. WITH 4 AWG CU MINIMUM. COORDINATE WITH EXISTING CONDITIONS.

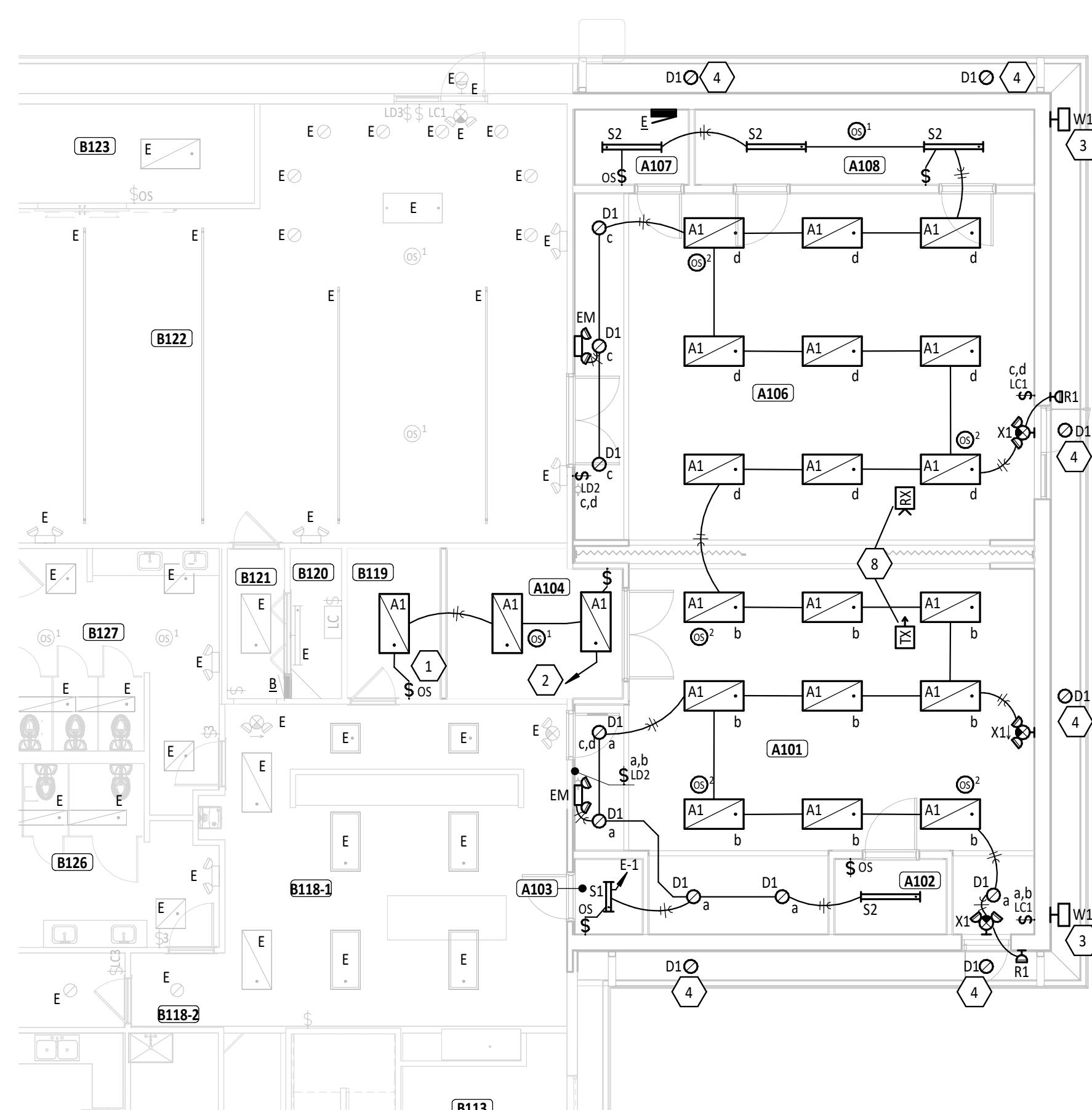


Know what's below.
Call before you dig.



1 FIRST FLOOR SYSTEMS PLAN - UNIT A

E3.1 1/8" = 1'-0"



FIRST FLOOR PLAN ROOM INDEX - UNIT A		
ROOM NUMBER	ROOM NAME	AREA
A101	FLEX SPACE	680 SF
A102	TOOL STORAGE	39 SF
A103	MECHANICAL	24 SF
A104	TABLE & CHAIR STORAGE	116 SF
A105	FLEX SPACE	750 SF
A106	MECHANICAL	39 SF
A107	STORAGE	117 SF

FIRST FLOOR PLAN ROOM INDEX - UNIT B		
ROOM NUMBER	ROOM NAME	AREA
B101	LOBBY	310 SF
B102	CONFERENCE ROOM	250 SF
B103	CORRIDOR	180 SF
B104	COAT ROOM	113 SF
B105	OFFICE	201 SF
B106	FILE STORAGE	89 SF
B107	MECHANICAL	34 SF
B108	OFFICE	68 SF
B109	RESTROOM	53 SF
B110	STAIR	55 SF
B111	STORAGE	107 SF
B112	SOCIAL AREA	924 SF
B113	KITCHEN STORAGE	98 SF
B114	STAIR	75 SF
B115	CUSTODIAL	65 SF
B116	CATERING KITCHEN	204 SF
B117	CORRIDOR	49 SF
B118	KITCHEN	563 SF
B119	KITCHEN STORAGE	64 SF
B120	MECHANICAL	35 SF
B121	CORRIDOR	41 SF
B122	RECREATION ROOM	1,156 SF
B123	STORAGE	157 SF
B124	EVENT SPACE	1,739 SF
B125	CORRIDOR	68 SF
B126	MEN'S RESTROOM	218 SF
B127	WOMEN'S RESTROOM	252 SF

#	KEYNOTE DESCRIPTION
1	UTILIZE EXISTING BOX, SALVAGED FROM DEMOLITION, FOR NEW WALL SWITCH.
2	CONNECT TO EXISTING LIGHTING CIRCUIT PREVIOUSLY SERVING THIS AREA.
3	CONNECT LIGHT FIXTURE TO EXISTING EXTERIOR LIGHTING CIRCUIT. SECURITY LIGHT HAS INTEGRAL CONTROLS. MODIFY AND EXTEND CONDUIT AND CABLING AS REQUIRED.
4	CONNECT LIGHT FIXTURE TO EXISTING EXTERIOR LIGHTING CIRCUIT AND CONTROLS. MODIFY AND EXTEND CONDUIT AND CABLING AS REQUIRED.
5	PROVIDE 30A, 208V, 2-POLE HEAVY DUTY NON-FUSED DISCONNECT IN NEMA 3R ENCLOSURE.
6	RECEPTACLE FOR FUTURE VIDEO DISPLAY. COORDINATE EXACT LOCATION WITH OWNER.
7	TECHNOLOGY ROUGH-IN FOR FUTURE VIDEO DISPLAY. COORDINATE EXACT LOCATION AND REQUIREMENTS WITH OWNER.
8	PROVIDE NIGHT PARTITION KIT FOR INDEPENDENT AND COMBINED LIGHTING CONTROL OF ROOMS BASED ON PARTITION USE. WHEN PARTITION IS CLOSED, CONTROL SHALL BE AS SHOWN ON PLAN. WHEN PARTITION IS OPEN, ZONES 'A' AND 'C' SHALL BE CONTROLLED TOGETHER AND ZONES 'B' AND 'D' SHALL BE CONTROLLED TOGETHER.
9	PROVIDE JUNCTION BOX FLUSH IN WALL WITH BLANK COVERPLATE FOR FUTURE 208V WOODWORKING EQUIPMENT. PROVIDE (1) 2" CONDUIT FROM PANEL 'E'.

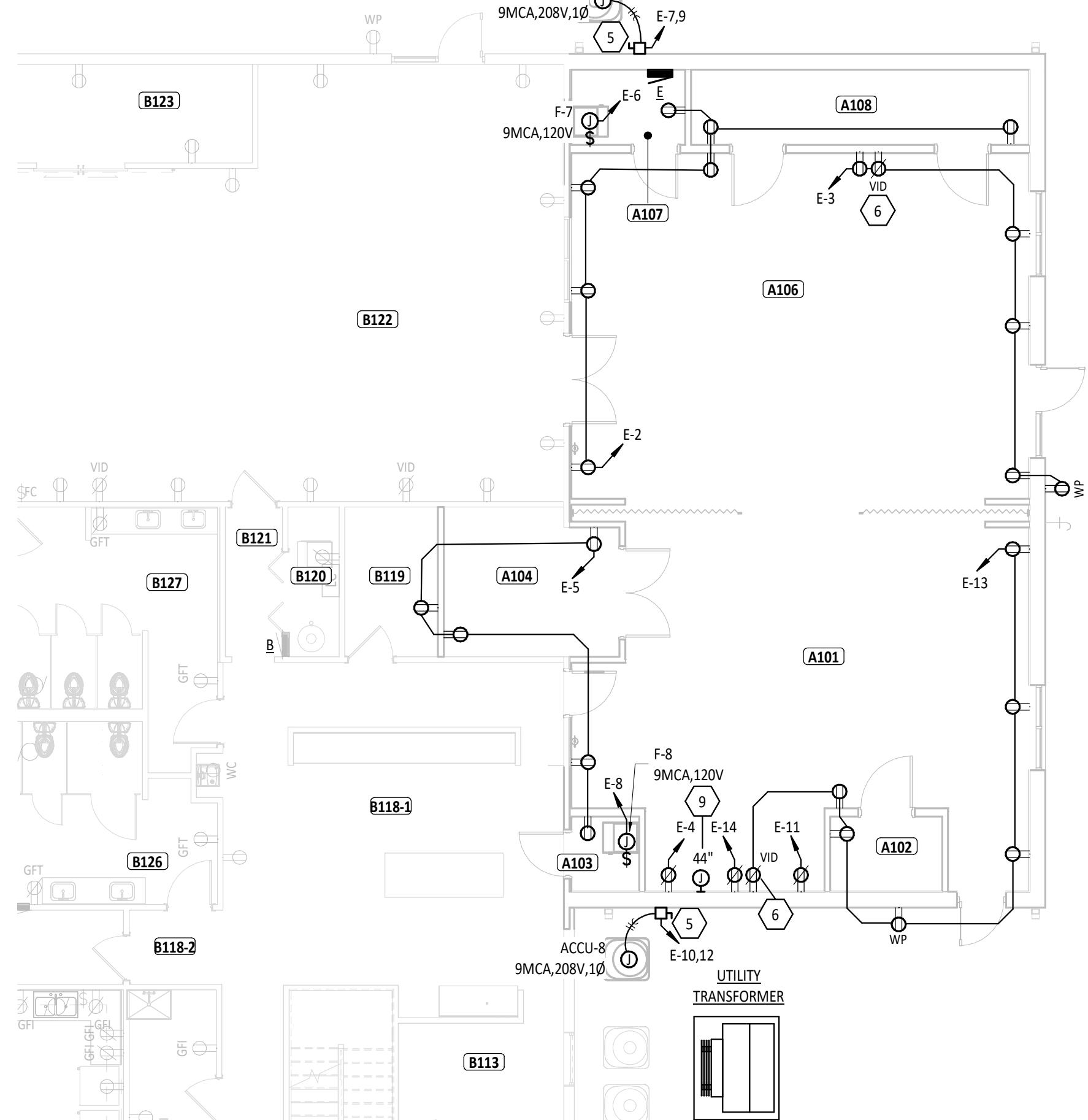
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TIPP SENIORS NEW ADDITION

ISSUANCES/REVISIONS		
CONSTRUCTION DOCUMENTS 01/13/2026		

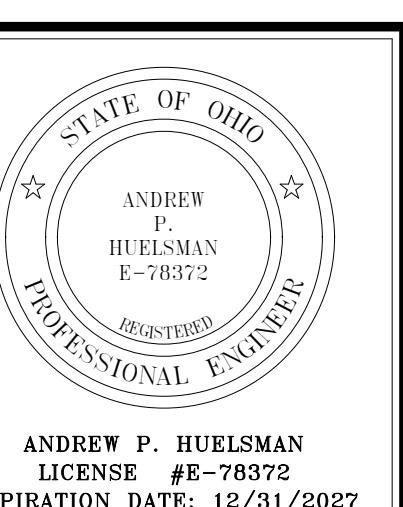
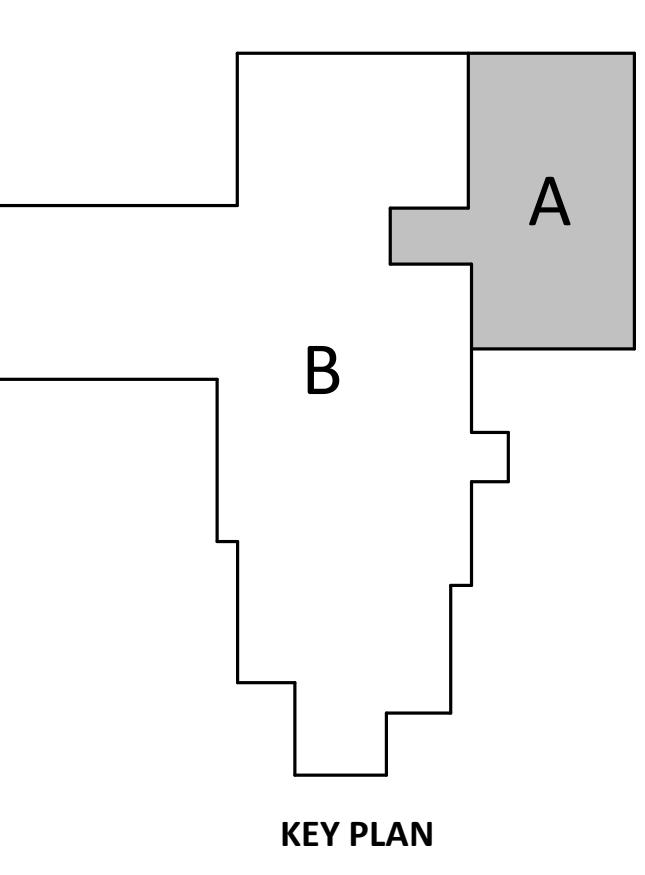
PROJECT NUMBER:	DRAWN BY:	CHECKED BY:
25059.00	AEM	HIP

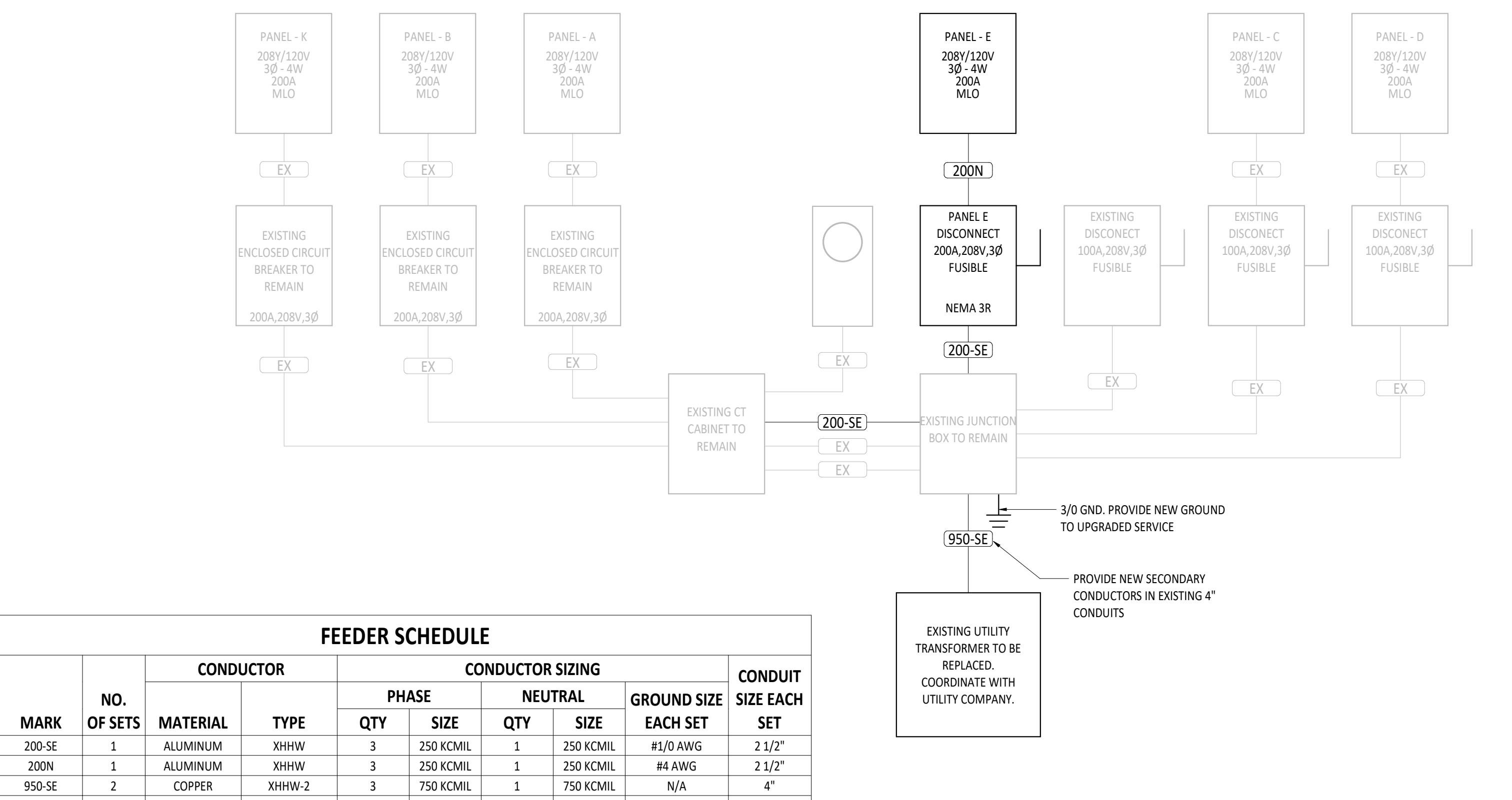
ELECTRICAL PLANS		
SHEET NUMBER: E3.1		



3 FIRST FLOOR POWER PLAN - UNIT A

E3.1 1/8" = 1'-0"





PANEL E

MOUNTING: SURFACE
FED FROM: UTILITY TRANSFORMER
ENCLOSURE: TYPE 1
LOCATION: MECHANICAL A107

PANEL NOTES:
PROVIDE PANEL WITH SURGE PROTECTION DEVICE. PROVIDE CIRCUIT BREAKER PER MANUFACTURER RECOMMENDATIONS IF EXTERNAL (MOUNT AS CLOSE AS POSSIBLE TO PANELBOARD).

NOTE	CIRCUIT DESCRIPTION	POLE	AMP	C	K	A	B			C			POLE	AMP	C	K	A	NOTE
							POLE	AMP	C	K	POLE	AMP							C	K
LIGHTING	1	20 A	1	946 / 1260		2	20 A	1	RECEPTACLE FLEX SPACE A106									
RECEPTACLE FLEX SPACE A106	1	20 A	3		4	20 A	1	RECEPTACLE WOODWORKING										
RECEPTACLE MECHANICAL A103	1	20 A	5		6	15 A	1	REFRIGERATOR F-7										
ACCU-7	2	20 A	9	749 / 864	8	15 A	1	FURNACE F-8										
					10	20 A	2	ACCU-8										
					12	20 A	1	RECEPTACLE WOODWORKING										
					14	20 A	1	RECEPTACLE FLEX SPACE A101										
					15	20 A	1	SPARE BREAKER										
					16	20 A	1	SPARE BREAKER										
					18	20 A	1	SPARE BREAKER										
					20	20 A	1	SPARE BREAKER										
					22	20 A	1	SPARE BREAKER										
					24	--	1	SPARE ONLY										
					26	--	1	SPARE ONLY										
					28	--	1	SPARE ONLY										
					30	--	1	SPARE ONLY										
					32	--	1	SPARE ONLY										
					34	--	1	SPARE ONLY										
					36	--	1	SPARE ONLY										
					38	--	1	SPARE ONLY										
					40	--	3	SPACE FOR SPD										
					42	--												
VA SUBTOTALS:		5220 VA		2758 VA		2693 VA												
AMP SUBTOTALS:		44 A		23 A		22 A												
LOAD TYPE:	CONNECTED VA	DEMAND FACTOR	DEMAND AMPS	DEMAND VA	SUBTOTAL	PHASE	CIRCUIT NOTES:											
LIGHTING	946 VA	125.0%		1183 VA	3 A	5220 VA	A											
Other	0 VA	0.0%		0 VA	0 A	2758 VA	B											
Power	4723 VA	70.0%		3306 VA	9 A	2693 VA	C											
RECEPTACLE	5040 VA	100.0%		5040 VA	14 A	PANEL TOTALS												
						10666 VA	CONNECTED											
						9477 VA	DEMAND											
						30 A	CONNECTED											
						26 A	DEMAND											

25059.00 - TIPP SENIORS NEW ADDITION

1
E4.1
ELECTRICAL ONE-LINE DIAGRAM
NTS

LUMINAIRE SCHEDULE

MARK	MOUNTING	LAMPS							FIXTURE DESCRIPTION	COMMENTS	BASIS OF DESIGN & APPROVED MANUFACTURERS
		TYPE	MIN. LUMENS	CCT	CRI	BALLAST/DRIVER	Fixture	Voltage				Input Watts
A1	RECESSED	LED	5000 lm	3500K	80 CRI	0-10V DIMMING DOWN TO 10%	MVOLT	35 W	2'x4' LED RECESSED BACK-UT FLAT PANEL, ADJUSTABLE LUMENS AND COLOR TEMPERATURE, ALUMINUM FRAME, SATIN WHITE LENS, CSA/U.L. DAMP LOCATION LISTED.	LUMENS SHALL BE SET TO MEDIUM, COLOR TEMPERATURE SHALL BE SET TO 3500K.	LITHONIA | CPX2X4 AL08 80CRI SWW7 SWL COLUMBIA | CB24 SERIES
D1	RECESSED	LED	1300 lm	3500K	90 CRI	0-10V DIMMING DOWN TO 10%	120V	15 W	6" LED RECESSED WAFER DOWNLIGHT, ADJUSTABLE LUMENS AND COLOR TEMPERATURE, ALUMINUM DIE CAST FRAME, REMOTE DRIVER, POLYCARBONATE LENS, WHITE FINISH, CSA/U.L. WET LOCATION LISTED.	LUMENS SHALL BE SET TO MEDIUM, COLOR TEMPERATURE SHALL BE SET TO 3500K.	JUNO | WF6 AL020 SWW5 90CRI MW GREEN CREATIVE | MFR6HO SERIES
E	N/A	N/A	N/A	N/A	N/A	N/A	N/A	0 W	EXISTING LUMINAIRE TO REMAIN.	N/A	N/A
ED	N/A	N/A	N/A	N/A	N/A	N/A	N/A	0 W	EXISTING LUMINAIRE TO BE REMOVED.	N/A	N/A
EM	WALL	LED	N/A	N/A	N/A	N/A	MVOLT	1 W	LED TYPE EMERGENCY LIGHT FIXTURE, INJECTION MOLDED, FLAME RETARDANT, HIGH IMPACT THERMOPLASTIC HOUSING, PROVIDED WITH TEST SWITCH, STATUS INDICATOR, AND RECHARGEABLE BATTERY, 90 MINUTE BATTERY BACKUP, WHITE HOUSING, U.L. LISTED.	MOUNT 8"-0" AFF, UNO. CONNECT AHEAD OF LOCAL SWITCHING	LITHONIA | EUZL COMPASS | C02 SERIES
R1	WALL	LED	N/A	N/A	N/A	N/A	3.6VDC	3 W	LED REMOTE HEAD, GRAY CAST ALUMINUM, SEALED AND GASKETED, U.L. WET LOCATION LISTED.	MOUNT 8"-0" AFF, UNO. CONNECT TO EXIT LIGHT 'X1'.	LITHONIA | ELA QWP L0309 COMPASS | C03 SERIES
S1	SURFACE	LED	2000 lm	3500K	80 CRI	0-10V DIMMING DOWN TO 10%	MVOLT	16 W	2' LED STRIP LIGHT, ADJUSTABLE LUMENS AND COLOR TEMPERATURE, COLD-ROLLED STEEL HOUSING, WHITE HOUSING, CSA/U.L. LISTED.	LUMENS SHALL BE SET TO MEDIUM, COLOR TEMPERATURE SHALL BE SET TO 3500K.	LITHONIA | CSS124 AL015 MVOLT MIN10 ZT SWW3 80CRI UP | VS2-2I SERIES
S2	SURFACE	LED	4000 lm	3500K	80 CRI	0-10V DIMMING DOWN TO 10%	MVOLT	30 W	4' LED STRIP LIGHT, ADJUSTABLE LUMENS AND COLOR TEMPERATURE, COLD-ROLLED STEEL HOUSING, WHITE HOUSING, CSA/U.L. LISTED.	LUMENS SHALL BE SET TO MEDIUM, COLOR TEMPERATURE SHALL BE SET TO 3500K.	LITHONIA | CSS148 AL03 MVOLT MIN10 ZT SWW3 80R1 UP | VS4-3I SERIES
W1	WALL	LED	2600 lm	4000K	80 CRI	ELECTRONIC DRIVER	120V	26 W	LED EXTERIOR SECURITY FLOOD LIGHT WITH TWO HEADS, DIE CAST ALUMINUM HOUSING, INTEGRAL PHOTOCELL, ADJUSTABLE LUMEN OUTPUT, ADJUSTABLE COLOR TEMPERATURE, INTEGRAL PIR MOTION SENSOR, DARK BRONZE FINISH, U.L. WET LISTED.	LUMENS SHALL BE SET TO HIGH, COLOR TEMPERATURE SHALL BE SET TO 4000K. WALL MOUNT AT 7'-6" AFF.	LITHONIA | HGX LED 2RH AL0 SWW2 120 PIR DDB EXO | ML-2L SERIES
X1	CEILING/WALL	LED	N/A	N/A	N/A	N/A	MVOLT	3 W	COMBINATION EXIT/EMERGENCY LIGHT WITH BATTERY BACKUP (90 MINUTES MINIMUM), WHITE THERMOPLASTIC HOUSING WITH TWO ADJUSTABLE EMERGENCY HEADS, RED LETTERING, U.L. LISTED.	CONNECT AHEAD OF LOCAL SWITCHING. PROVIDE CONNECTIONS TO REMOTE HEAD 'R1' AS NECESSARY.	LITHONIA HQM LED R HO COMPASS CCRRC SERIES



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CONSTRUCTION DOCUMENTS | 01/13/2026

PROJECT NUMBER: 25059.00
DRAWN BY: AEM
CHECKED BY: HIP
SHEET NUMBER: E4.1
SHEET TITLE: ELECTRICAL ONE-LINE DIAGRAM AND SCHEDULES
E4.1