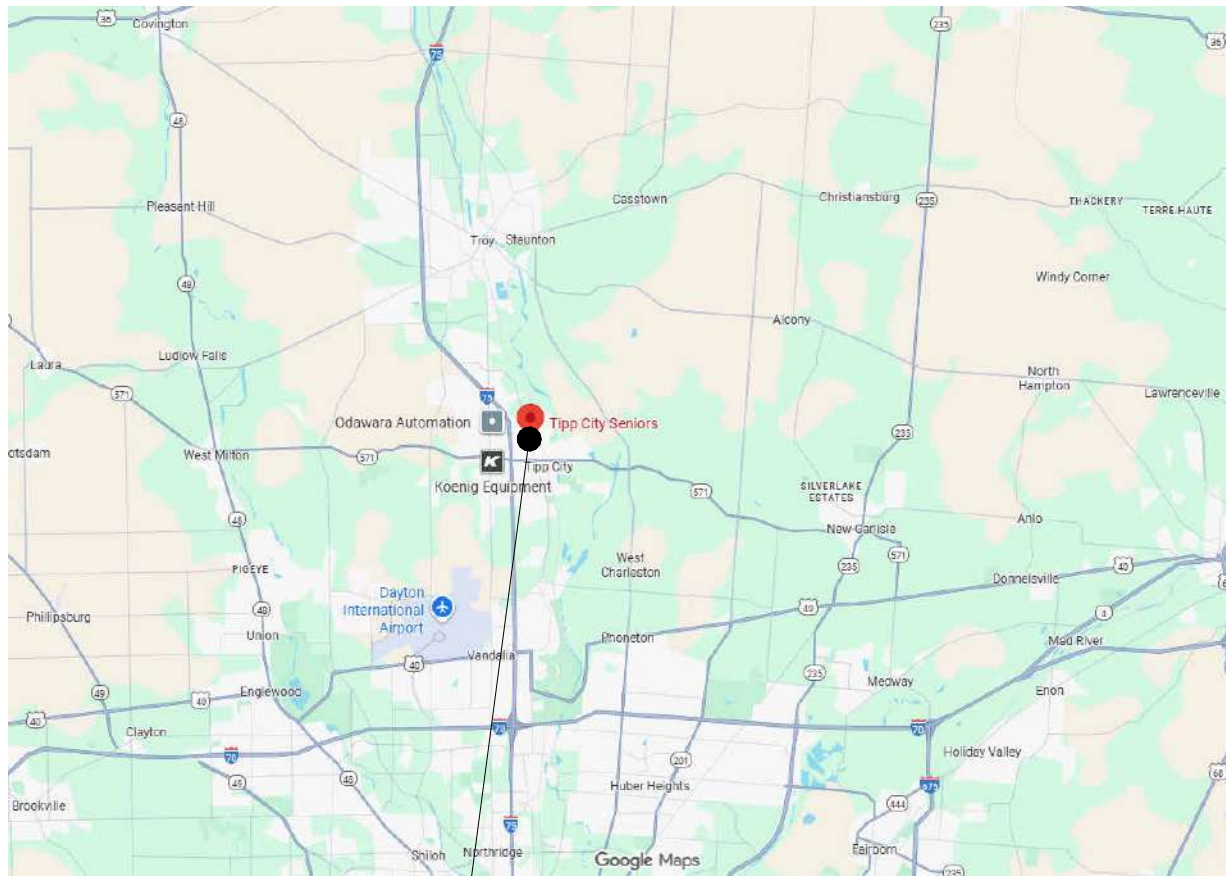


# TIPP CITY SENIORS NEW ADDITION

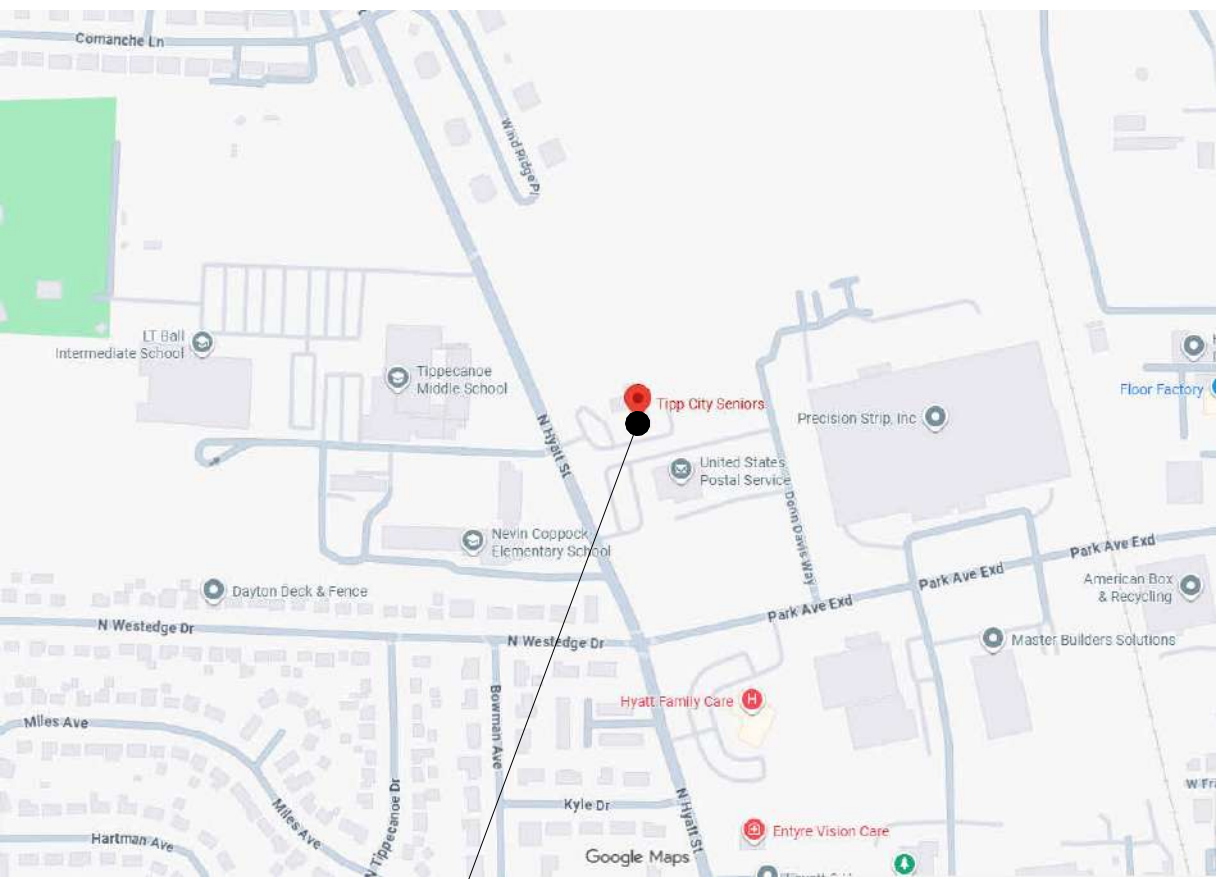
528 NORTH HYATT STREET, TIPP CITY, OH 45371

CONSTRUCTION DOCUMENTS

01/13/2026



528 N HYATT ST - TIPP CITY, OHIO 45371

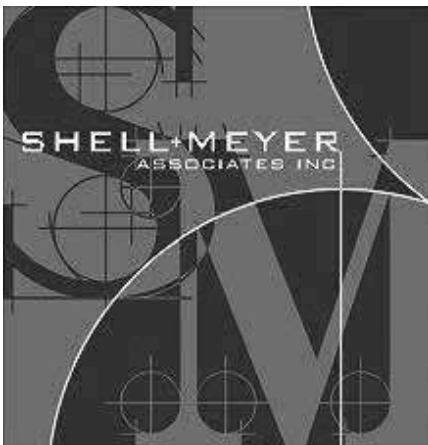


528 N HYATT ST - TIPP CITY, OHIO 45371

STRUCTURAL ENGINEER:

SHELL + MEYER ASSOCIATES, INC.

2202 SOUTH PATTERSON BLVD  
DAYTON, OHIO 45429  
PH: (937) 298-4631



BOARD OF TRUSTEES

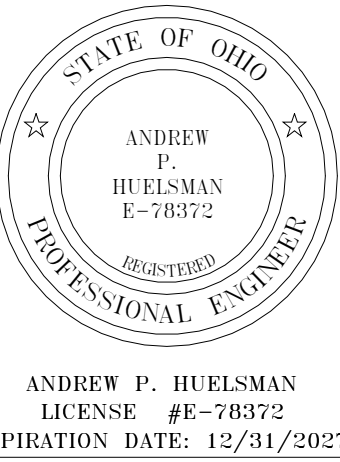
PRESIDENT.....JOANNA PITTENGER  
1ST VICE PRESIDENT.....KELLY GILLIS  
2ND VICE PRESIDENT.....CHRIS SWANK  
RECORDING SECRETARY.....PAM HALE  
CORRESPONDING SECRETARY.....DEBBIE BROWN  
TREASURER.....JUDY PURVIS  
TRUSTEE.....CAROL MAGATO  
TRUSTEE.....PAM GOLDEN  
TRUSTEE.....PAT MCFARLAND  
TRUSTEE.....STEVE MINNICH

ARCHITECTS  
MECHANICAL, CIVIL  
ELECTRICAL &  
PLUMBING ENGINEERS  
LANDSCAPE ARCHITECTS  
TECHNOLOGY DESIGNERS  
INTERIOR DESIGNERS  
MASTER PLANNING



38 SOUTH LINCOLN DRIVE  
PO BOX 71  
MINSTER, OHIO 45865  
419.628.4240  
1156 DUBLIN ROAD  
SUITE 102  
COLUMBUS, OHIO 43215  
614.502.4240  
275 VETERANS WAY  
SUITE 200  
CARMEL, INDIANA 46032  
317.343.9343  
1690 BROADWAY  
SUITE 19-455  
FORT WAYNE, INDIANA  
260.299.4240

| SHEET INDEX   |  |
|---|--|
| GENERAL / CIVIL / LANDSCAPE / ARCHITECTURAL / STRUCTURAL / PLUMBING / MECHANICAL / ELECTRICAL |  |
| SHEET NUMBER  | SHEET NAME   |
| G0.1  | COVER SHEET  |
| G1.0  | FIRST FLOOR CODE PLAN  |
| S51.1   | SITE SURVEY  |
| C1.0  | SITE UTILITIES   |
| C2.0  | SITE GRADING   |
| C3.0  | EROSION CONTROL  |
| L1.1  | SITE DEMOLITION, SITE LAYOUT AND MATERIALS PLAN AND SITE DETAILS |
| A0.1  | GENERAL NOTES, ABBREVIATIONS AND SYMBOLS                         |
| A01.0   | FIRST FLOOR AND REFLECTED CEILING DEMOLITION PLAN                |
| A05.0   | ROOF DEMOLITION  |
| A1.0  | FIRST FLOOR PLAN - OVERALL                                       |
| A1.1  | FIRST FLOOR PLAN - UNIT A  |
| A2.1  | BUILDING ELEVATIONS - PARTIAL EXTERIOR                           |
| A3.1  | BUILDING SECTIONS  |
| A4.1  | WALL SECTIONS  |
| A4.2  | WALL SECTION DETAILS & WALL ASSEMBLIES                           |
| A5.1  | ROOF PLAN AND ROOF DETAILS                                       |
| A6.1  | DOOR SCHEDULE & DOOR DETAILS                                     |
| A7.1  | FIRST FLOOR REFLECTED CEILING PLAN - UNIT A                      |
| A8.1  | FIRST FLOOR EQUIPMENT PLAN - UNIT A                              |
| S0.1  | STRUCTURAL NOTES   |
| S1.0  | FOUNDATION PLAN  |
| S2.0  | FOUNDATION SECTIONS  |
| S3.0  | ROOF FRAMING PLAN  |
| S4.0  | FRAMING SECTIONS   |
| S5.0  | WOOD TRUSS BRACING   |
| P1.1  | GENERAL NOTES, ABBREVIATIONS, LEGENDS, AND SHEET INDEX           |
| P2.1  | FIRST FLOOR PLUMBING PLAN - UNIT A                               |
| FP1.1   | FIRE PROTECTION PLAN   |
| M1.1  | GENERAL NOTES, ABBREVIATIONS, LEGENDS, AND SHEET INDEX           |
| M2.1  | FIRST FLOOR MECHANICAL PLAN                                      |
| E1.1  | GENERAL NOTES, ABBREVIATIONS, LEGENDS AND DETAILS                |
| ED1.1   | ELECTRICAL DEMOLITION PLANS                                      |
| E2.1  | ELECTRICAL SITE PLAN   |
| E3.1  | ELECTRICAL PLANS   |
| E4.1  | ELECTRICAL ONE-LINE DIAGRAM AND SCHEDULES                        |



TIPP CITY SENIORS NEW ADDITION

528 NORTH HYATT STREET, TIPP CITY, OH 45371

| ISSUANCES/REVISIONS    |            |
|------------------------|------------|
| CONSTRUCTION DOCUMENTS | 01/13/2026 |

| PROJECT NUMBER: | DRAWN BY: | CHECKED BY: |
|-----------------|-----------|-------------|
| 25059.00        | MLE       | SMD         |

SHEET TITLE:

COVER SHEET

SHEET NUMBER:

G0.1

CODE INFORMATION

BUILDING DESCRIPTION: ADDITION TO THE TIPP CITY SENIORS BUILDING

APPLICABLE CODE: 2024 OHIO BUILDING CODE

TOTAL OCCUPANTS: 493 OCCUPANTS

NUMBER OF EXITS  
REQUIRED: 2  
ACTUAL: 7

NUMBER OF STORIES ABOVE GRADE PLANE:  
EXISTING TO REMAIN - 2 STORIES

DESIGN UNIFORM LOAD: SEE STRUCTURAL SHEETS

BUILDING AREA

OCCUPANCY / USE GROUP: A-3

CONSTRUCTION TYPE: TYPE V-B

ALLOWABLE AREA (TABLE 506.2): 18,000 SF

ACTUAL BUILDING AREA: 7,938 SF (EXISTING)  
+ 1,897 SF (ADDITION)  
9,835 SF

FIRE PROTECTION: FULLY SPRINKLERED

PLUMBING FIXTURE COUNT

(BASED ON NON-SIMULTANEOUS USE)

TOTAL OCCUPANTS  
493 OCCUPANTS

FIXTURES REQUIRED

247 / 125 = 2 WATER CLOSET(S) - MALE  
247 / 65 = 4 WATER CLOSET(S) - FEMALE  
247 / 200 = 2 LAVATORY(IES) - MALE  
247 / 200 = 2 LAVATORY(IES) - FEMALE  
493 / 500 = 1 DRINKING FOUNTAIN(S)  
1 SERVICE SINK(S)

ACTUAL PROVIDED

2 WATER CLOSET(S) - MALE  
2 URINAL(S) - MALE  
2 LAVATORY(IES) - MALE  
4 WATER CLOSET(S) - FEMALE  
2 LAVATORY(IES) - FEMALE  
1 DRINKING FOUNTAIN(S)  
1 SERVICE SINK(S)  
1 UNISEX TOILET ROOMS (WC AND LAVATORY)

CODE PLAN LEGEND

Ⓢ ← OCCUPANT LOAD THROUGH EXIT

XXX ← CLEAR EXIT WIDTH

XXX ← ALLOWABLE NUMBER OF OCCUPANTS THROUGH EXIT

OCCUPANCY GROUPS USED

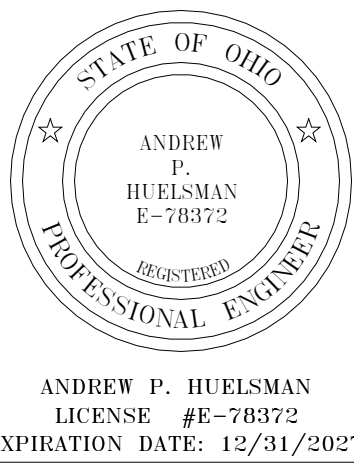
A ASSEMBLY

BUILDING AREA SCHEDULE

| AREA NUMBER | LEVEL       | AREA    | NOTES |
|-------------|-------------|---------|-------|
| AREA 1      | FIRST FLOOR | 7938 SF |       |
| AREA 2      | FIRST FLOOR | 1897 SF |       |
| Grand total |             | 9835 SF |       |

OCCUPANCY TABULATION PER 2024 OBC TABLE 1004.5

| ROOM NUMBER | NAME                  | AREA (NET) | CC  | OCCUPANT LOAD FACTOR | NO. OCCUPANTS | NUMBER OF EXITS |
|-------------|-----------------------|------------|-----|----------------------|---------------|-----------------|
| A101        | FLEX SPACE            | 680 SF     |     |                      |               |                 |
| A102        | TOOL STORAGE          | 39 SF      | 300 | 1                    |               |                 |
| A103        | MECHANICAL            | 24 SF      | 300 | 1                    |               |                 |
| A104        | TABLE & CHAIR STORAGE | 116 SF     | 300 | 1                    |               |                 |
| A106        | FLEX SPACE            | 750 SF     | 15  | 50                   |               |                 |
| A107        | MECHANICAL            | 39 SF      | 300 | 1                    |               |                 |
| A108        | STORAGE               | 117 SF     | 300 | 1                    |               |                 |
| B101        | LOBBY                 |            |     |                      |               |                 |
| B102        | CONFERENCE ROOM       |            |     |                      |               |                 |
| B103        | CORRIDOR              |            |     |                      |               |                 |
| B104        | COAT ROOM             |            |     |                      |               |                 |
| B105        | OFFICE                |            |     |                      |               |                 |
| B106        | FILE STORAGE          |            |     |                      |               |                 |
| B107        | MECHANICAL            |            |     |                      |               |                 |
| B108        | OFFICE                |            |     |                      |               |                 |
| B109        | RESTROOM              |            |     |                      |               |                 |
| B110        | STAIR                 |            |     |                      |               |                 |
| B111        | STORAGE               |            |     |                      |               |                 |
| B112        | SOCIAL AREA           |            |     |                      |               |                 |
| B113        | KITCHEN STORAGE       |            |     |                      |               |                 |
| B114        | STAIR                 |            |     |                      |               |                 |
| B115        | CUSTODIAL             |            |     |                      |               |                 |
| B116        | CATERING KITCHEN      |            |     |                      |               |                 |
| B117        | CORRIDOR              |            |     |                      |               |                 |
| B118        | KITCHEN               |            |     |                      |               |                 |
| B119        | KITCHEN STORAGE       |            |     |                      |               |                 |
| B120        | MECHANICAL            |            |     |                      |               |                 |
| B121        | CORRIDOR              |            |     |                      |               |                 |
| B122        | RECREATION ROOM       |            |     |                      |               |                 |
| B123        | STORAGE               |            |     |                      |               |                 |
| B124        | EVENT SPACE           |            |     |                      |               |                 |
| B125        | CORRIDOR              |            |     |                      |               |                 |
| B126        | MEN'S RESTROOM        |            |     |                      |               |                 |
| B127        | WOMEN'S RESTROOM      |            |     |                      |               |                 |



TIPP CITY SENIORS NEW ADDITION

524 NORTH HUNT STREET, TIPP CITY, OH 45371

ISSUANCES/REVISIONS

CONSTRUCTION DOCUMENTS | 01/13/2025

PROJECT NUMBER: 25059.00

DRAWN BY: MLE

CHECKED BY: SMD

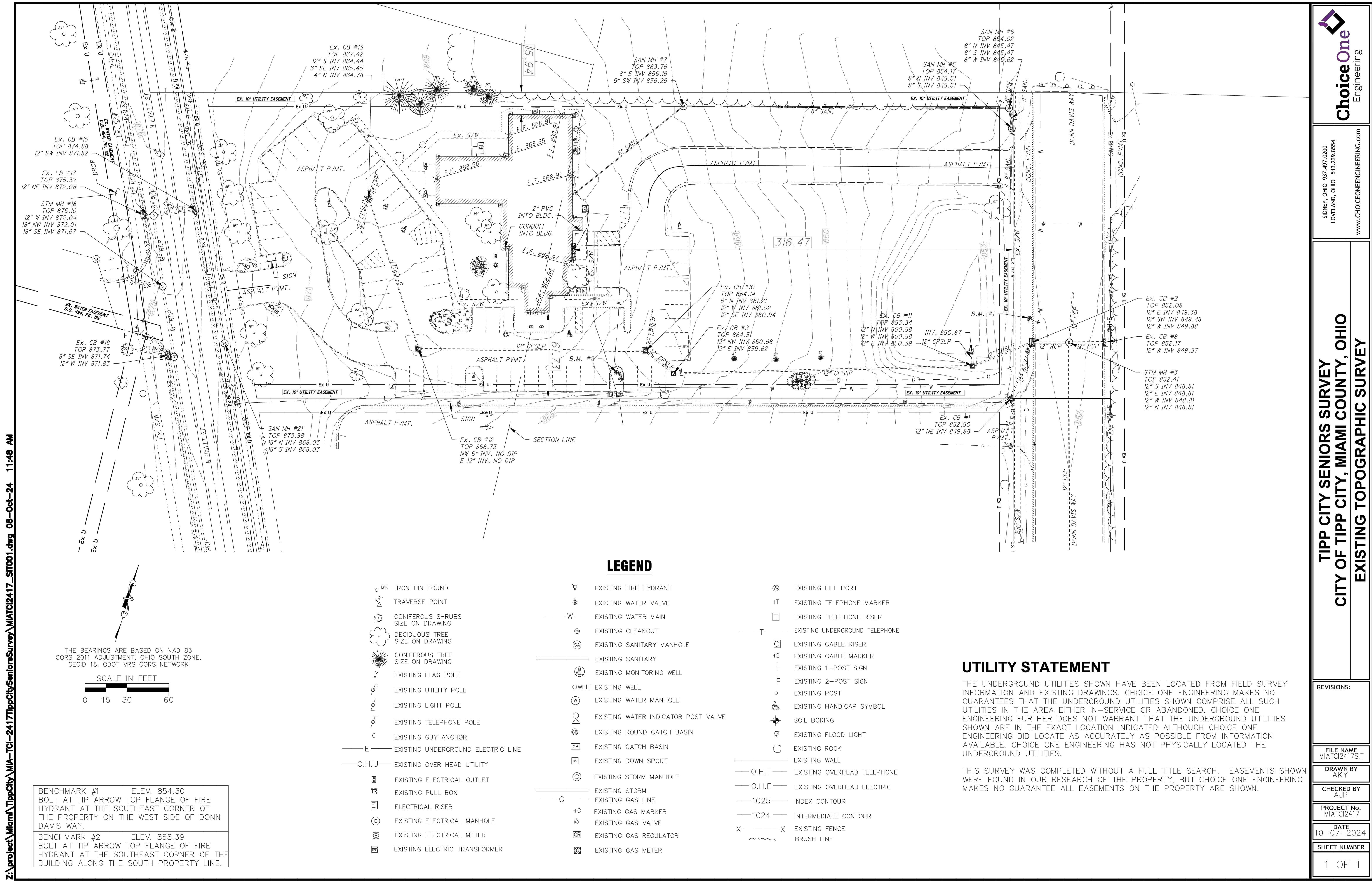
SHEET TITLE:

FIRST FLOOR CODE PLAN

SHEET NUMBER:

G1.0









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GENERAL NOTES

1. SILT FENCE IS TO BE INSTALLED IN AREAS INDICATED ON THE PLANS. MAX. 6' O.C. SPACING ON POSTS UNLESS OTHERWISE SPECIFIED BY MANUFACTURER. SILT FENCE SHALL REMAIN IN PLACE UNTIL WORK IS COMPLETE OR OWNERS REPRESENTATIVE HAS APPROVED THEIR REMOVAL.

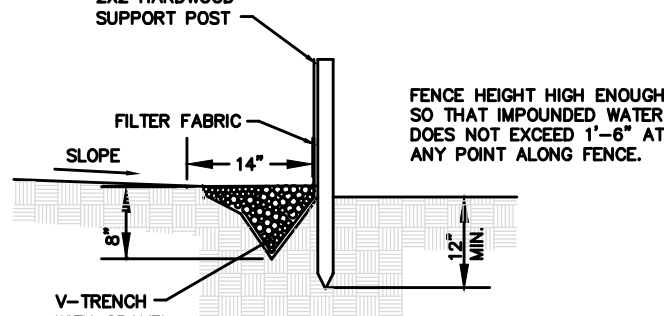
MAINTENANCE

SILT FENCES AND BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.

SHOULD THE FABRIC ON A SILT FENCE OR FILTER BARRIER DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER IS STILL NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.

SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE-THIRD THE HEIGHT OF THE BARRIER.

ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE OR FILTER BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM WITH THE EXISTING GRADE, PREPARED AND SEEDED.



SILT FENCE DETAIL  
NO SCALE

SILT FENCE NOTES

SILT FENCES, THIS SEDIMENT BARRIER UTILIZES STANDARD STRENGTH OR EXTRA STRENGTH SYNTHETIC FILTER FABRICS. IT IS DESIGNED FOR SITUATIONS IN WHICH ONLY SHEET OR OVERLAND FLOWS ARE EXPECTED.

THE HEIGHT OF A SILT FENCE SHALL NOT EXCEED 36 INCHES (HIGHER FENCES MAY IMPOUND VOLUMES OF WATER SUFFICIENT TO CAUSE FAILURE TO THE STRUCTURE).

THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID THE USE OF JOINTS. WHEN JOINTS ARE NECESSARY FILTER CLOTH SHALL BE SPLICED TOGETHER ONLY AT A SUPPORT POST WITH A MINIMUM 6-INCH OVERLAYS AND SECURELY SEALED.

WHEN STANDARD STRENGTH FILTER FABRIC IS USED A WIRE MESH SUPPORT FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY DUTY WIRE STAPLES AT LEAST 1 INCH LONG, TIE WIRES OR HOG RINGS. THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF 2 INCHES AND SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE.

POSTS SHALL BE SPACED A MAXIMUM OF 10 FEET APART AT THE BARRIER LOCATION AND DRIVEN SECURELY INTO THE GROUND (MINIMUM OF 12 INCHES). WHEN EXTRASTRENGTH FABRIC IS USED WITHOUT THE WIRE SUPPORT, FENCE POST SPACING SHALL NOT EXCEED 6 FEET.

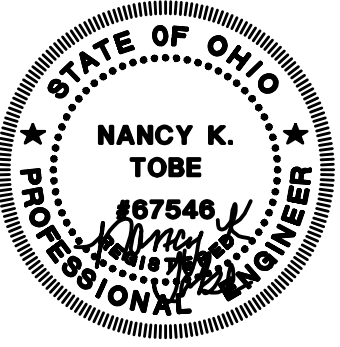
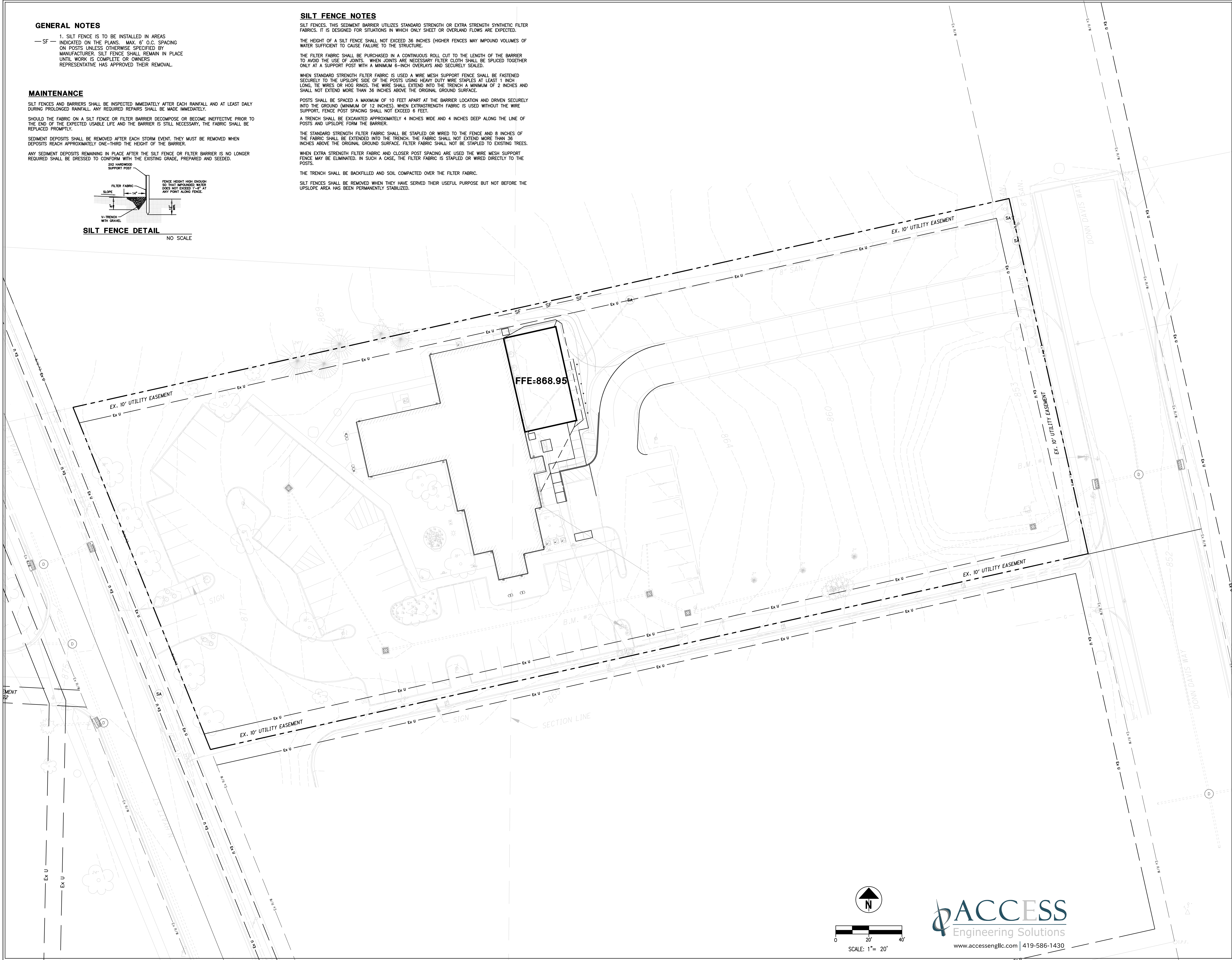
A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4 INCHES WIDE AND 4 INCHES DEEP ALONG THE LINE OF POSTS AND UPSLOPE FORM THE BARRIER.

THE STANDARD STRENGTH FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE FENCE AND 8 INCHES OF THE FABRIC SHALL BE EXTENDED INTO THE TRENCH. THE FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE. FILTER FABRIC SHALL NOT BE STAPLED TO EXISTING TREES.

WHEN EXTRA STRENGTH FILTER FABRIC AND CLOSER POST SPACING ARE USED THE WIRE MESH SUPPORT FENCE MAY BE ELIMINATED. IN SUCH A CASE, THE FILTER FABRIC IS STAPLED OR WIRED DIRECTLY TO THE POSTS.

THE TRENCH SHALL BE BACKFILLED AND SOIL COMPACTED OVER THE FILTER FABRIC.

SILT FENCES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE BUT NOT BEFORE THE UPSLOPE AREA HAS BEEN PERMANENTLY STABILIZED.



TIPP CITY SENIORS NEW ADDITION

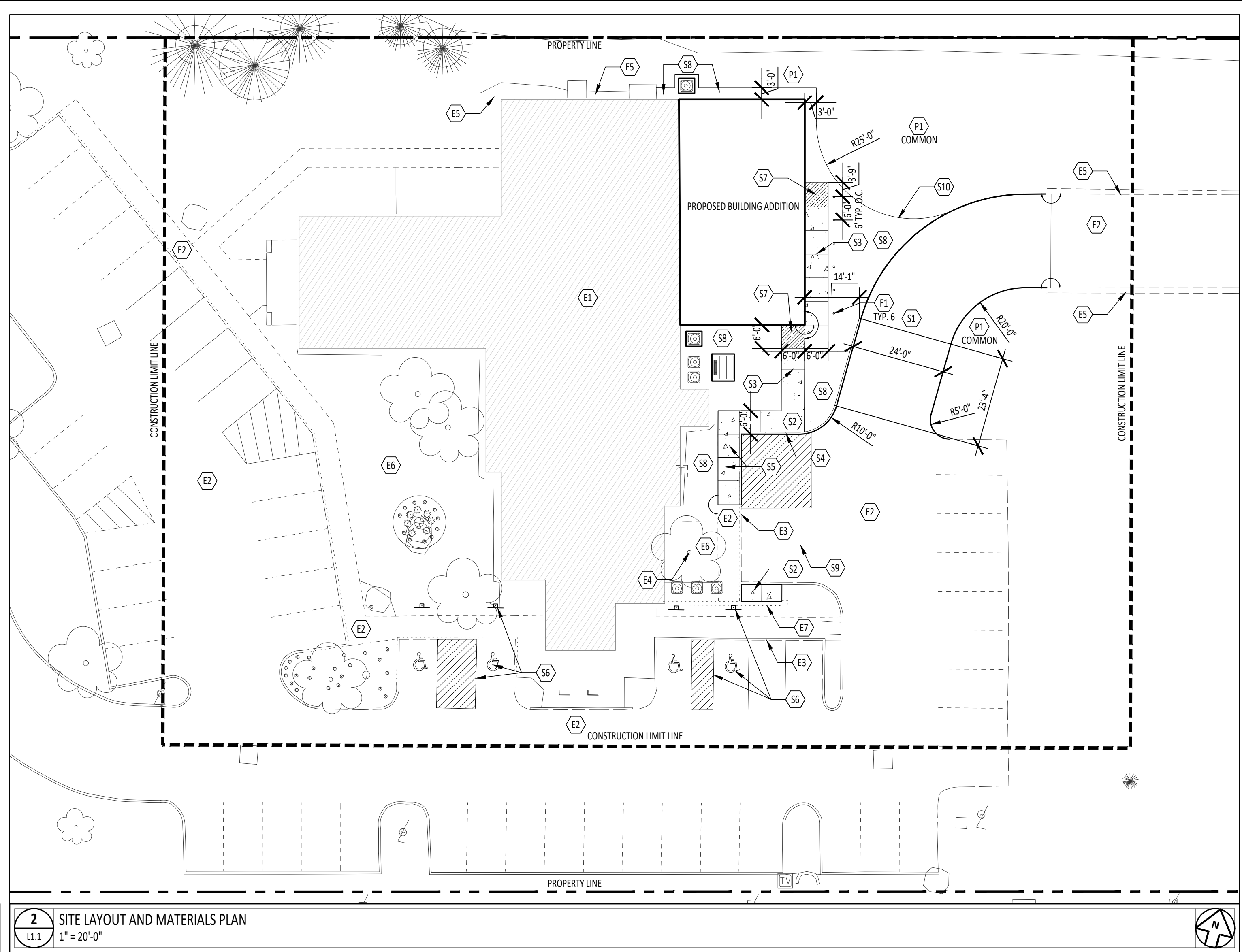
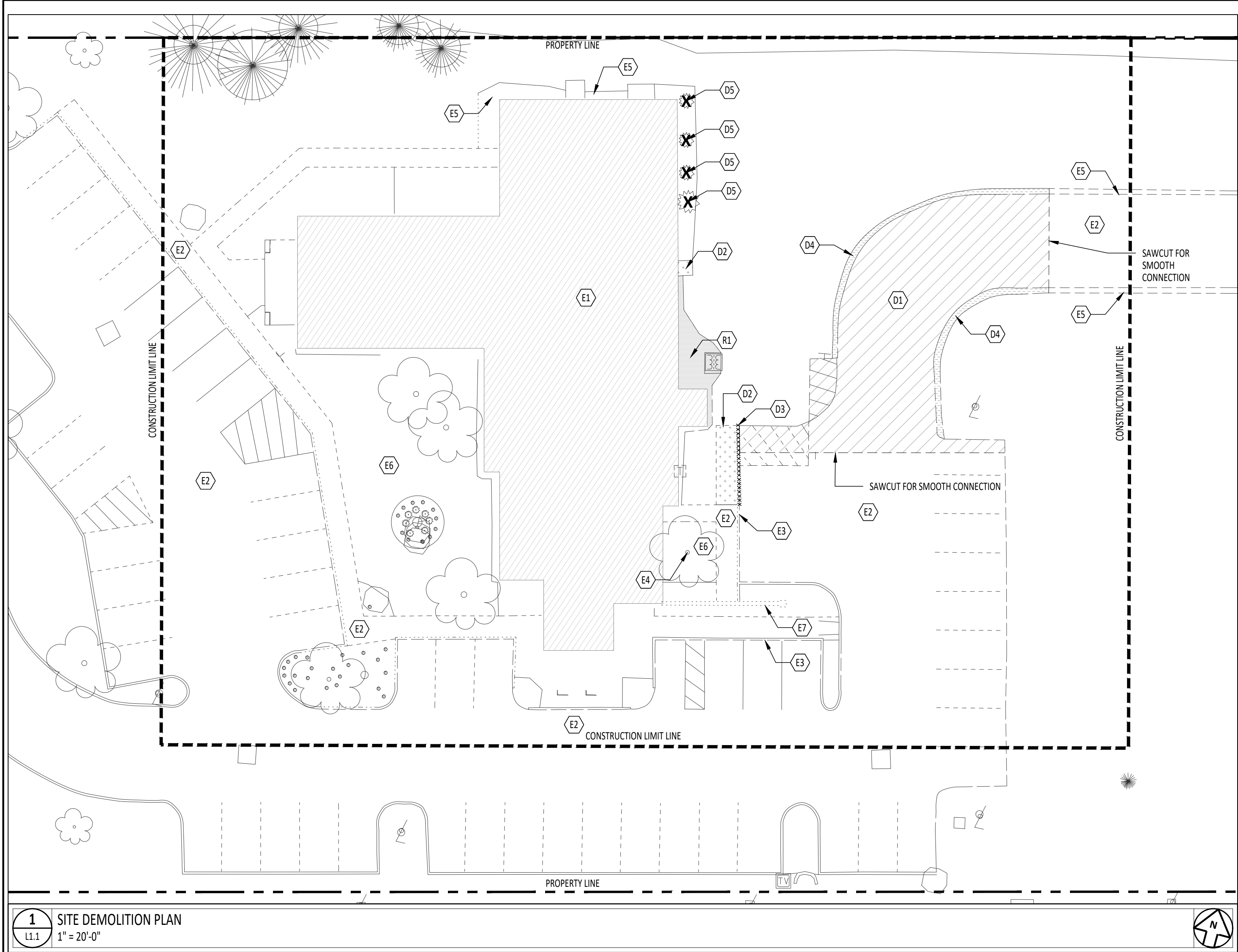
528 NORTH WATT STREET

ISSUANCES/REVISIONS  
CONSTRUCTION DOCUMENTS 1/13/2020

PROJECT NUMBER: 25059.00  
DRAWN BY: NKT  
CHECKED BY: NKT

SHEET TITLE:  
EROSION CONTROL PLAN

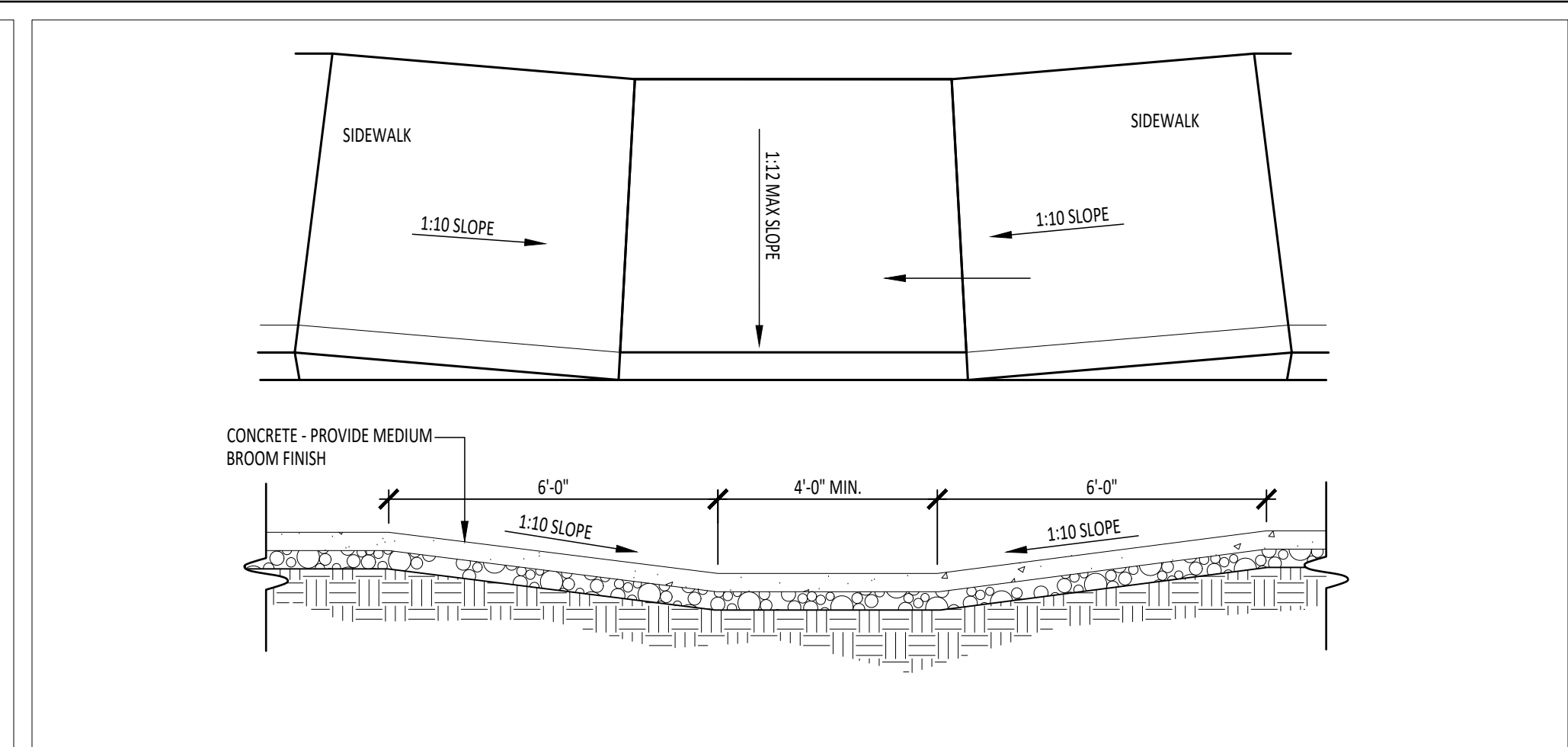
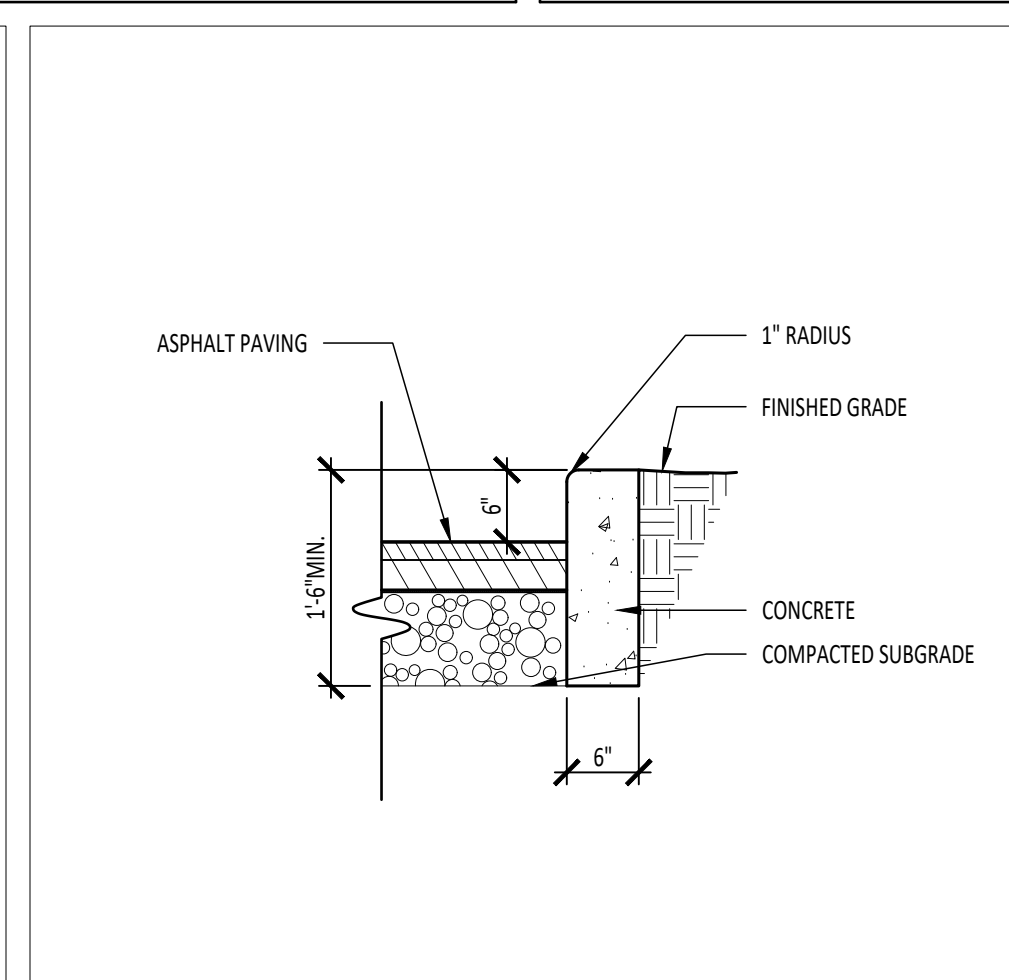
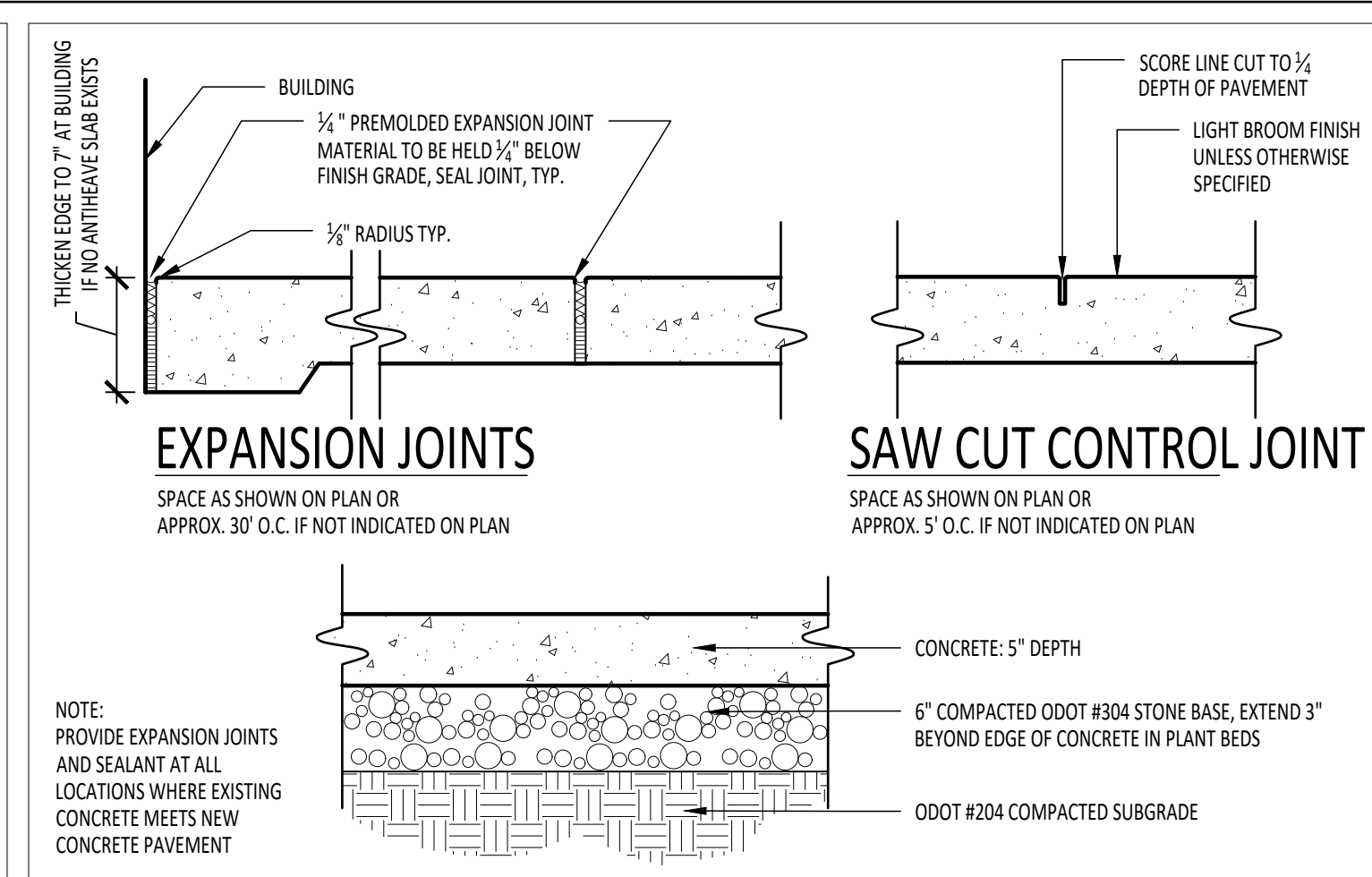
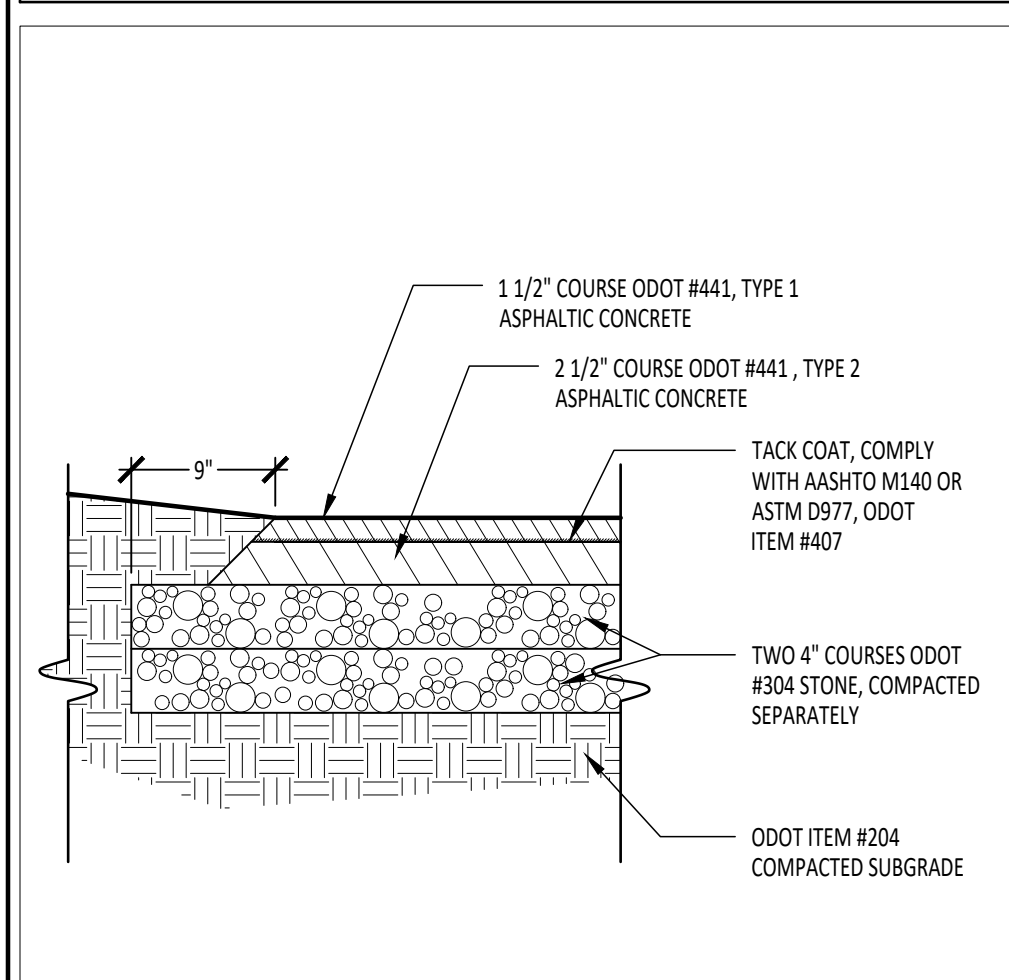
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C3.0



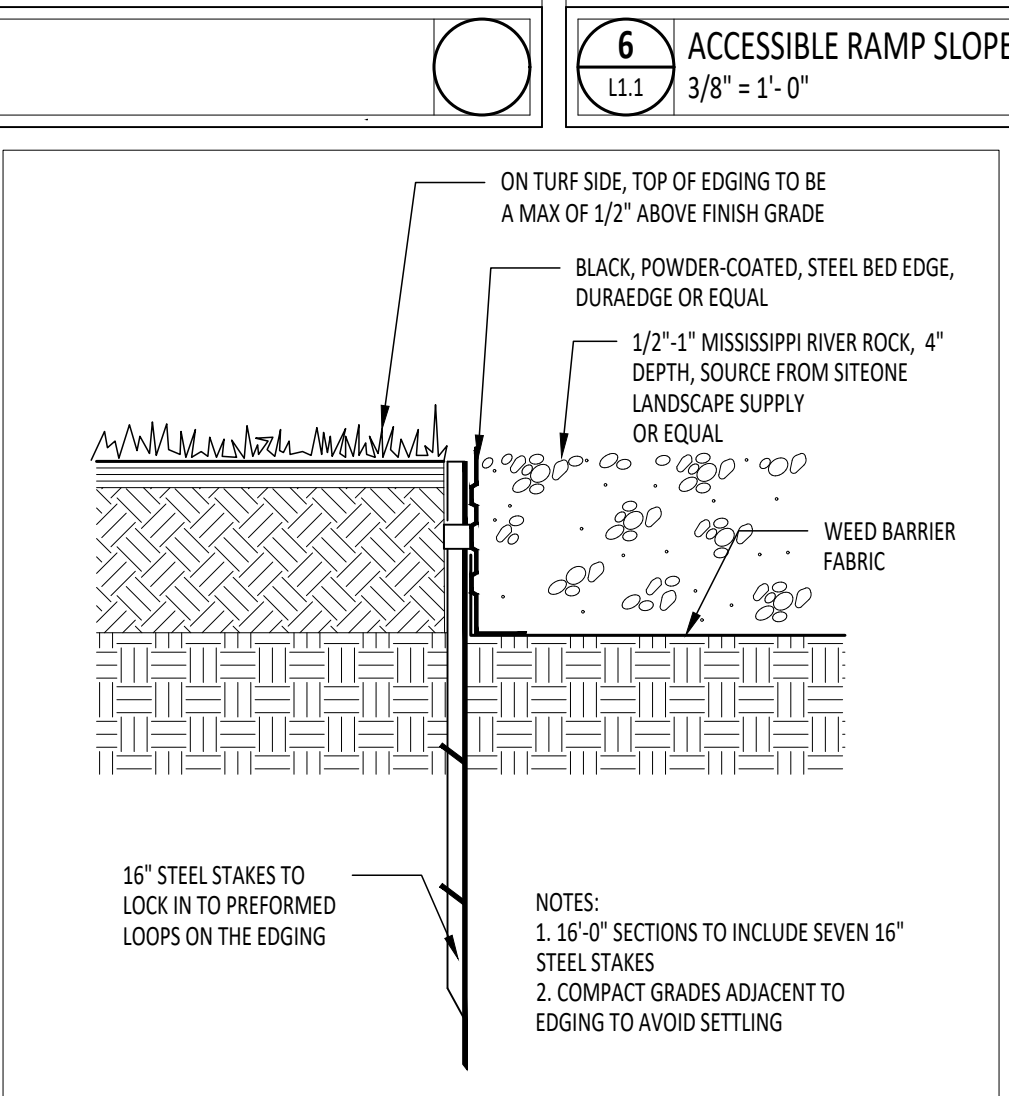
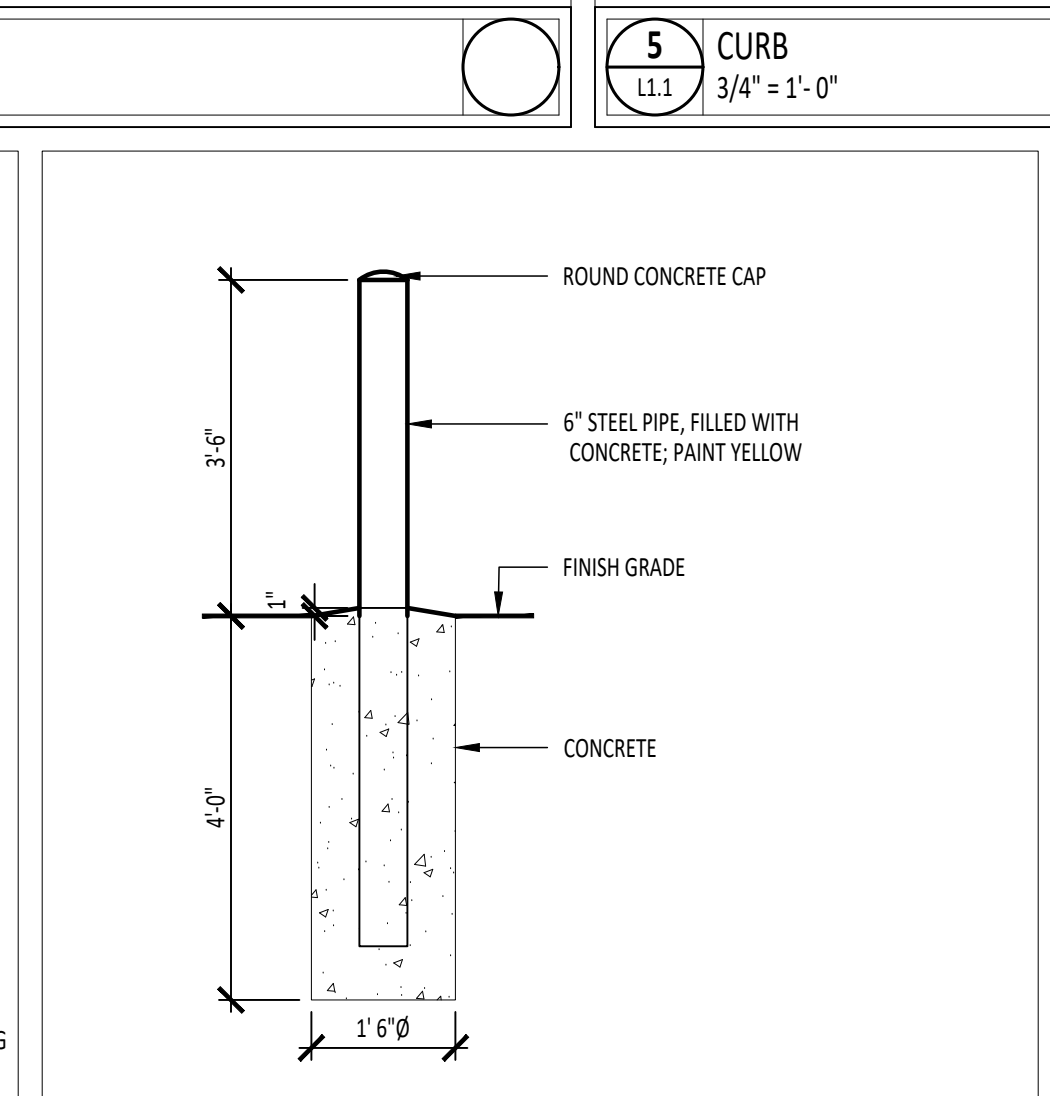
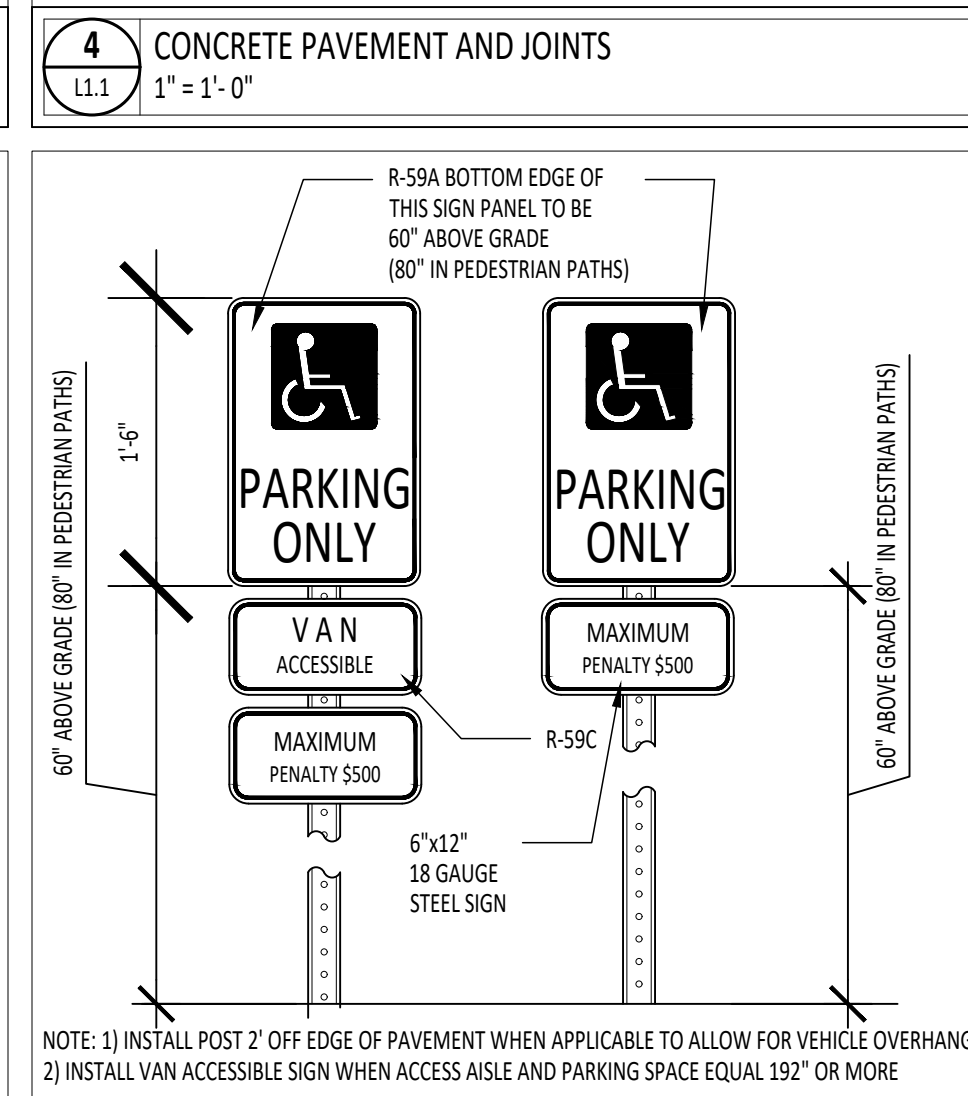
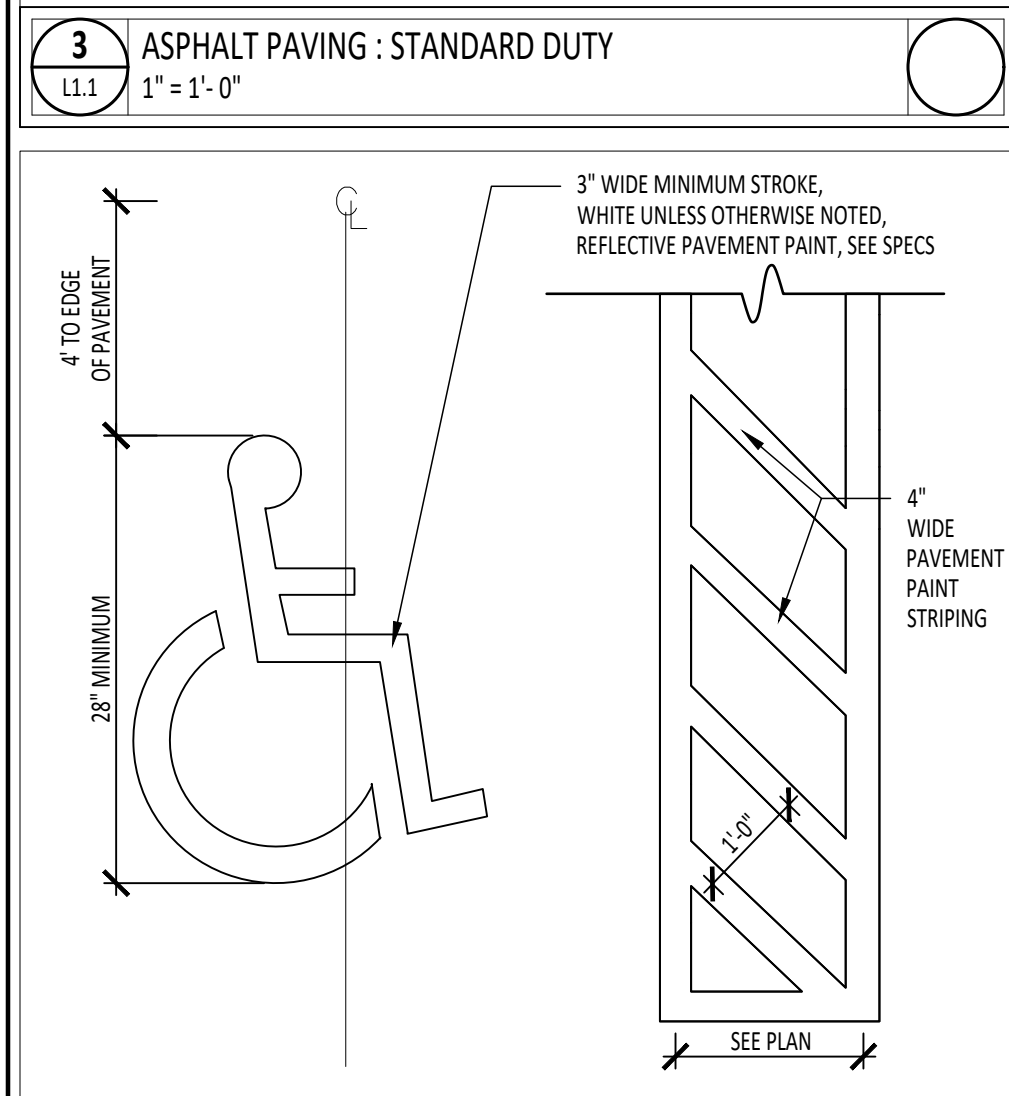
| KEYNOTE SCHEDULE |   |
|------------------|---|
| EXISTING         |   |
| E1               | EXISTING STRUCTURE  |
| E2               | EXISTING PAVEMENT   |
| E3               | EXISTING CURB   |
| E4               | EXISTING TREE TO REMAIN                                       |
| E5               | EXISTING GRAVEL   |
| E6               | EXISTING LAWN   |
| E7               | EXISTING FENCE  |
| DEMOLITION       |   |
| D1               | REMOVE ASPHALT PAVEMENT                                       |
| D2               | REMOVE CONCRETE PAVEMENT                                      |
| D3               | REMOVE CURB   |
| D4               | REMOVE STONE  |
| D5               | REMOVE PLANT  |
| SALVAGE/RELOCATE |   |
| R1               | SALVAGE RIVER ROCK AND RETURN TO OWNER FOR PROJECT USE        |
| SITE             |   |
| S1               | STANDARD DUTY ASPHALT PAVEMENT, SEE DETAIL 3/L1.1             |
| S2               | CONCRETE PAVEMENT, SEE DETAIL 4/L1.1                          |
| S3               | SAWCUT CONTROL AND EXPANSION JOINT, SEE DETAIL 4/L2.1         |
| S4               | CONCRETE CURB, SEE DETAIL 5/L1.1                              |
| S5               | ACCESSIBLE CURB RAMP, SEE DETAIL 6/L1.1                       |
| S6               | ACCESSIBLE PARKING SPACE WITH SIGNAGE, SEE DETAILS 7 & 8/L1.1 |
| S7               | ANTI-HEAVE SLAB, SEE STRUCTURAL                               |
| S8               | 4" DEPTH RIVER ROCK, SEE DETAIL 10/L1.1                       |
| S9               | PAVEMENT PAINT, SEE SPECIFICATIONS                            |
| S10              | BLACK, POWDER-COATED LANDSCAPE BED EDGE, SEE DETAIL 10/L1.1   |
| FURNISHINGS      |   |
| F1               | CONCRETE FILLED STEEL BOLLARD, SEE DETAIL 9/L1.1              |
| PLANTING         |   |
| P1               | SEEDED LAWN   |

| DEMOLITION LEGEND |                             |
|-------------------|-----------------------------|
|                   | P.O.B. (POINT OF BEGINNING) |
|                   | REMOVE                      |
|                   | REMOVE ASPHALT PAVEMENT     |
|                   | REMOVE CONCRETE             |
|                   | REMOVE STONE                |
|                   | SALVAGE RIVER ROCK          |

| LEGEND |  |
|--------|--|
|        | P.O.B. (POINT OF BEGINNING)                      |
|        | ALIGN  |
|        | KEYED NOTE DESIGNATION-REFER TO NOTES THIS SHEET |
|        | STANDARD DUTY ASPHALT PAVING                     |
|        | STANDARD DUTY CONCRETE PAVING                    |
|        | ANTI-HEAVE SLAB                                  |



- GENERAL NOTES**
- FIELD VERIFY DIMENSIONS & CONDITIONS PRIOR TO START OF CONSTRUCTION. NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCY OR SITUATION DISCOVERED THAT DOES NOT CONFORM TO CONSTRUCTION DOCUMENTS.
  - WORK PERFORMED IS SUBJECT TO APPROVAL BY THE ARCHITECT AND OWNER. WORK FOUND TO BE UNSATISFACTORY SHALL BE REMOVED AND PROPERLY REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
  - TEMPORARILY SUPPORT WALLS, HEADERS, STRUCTURES, PIPING, DUCTWORK, CONDUIT, ETC., AS REQUIRED UNTIL FINAL SUPPORTS ARE IN PLACE.
  - PATCH & REPAIR ALL AREAS, SURFACES & MATERIALS TO CONDITION OF SURROUNDING AREA.
  - CLOSELY COORDINATE WORK WITH THE OWNER AND WITH ALL OTHER CONTRACTORS HIRED BY THE OWNER. CLARIFY IN ADVANCE ANY QUESTIONS AS TO SCOPE OF WORK AND AREAS OF RESPONSIBILITY.
  - PATCH AND REPAIR DISTURBED LAWN AREAS.
  - DIMENSIONS ARE TO FACE OF CURB, FENCE, COLUMN OR CENTERLINE UNLESS OTHERWISE NOTED. WALLS SHALL BE CENTERED ON DOORWAYS.
  - WALKS SHALL MEET BOTH VERTICALLY AND HORIZONTALLY.
  - LAYOUT AND DIMENSIONS ARE PARALLEL AND PERPENDICULAR TO ONE ANOTHER UNLESS OTHERWISE INDICATED IN PLANS.
  - CONTRACTOR SHALL CALL OUPS (800) 362-2764 PRIOR TO COMMENCEMENT OF ANY WORK.
  - GENERAL CONTRACTOR IS TO MAINTAIN THE SITE WITHIN THE CONSTRUCTION FENCELINE THROUGHOUT CONSTRUCTION IN A CLEAN AND ORDERLY MANNER. MOW GRASS, MAINTAIN PLANT BEDS TO BE FREE OF WEEDS, PICK-UP TRASH, ETC. THE SITE IS TO BE LEFT IN THE SAME OR BETTER CONDITION THAN ORIGINALLY FOUND.

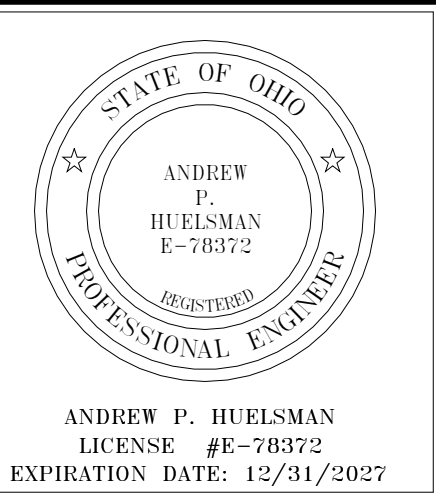


- ABBREVIATIONS USED ON THE CONTRACT DOCUMENTS, INCLUDE BUT ARE NOT LIMITED TO THOSE LISTED BELOW.

|  |  |  |   |  |   |  |  |  |
|--|--|--|---|--|---|--|--|--|
| <b>A</b><br>AB - ANCHOR BOLT<br>AC - AIR CONDITIONING<br>ACC - ACCESSIBLE<br>ACOUS - ACOUSTICAL<br>ACT - ACOUSTICAL CEILING TILE<br>AD - AREA DRAIN<br>ADD - ADDITIONAL<br>ADI - ADJUSTABLE<br>AFF - ABOVE FINISHED FLOOR<br>AFF - ACCORDION FOLDING PARTITION<br>AGGR - AGGREGATE<br>ALT - ALTERNATE<br>ALUM - ALUMINIUM<br>ANCH - ANCHOR<br>ANOD - ANODIZED<br>AP - ACCESS PANEL<br>APPD - APPROVED<br>APPROX - APPROXIMATE<br>AR - ACOUSTIC RESISTANT<br>ARCH - ARCHITECTURAL<br>ASPH - ASPHALT<br>AUTO - AUTOMATIC<br>AV - AUDIO-VISUAL<br>AWT - ACOUSTICAL WALL TREATMENT | <b>E</b><br>EA - EAST<br>EB - EACH<br>EB - EXPANSION BOLT<br>EF - EACH FACE<br>EFS - DIRECT APPLIED EXTERIOR FINISH SYSTEM<br>EFS - EXTERIOR INSULATION FINISH SYSTEM<br>EJ - EXPANSION JOINT<br>EL - ELEVATION<br>ELEC - ELECTRICAL<br>ELEV - ELEVATOR<br>EMERG - EMERGENCY<br>ENCL - ENCLOSURE<br>ENGR - ENGINEER<br>EP - ELECTRICAL PANELBOARD<br>EPDM - ETHYLENE PROPYLENE DIENE M-CLASS ROOFING<br>EPK - EPOXY<br>EQ - EQUAL<br>EQUIP - EQUIPMENT<br>ESCAL - ESCALATOR<br>EW - EACH WAY<br>EXH - EXHAUST<br>EX / EXIST - EXISTING<br>EXP - EXPANSION<br>EXT - EXTERIOR<br>EXTN - EXTENSION  | <b>K</b><br>K - KNURLED<br>KIT - KITCHEN<br>KPL - KICK PLATE<br>KO - KNOCKOUT  | <b>L</b><br>L - LENGTH<br>LAB - LABORATORY<br>LAM - LAMINATE<br>LAV - LAVATORY<br>LDG - LANDING<br>LKR - LOCKER<br>LL - LIVE LOAD<br>LLH - LONG LEG HORIZONTAL<br>LLV - LONG LEG VERTICAL<br>LN - LINE<br>LPT - LOW POINT<br>LT - LIGHT<br>LVR - LOUVER<br>LW - LONG WAY  | <b>M</b><br>MACH - MACHINE<br>MAINT - MAINTENANCE<br>MAS - MASONRY<br>MATL - MATERIAL<br>MAX - MAXIMUM<br>MB - MARKER BOARD<br>MBL - MARBLE<br>MOD - MEDIUM DENSITY FIBERBOARD<br>MEP - MECHANICAL, ELECTRICAL & PLUMBING<br>MECH - MECHANICAL<br>MEMB - MEMBRANE<br>MEZZ - MEZZANINE<br>MFR - MANUFACTURER<br>MH - MOP HOLDER / MAN HOLE<br>MIN - MINIMUM / MINUTE<br>MISC - MISCELLANEOUS<br>MO - MASONRY OPENING<br>MRGWB - MOISTURE-RESISTANT GYPSUM WALLBOARD<br>MRT - MORTAR<br>MTD - MOUNTED<br>MTG - MOUNTING<br>MTL - METAL<br>MULL - MULLION | <b>N</b><br>N - NORTH<br>NA - NOT APPLICABLE<br>NC - NOISE CRITERIA<br>NIC - NOT IN CONTRACT<br>NOM - NOMINAL<br>NTS - NOT TO SCALE | <b>O</b><br>OA - OUTSIDE AIR<br>OC - ON CENTER<br>OCEW - ON CENTER EACH WAY<br>OD - OUTSIDE DIAMETER<br>OFCI - OWNER FURNISHED, CONTRACTOR INSTALLED<br>OFCOI - OWNER FURNISHED, OWNER INSTALLED<br>OFF - OFFICE<br>OH - OVERHEAD<br>OPI - OPPOSITE HAND<br>OPNG - OPENING<br>OPP - OPPOSITE<br>ORD - OVERFLOW ROOF DRAIN<br>OUTS - OUTSIDE<br>OVHD - OVERHEAD<br>OW - OPERABLE WALL | <b>P</b><br>P - PAINT<br>PA - PUBLIC ADDRESS<br>PAV - PAVING<br>PARTN - PARTITION<br>PATD - PAPER TOWEL DISPENSER<br>PCB - PARTICLEBOARD<br>PC - PRECAST CONCRETE<br>PERF - PERFORATED<br>PERIM - PERIMETER<br>PERP - PERPENDICULAR<br>PLAM - PLASTIC LAMINATE<br>PLAS - PLASTER<br>PL - PROPERTY LINE / PLATE<br>PLBG - PLUMBING<br>PLYWD - PLYWOOD<br>PNL - PANEL<br>POL - POLISHED<br>PR - PAIR<br>PREFAB - PREFABRICATED<br>PROJ - PROJECT<br>PS - PROJECTION SCREEN<br>PSS - PENCIL SHARPENER SUPPORT<br>PT - PAINT<br>PTN - PARTITION<br>PTR - PAPER TOWEL RECEPTACLE<br>PV - PAVERS<br>PVC - POLYVINYL CHLORIDE PIPE<br>PVMT - PAVEMENT | <b>Q</b><br>QT - QUARRY TILE<br>QTY - QUANTITY |
| <b>B</b><br>BEJ - BRICK EXPANSION JOINT<br>BD - BOARD<br>BIT - BITUMINIOUS<br>BLDG - BUILDING<br>BLK - BLOCK<br>BLKG - BLOCKING<br>BM - BEAM / BENCHMARK<br>B/O - BOTTOM OF<br>BOT - BOTTOM<br>BRG - BEARING<br>BS - BOILER STACK<br>BSMT - BASEMENT<br>BT - BOLT<br>BUR - BUILT-UP ROOF<br>BYND - BEYOND  | <b>F</b><br>FA - FIRE ALARM<br>FB - FACE BRICK<br>FC - FACE<br>FCO - FLOOR CLEANOUT<br>FD - FLOOR DRAIN<br>FDC - FIRE DEPARTMENT CONNECTION<br>FDV - FIRE DEPARTMENT VALVE<br>FE - FIRE EXTINGUISHER / FINISH END<br>FEC - FIRE EXTINGUISHER CABINET<br>FF - FINISH FLOOR<br>FFBE - FURNITURE, FINISHES & EQUIPMENT<br>FH - FLAT HEAD<br>FHC - FIRE HOSE CABINET<br>FIN - FINISH<br>FIXT - FIXTURE<br>FLR - FLOOR<br>FLASH - FLASHING<br>FLUOR - FLUORESCENT<br>FM - FILLED METAL<br>FND - FOUNDATION<br>F/O - FACE OF<br>FP - FIRE PROTECTION<br>FPG - FIREPROOFING<br>FR - FRAME<br>FRTW - FIRE RETARDANT TREATED WOOD<br>FSR - FLEXIBLE SHEET ROOFING<br>FSK - FLOOR SERVICE SINK<br>FTG - FOOTING<br>FURN - FURNITURE<br>FURN - FURNISHING<br>FVC - FABRIC WALLCOVERING<br>FWP - FABRIC WALL PANEL<br>FVC - FIRE VALVE CABINET | <b>G</b><br>G - GROUND<br>GA - GAUGE<br>GALV - GALVANIZED<br>GB - GRAB BAR<br>GC - GENERAL CONTRACTOR<br>GFCMU - GROUND-FACED CONCRETE MASONRY UNIT<br>GFRIC - GLASS FIBER REINFORCED CONCRETE<br>GFRGU - GLASS FIBER REINFORCED GYPSUM UNIT<br>GL - GLASS<br>GR - GRADE<br>GRD - GROUND<br>GWB - GYPSUM WALLBOARD | <b>H</b><br>HB - HOSE BIBB<br>HC - HOLLOW CORE<br>HCP - HANDICAPPED<br>HDW - HARDWARE<br>HDWD - HARDWOOD<br>HGT - HEIGHT<br>HM - HOLLOW METAL (STEEL FRAME)<br>HNDRL - HANDRAIL<br>HO - HOLD OPEN<br>HORIZ - HORIZONTAL<br>HRC - HOSE REEL CABINET<br>HS - HIGH STRENGTH<br>HVAC - HEATING, VENTILATING & AIR CONDITIONING<br>HW - HOT WATER<br>HWY - HIGHWAY<br>HYDR - HYDRAULIC | <b>I</b><br>ID - INSIDE DIAMETER<br>ILO - IN LIEU OF<br>INCAND - INCANDESCENT<br>INCL - INCLUDE<br>INFO - INFORMATION<br>INSUL - INSULATION<br>INT - INTERIOR<br>INTERM - INTERMEDIATE<br>INV - INVERT<br>IRGWB - IMPACT RESISTANT GYPSUM WALLBOARD  | <b>J</b><br>JAN - JANITOR<br>JC - JANITORIAL CLOSET<br>JST - JOIST<br>JT - JOINT  |  |  |  |

GENERAL NOTES

- A REFERENCE GENERAL CONSTRUCTION NOTES AND SPECIFICATIONS FOR MORE INFORMATION AND BID ALTERNATES.
- B REFERENCE SPECIFICATIONS AND DRAWINGS FOR SPECIAL REQUIREMENTS AND CONDITIONS.
- C FINISH FIRST FLOOR ELEVATION INDICATED FOR THE NEW WORK IS 100'-0". REFERENCE SITE DRAWINGS FOR RELATIONSHIP TO U.S.G.S. DATUM. ELEVATIONS OF EXISTING ELEMENTS RELATIVE TO 100'-0" SHALL BE FIELD VERIFIED BY THE CONTRACTOR(S). CONTRACTOR(S) SHALL NOTIFY THE CONSTRUCTION MANAGER IMMEDIATELY OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
- D THE STRUCTURE IS DESIGNED TO BE SELF-SUPPORTING AND STABLE AFTER THE WORK IS COMPLETE. CONTRACTOR(S) SHALL DETERMINE THE CONSTRUCTION PROCEDURES AND SEQUENCES AND ENSURE THE INTEGRITY OF THE WORK AND ITS COMPONENT PARTS DURING CONSTRUCTION. THIS INCLUDES SHORING, SHEATHING, TEMPORARY ENCLOSURES AND TEMPORARY POSITIVE WATER DRAINAGE FROM THE SITE AND ALL BUILDING ROOFS.
- E CONTRACTOR(S) SHALL MAINTAIN ALL LEGAL EGRESS FROM THE WORK TO COMPLY WITH APPLICABLE BUILDING CODES, SAFETY REGULATIONS AND THE DISCRETION OF THE GOVERNING LOCAL BUILDING CODE AUTHORITIES FOR THE HEALTH, SAFETY AND WELFARE OF THE PUBLIC FOR NORMAL ACTIVITIES AND EMERGENCY EGRESS FROM THE WORK. THE CONTRACTOR(S) SHALL FURNISH AND INSTALL ANY TEMPORARY WALLS, DOORS, HARDWARE PARTITIONS, SCREENS, ENCLOSURES AND PEDESTRIAN PROTECTIONS TO MAINTAIN SUCH LEGAL EGRESS.
- F CONTRACTOR(S) SHALL VERIFY ALL DIMENSIONS AND CLEARANCES BEFORE PROCEEDING WITH THE WORK. COMMENCEMENT OF THE WORK, BY THE CONTRACTOR(S), CONSTITUTES ACCEPTANCE OF THE EXISTING CONDITIONS. CONTRACTOR(S) SHALL NOTIFY THE CONSTRUCTION MANAGER IMMEDIATELY OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
- G DIFFERENT FLOOR FINISH MATERIALS SHALL MEET UNDER THE CENTERLINE OF THE DOOR IN THE CLOSED POSITION UNLESS NOTED OR DETAILED OTHERWISE.
- H FURNISH AND INSTALL FLOOR DRAINS 1/2" BELOW FLOOR PERIMETER. SLOPE FINISH FLOOR TO FLOOR DRAINS. REFERENCE PLUMBING DRAWINGS FOR EXACT LOCATIONS.
- I FURNISH AND INSTALL CASING BEAD AT ALL LOCATIONS WHERE GYPSUM WALLBOARD ABUTS DISSIMILAR MATERIALS. TYPICAL UNLESS NOTED OR DETAILED OTHERWISE.
- J ALL DIMENSIONS ARE MEASURED TO THE FACE OF MASONRY OR THE FACE OF STUD UNLESS NOTED OR DETAILED OTHERWISE.
- K IF FRAME WIDTH DOES NOT MATCH WALL WIDTH, DOOR AND BORROWED LITE FRAMES SHALL BE INSTALLED TO THE CORRIDOR OR PASSAGE SIDE OF THE WALL UNLESS NOTED OR DETAILED OTHERWISE. NON-CORRIDOR OR NON-PASSAGE FRAMES FROM ROOM TO ROOM SHALL BE FURNISHED AND INSTALLED TO THE SIDE OF THE WALL FACING THE LARGER ROOM. REFERENCE DOOR AND WINDOW DETAILS FOR FRAME LOCATIONS RELATIVE TO THE WALL ONLY. DEDICATED WINDOW FRAMES SHALL BE FURNISHED AND INSTALLED TO THE CENTERLINE OF THE WALL CROSS SECTION.
- L INTERIOR FINISHES SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH THE LOCAL BUILDING CODE AUTHORITY HAVING JURISDICTION OVER THE WORK, AS WELL AS ALL APPLICABLE FEDERAL, STATE AND LOCAL BUILDING CODES AND REGULATIONS.
- M REFERENCE FINISH MATERIAL SCHEDULE FOR ALL INTERIOR FINISHES. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
- N THE CONTRACTOR(S) SHALL FURNISH AND INSTALL TREATED WOOD BLOCKING IN WALLS AS REQUIRED TO SECURE ALL EQUIPMENT, ACCESSORIES, HANDRAILS, CASEWORK, ETC. COORDINATE THIS WORK WITH ALL APPROPRIATE CONTRACTORS, SUPPLIERS AND MANUFACTURERS RECOMMENDATIONS. SUCH WOOD BLOCKING SHALL BE FASTENED TO STRUCTURAL MEMBERS AND CMU(S) WITH MINIMUM 1/2" DIAMETER EXPANSION BOLTS AT 48" OC MAXIMUM UNLESS NOTED OR DETAILED OTHERWISE.
- O REFERENCE FLOOR PLANS FOR FIRE EXTINGUISHER (FE) AND FIRE EXTINGUISHER CABINET (FEC) LOCATIONS. REFERENCE EQUIPMENT DRAWINGS FOR MOUNTING HEIGHTS.
- P THE GENERAL TRADES CONTRACTOR IS REQUIRED TO CUT AND PATCH ANY OPENINGS LARGER THAN 8" AS REQUIRED FOR ANY FOOD SERVICE, PLUMBING, MECHANICAL, ELECTRICAL AND FIRE PROTECTION CONTRACTOR(S) TO FURNISH AND INSTALL THEIR WORK. CUTTING AND PATCHING INCLUDING CUTTING FLOOR AND/OR WALL, EXCAVATING, BACK FILLING, PATCHING AND REPAIR AS REQUIRED TO MATCH EXISTING ADJACENT SURFACE TO ACCEPT NEW FINISH. REFERENCE ENGINEERING DRAWINGS FOR LOCATIONS OF WORK TO BE PERFORMED. THIS INCLUDES ALL AREAS NOT SPECIFICALLY NOTED BUT REQUIRING CUTTING AND PATCHING.
- Q OPENINGS IN ROOF FOR ROOFTOP EQUIPMENT SHALL BE CUT BY THE ROOFING CONTRACTOR. THE ASSOCIATED CONTRACTOR SHALL COORDINATE LOCATIONS OF SUCH OPENINGS WITH THE ROOFING CONTRACTOR. EQUIPMENT CURBS ARE TO BE FURNISHED BY THE ASSOCIATE CONTRACTOR AND INSTALLED BY THE ROOFING CONTRACTOR.
- R REFERENCE PLUMBING DRAWINGS FOR ALL VENT STACK LOCATIONS. COORDINATE LOCATIONS OF SUCH PENETRATIONS WITH THE CONTRACTOR(S).
- S REFERENCE MECHANICAL DRAWINGS FOR ALL FLUE LOCATIONS. COORDINATE LOCATIONS OF SUCH PENETRATIONS WITH THE CONTRACTOR(S).
- T THE CONTRACTOR SHALL PROTECT ALL ROOF DRAINS, SCUPPERS AND DOWNSPOUTS FROM DEBRIS CREATED DURING DEMOLITION AND CONSTRUCTION. THE CONTRACTOR SHALL INSPECT AND CLEAR ALL ROOF DRAINS, SCUPPERS AND DOWNSPOUTS PRIOR TO THE COMPLETION OF THE WORK AND TO ENSURE THAT ALL ROOF DRAINS, SCUPPERS AND DOWNSPOUTS ARE FREE OF DEBRIS AND ARE FUNCTIONING PROPERLY AT PROJECT COMPLETION.
- U ALL TYPICAL ROOFING DETAILS ARE SHOWN FOR GENERAL INFORMATION. ALL FINAL FLASHING CONDITIONS SHALL MEET THE APPROVAL OF THE ROOFING MANUFACTURER. ALL DETAIL MODIFICATIONS MUST HAVE SHOP DRAWING APPROVAL.
- V INSTALL ALL FLASHING AND APPROPRIATE CRICKETS FOR ALL ROOFTOP PENETRATIONS.
- W CONTRACTOR TO COORDINATE AND MAINTAIN MINIMUM 1'-0" WIDE BY 6'-0" HIGH SPACE ON LATCH SIDE OF ALL DOORS FOR OWNER'S SIGNAGE.
- X IN THE EVENT OF INCONSISTENCIES WITHIN OR BETWEEN THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL PROVIDE THE BETTER QUALITY OR GREATER QUALITY OF WORK AND SHALL COMPLY WITH THE STRICTER REQUIREMENTS.
- Y BASIC DEFINITIONS: FURNISH SHALL MEAN TO PURCHASE AND DELIVER PRODUCT TO THE SITE READY FOR INSTALLATION; 'INSTALL' SHALL MEAN TO TAKE FURNISHED PRODUCT AND ASSEMBLE, ERECT, SECURE IN PLACE, CONNECT IN OPERATION AS APPLICABLE; 'PROVIDE' SHALL MEAN TO FURNISH AND INSTALL.



TIPP CITY SENIORS NEW ADDITION

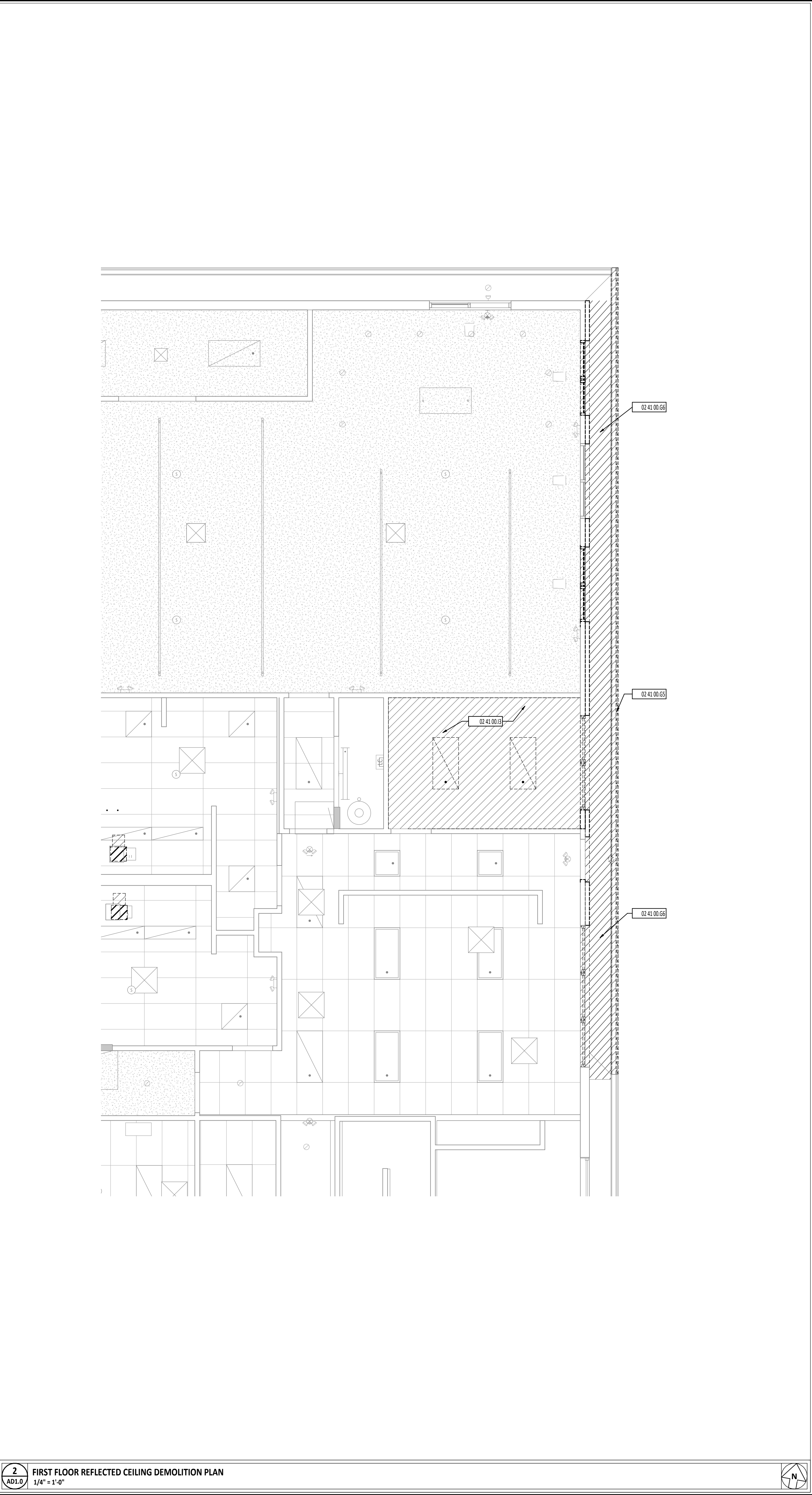
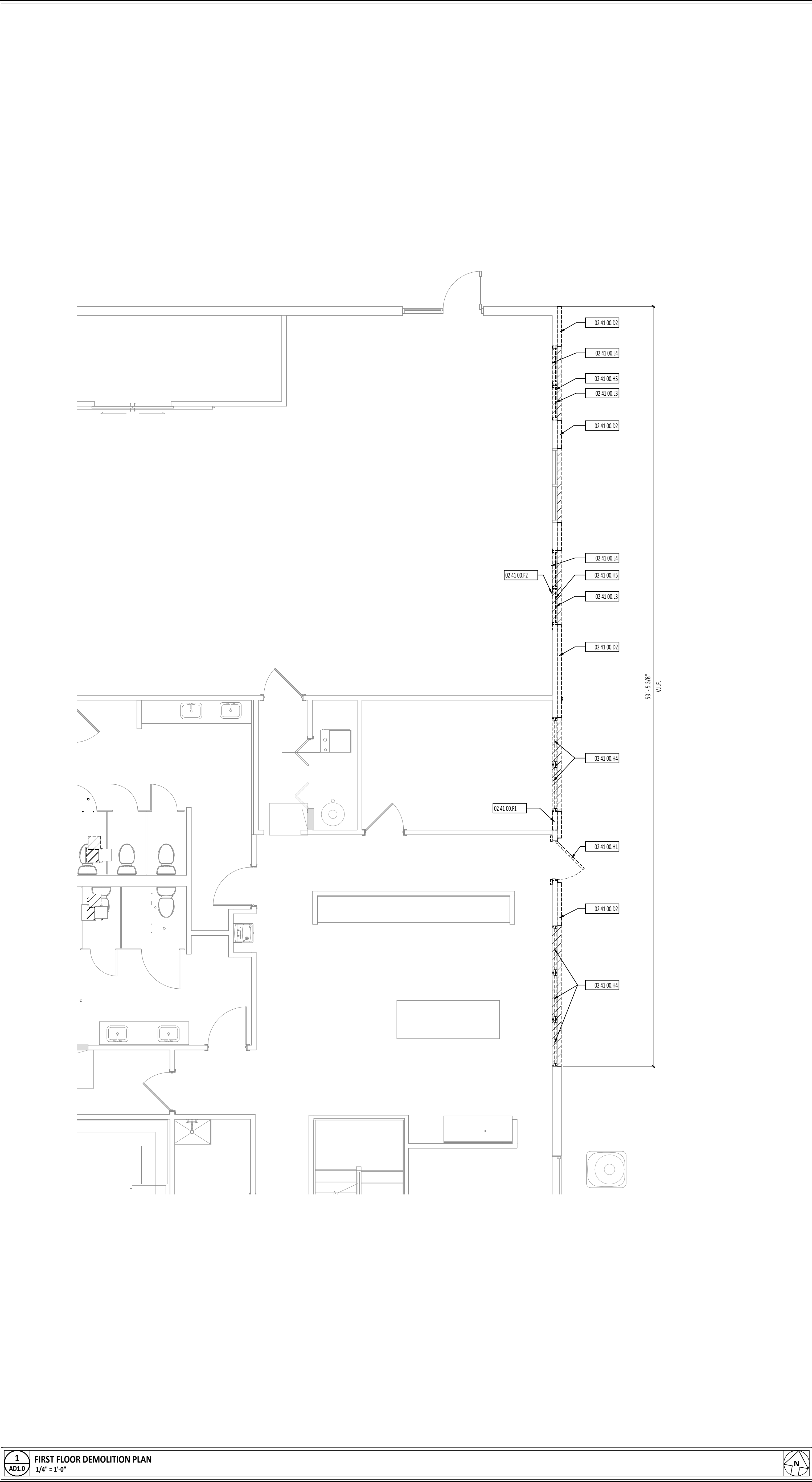
528 NORTH HAVETT STREET, TIPP CITY, OH 45371

ABBREVIATIONS

MATERIAL SYMBOLS USED ON THE CONTRACT DOCUMENTS, INCLUDE BUT ARE NOT LIMITED TO THOSE LISTED BELOW

|                                |  |                                      |                  |
|--------------------------------|--|--------------------------------------|------------------|
|                                |  |                                      |                  |
| ASPHALT                        | FACE BRICK (PLAN AND SECTION)            | STEEL                                | STUD WALL (PLAN) |
|                                |  |                                      |                  |
| EARTH                          | CONCRETE MASONRY UNIT (PLAN AND SECTION) | SPRAY APPLIED INSULATION             | REVISION NUMBER  |
|                                |  |                                      |                  |
| GRAVEL, STONE OR DRAINAGE FILL | RIGID, PERIMETER, OR ROOF INSULATION     | WOOD - DIMENSIONAL (NOMINAL)         | AREA OF REVISION |
|                                |  |                                      |                  |
| SAND, GROUT, MORTAR OR PLASTER | PLYWOOD OR SHEATHING                     | WOOD - DIMENSIONAL (RIPPED)          |                  |
|                                |  |                                      |                  |
| CONCRETE                       | WOOD (FINISHED)                          | BATT INSULATION OR SOUND ATTENUATION |                  |
|                                |  |                                      |                  |
| CUT OR CAST STONE              | SPLIT-FACE CONCRETE MASONRY UNIT         | METAL ROOF DECKING                   |                  |

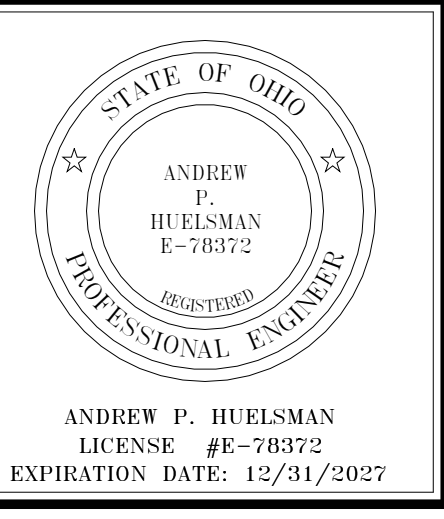
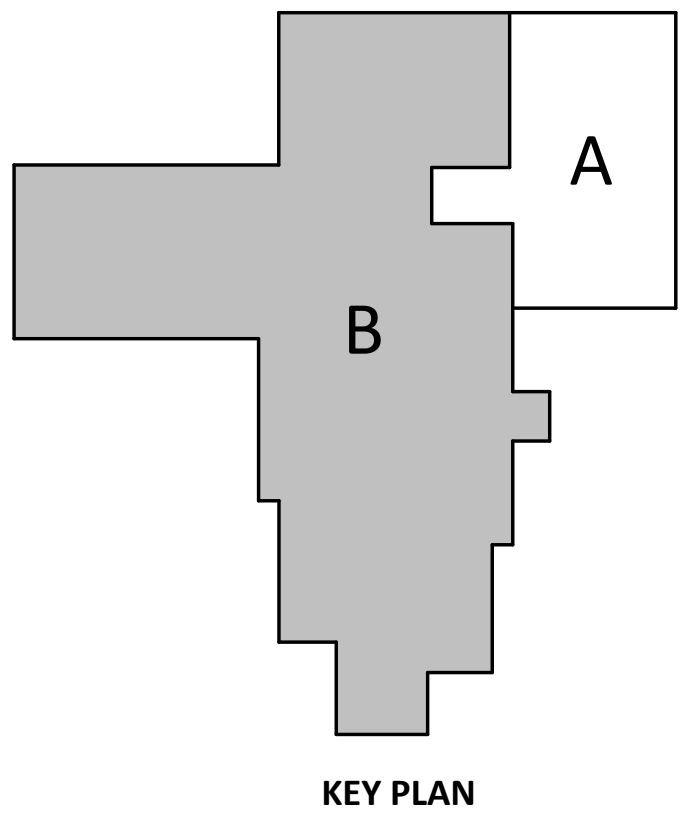
DRAWING AND MATERIAL SYMBOLS LEGEND



- DEMOLITION FLOOR PLAN GENERAL NOTES**
- A THESE NOTES APPLY TO ALL ARCHITECTURAL DRAWINGS. FOR DEMOLITION NOTES AND SYMBOLS APPLICABLE ONLY TO DRAWINGS OF DISCIPLINE OTHER THAN ARCHITECTURAL, REFER TO SPECIFIC DRAWINGS OF THAT GENERAL DEMOLITION NOTES DISCIPLINE.
  - B FIELD VERIFY CONDITIONS AND COORDINATE DEMOLITION OR REMOVAL WORK WITH CORRESPONDING NEW CONSTRUCTION WORK AND WITH ALL APPROPRIATE TRADES PRIOR TO STARTING DEMOLITION WORK. IF DISCREPANCIES ARE FOUND BETWEEN CONTRACT DOCUMENTS AND ACTUAL FIELD CONDITIONS, NOTIFY ARCHITECT IMMEDIATELY.
  - C OWNER SHALL REMOVE LOOSE ITEMS, I.E. EQUIPMENT, FURNITURE, ARTWORK, PLAQUES, ETC., PRIOR TO CONTRACTOR'S START OF WORK IN SPECIFIED AREAS. WHERE PARTIAL OCCUPANCY, CONTRACTOR SHALL COORDINATE SCHEDULE WITH OWNER.
  - D REMOVE ITEMS TO BE DEMOLISHED IN THEIR ENTIRETY UNLESS OTHERWISE NOTED. DESCRIPTION OF PRIMARY ITEMS TO BE REMOVED IS GENERAL IN NATURE, AND REMOVAL OF SECONDARY COMPONENTS SUCH AS BLOCKING, SUPPORTS, ANCHORS, TRIM, ADHESIVE, PIPING, WIRING, ETC., RELATED TO PRIMARY ITEMS SHALL BE INCLUDED.
  - E PROTECT EXISTING SURFACES TO REMAIN IN AREAS ADJACENT TO DEMOLITION WORK. CONTRACTOR TO REPAIR EXISTING SURFACES TO REMAIN DAMAGED DURING CONSTRUCTION AND DEMOLITION.
  - F PATCH EXISTING FLOOR, WALL, AND CEILING CONSTRUCTION AT ABANDONED PENETRATION LOCATIONS WITH NEW MATERIALS AS REQUIRED TO RECEIVE NEW FINISHES AND TO MAINTAIN ORIGINAL FIRE RATING ASSEMBLY WHERE APPLICABLE.
  - G SELECTIVE DEMOLITION FOR INSTALLATION OF NEW MECHANICAL, PLUMBING, OR ELECTRICAL WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR OR TRADE REQUIRING THE DEMOLITION.
  - H DEMOLISHED MATERIALS ARE THE PROPERTY OF THE CONTRACTOR UNLESS NOTED OTHERWISE AND SHALL BE PROMPTLY DISPOSED OFF SITE IN A LEGAL MANNER.
  - I REPAIR FINISHES AND SURFACES LEFT EXPOSED BY DEMOLITION OR REMOVAL OF EQUIPMENT USING NEW MATERIALS TO MATCH SURROUNDING SURFACES. REPAIR EXISTING FLOOR, BASE, WALL AND CEILING FINISHES TO CORRECT DEFECTS CAUSED OR EXPOSED BY DEMOLITION WORK OR EQUIPMENT REMOVAL. REPAIRED SURFACES SHALL BE SMOOTH AND UNDETECTABLE UNDER FINAL FINISHES. AREAS NOTED ON THE DWGS. TO BE REPAIRED OR PATCHED ARE GIVEN FOR REFERENCE AND SHALL NOT BE INTERPRETED TO LIMIT THE SCOPE OF WORK.
  - J DIMENSIONAL INFORMATION FOR NEW OPENINGS INDICATED ON DEMOLITION DWGS. ARE APPROXIMATE AND REQUIRE FIELD VERIFICATION AND COORDINATION WITH NEW CONSTRUCTION.
  - K PRIOR TO START OF DEMOLITION, DUST AND SOUND BARRIERS SHALL BE CONSTRUCTED.
  - L PROPER EGRESS AND APPROVED BARRIERS MUST BE MAINTAINED THROUGHOUT THE DEMOLITION AREA AT ALL TIMES.
  - M REMOVE DEBRIS DAILY.

- DEMOLITION FLOOR PLAN SYMBOLS LEGEND**
- (ADD) ROOM DESIGNATION - REFERENCE ROOM INDEX.
  - 02 41 00 03 DIVISIONAL KEYNOTE DESIGNATION - REFERENCE KEYNOTE SCHEDULE AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.
  - 02 41 00 05 KEYNOTE DESIGNATION
  - 02 41 00 06 SPECIFICATION SECTION

| #           | KEYNOTE DESCRIPTION   |
|-------------|---|
| 02 41 00 02 | REMOVE EXISTING FACE BRICK VENEER. PREPARE FOR NEW WORK.                              |
| 02 41 00 01 | REMOVE PORTION OF EXISTING WOOD FRAMING   |
| 02 41 00 02 | REMOVE PORTION OF EXISTING WOOD TRIM  |
| 02 41 00 05 | REMOVE EXISTING GUTTER. PREPARE FOR NEW WORK  |
| 02 41 00 06 | REMOVE EXISTING SOFFIT AND FRAMING. PREPARE FOR NEW WORK                              |
| 02 41 00 04 | REMOVE EXISTING DOOR AND FRAME. PREPARE FOR NEW WORK.                                 |
| 02 41 00 04 | REMOVE EXISTING WINDOW - PREPARE FOR NEW WORK.  |
| 02 41 00 05 | REMOVE AND SALVAGE EXISTING STOREFRONT WINDOW FOR NEW LOCATION. PREPARE FOR NEW WORK. |
| 02 41 00 03 | REMOVE EXISTING ACOUSTICAL CEILING TILE CEILING AND GRID                              |
| 02 41 00 03 | REMOVE AND SALVAGE EXISTING ROLLER SHADES FOR NEW LOCATION                            |
| 02 41 00 04 | REMOVE EXISTING SOLID SURFACE SILL  |



**TIPP CITY SENIORS NEW ADDITION**

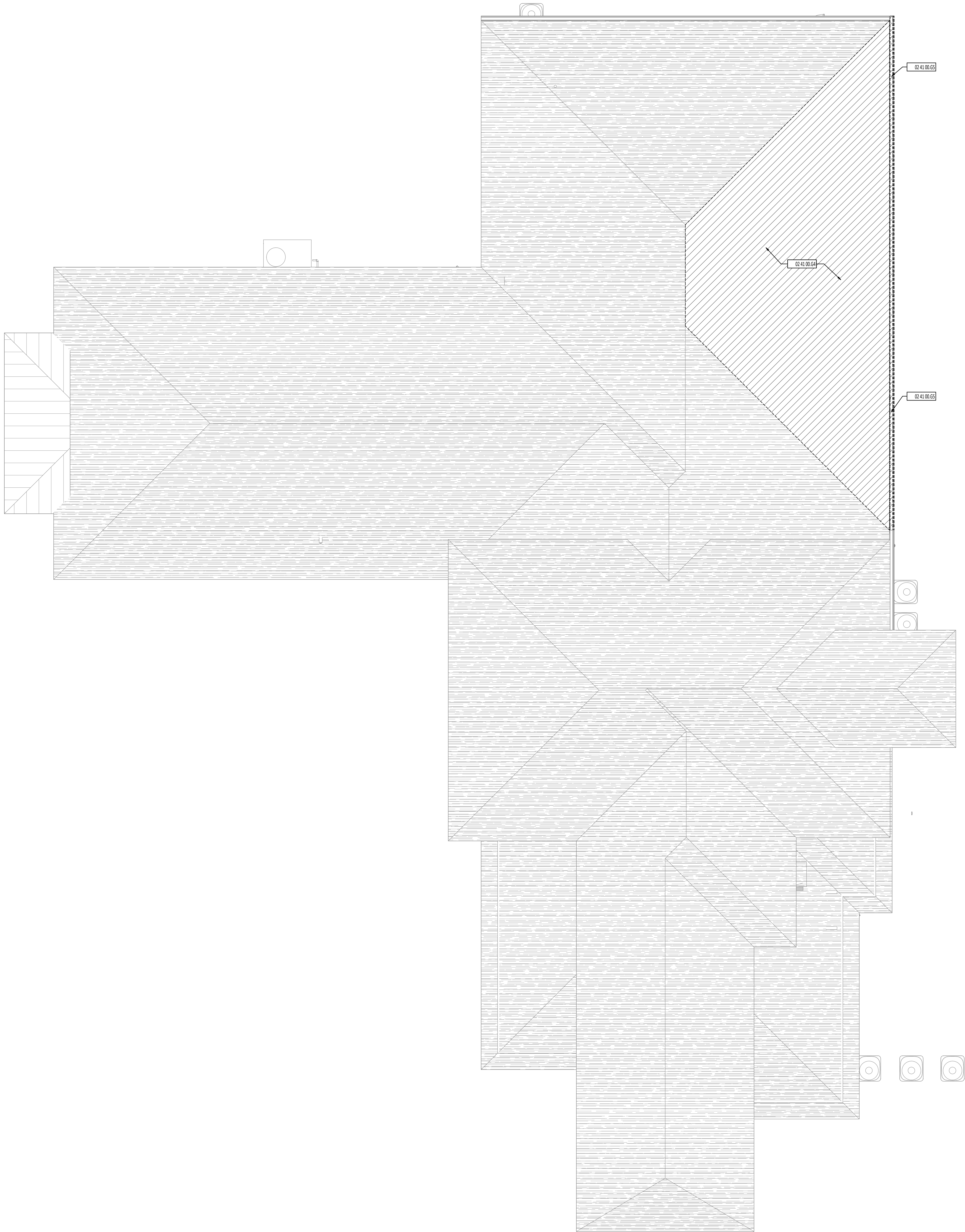
524 NORTH HANT STREET, TIPP CITY, OH 45371

| ISSUANCES/REVISIONS    |            |  |
|------------------------|------------|--|
| CONSTRUCTION DOCUMENTS | 01/13/2006 |  |

| PROJECT NUMBER: | DRAWN BY: | CHECKED BY: |
|-----------------|-----------|-------------|
| 250559.00       | MILE      | SMD         |

| SHEET TITLE:                                      |  |
|---|--|
| FIRST FLOOR AND REFLECTED CEILING DEMOLITION PLAN |  |

| SHEET NUMBER: |  |
|---------------|--|
| AD1.0         |  |



| DEMOLITION FLOOR PLAN SYMBOLS LEGEND |  |
|--------------------------------------|--|
|                                      | ROOM DESIGNATION - REFERENCE ROOM INDEX.   |
|                                      | DIVISIONAL KEYNOTE DESIGNATION - REFERENCE KEYNOTE SCHEDULE AND SPECIFICATIONS FOR ADDITIONAL INFORMATION. |
|                                      | KEYNOTE DESIGNATION  |
|                                      | SPECIFICATION SECTION  |
| #                                    | KEYNOTE DESCRIPTION  |
| 02 41 00 04                          | REMOVE PORTION OF EXISTING ROOF INCLUDING ASPHALT SHINGLES AND FASCIA. PREPARE FOR NEW WORK.               |
| 02 41 00 05                          | REMOVE EXISTING GUTTER. PREPARE FOR NEW WORK.  |

STATE OF OHIO  
ANDREW P. HUELSMAN  
REGISTERED PROFESSIONAL ENGINEER

ANDREW P. HUELSMAN  
LICENSE #E-78372  
EXPIRATION DATE: 12/31/2027

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TIPP CITY SENIORS NEW ADDITION

524 NORTH HAVETT STREET, TIPP CITY, OH 45371

| ISSUANCES/REVISIONS    |            |  |
|------------------------|------------|--|
| CONSTRUCTION DOCUMENTS | 01/13/2026 |  |

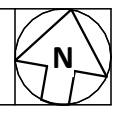
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| PROJECT NUMBER:<br>25059.00 | DRAWN BY:<br>MLE | CHECKED BY:<br>SMD |
|-----------------------------|------------------|--------------------|

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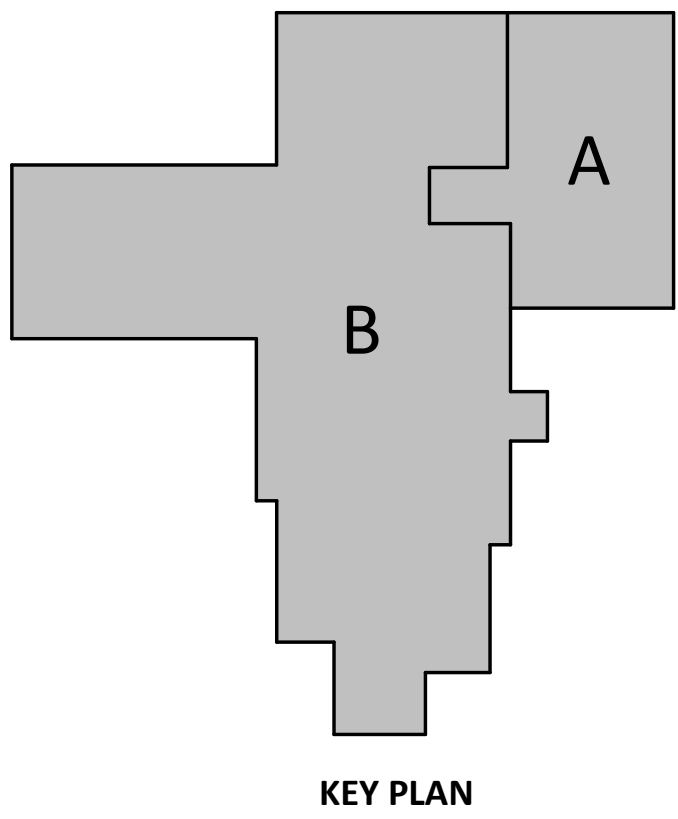
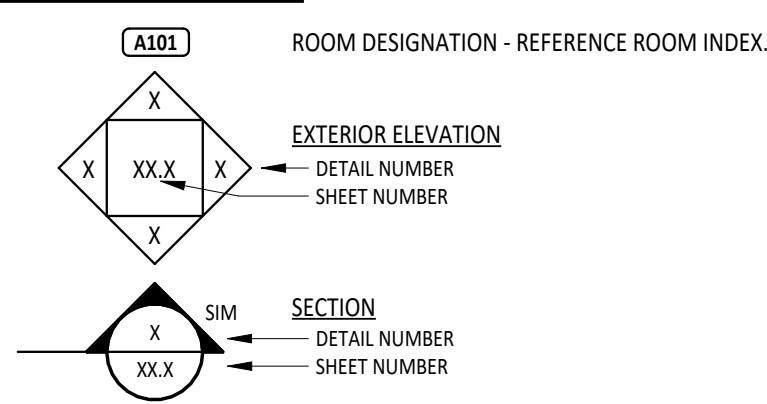
ROOF  
DEMOLITION

SHEET NUMBER:

AD5.0



### FLOOR PLAN SYMBOLS LEGEND



# TIPP CITY SENIORS NEW ADDITION

528 NORTH HYATT STREET TIPP CITY OH 45371

| ISSUANCES/REVISIONS |                        |            |
|---------------------|------------------------|------------|
|                     | CONSTRUCTION DOCUMENTS | 01/13/2026 |

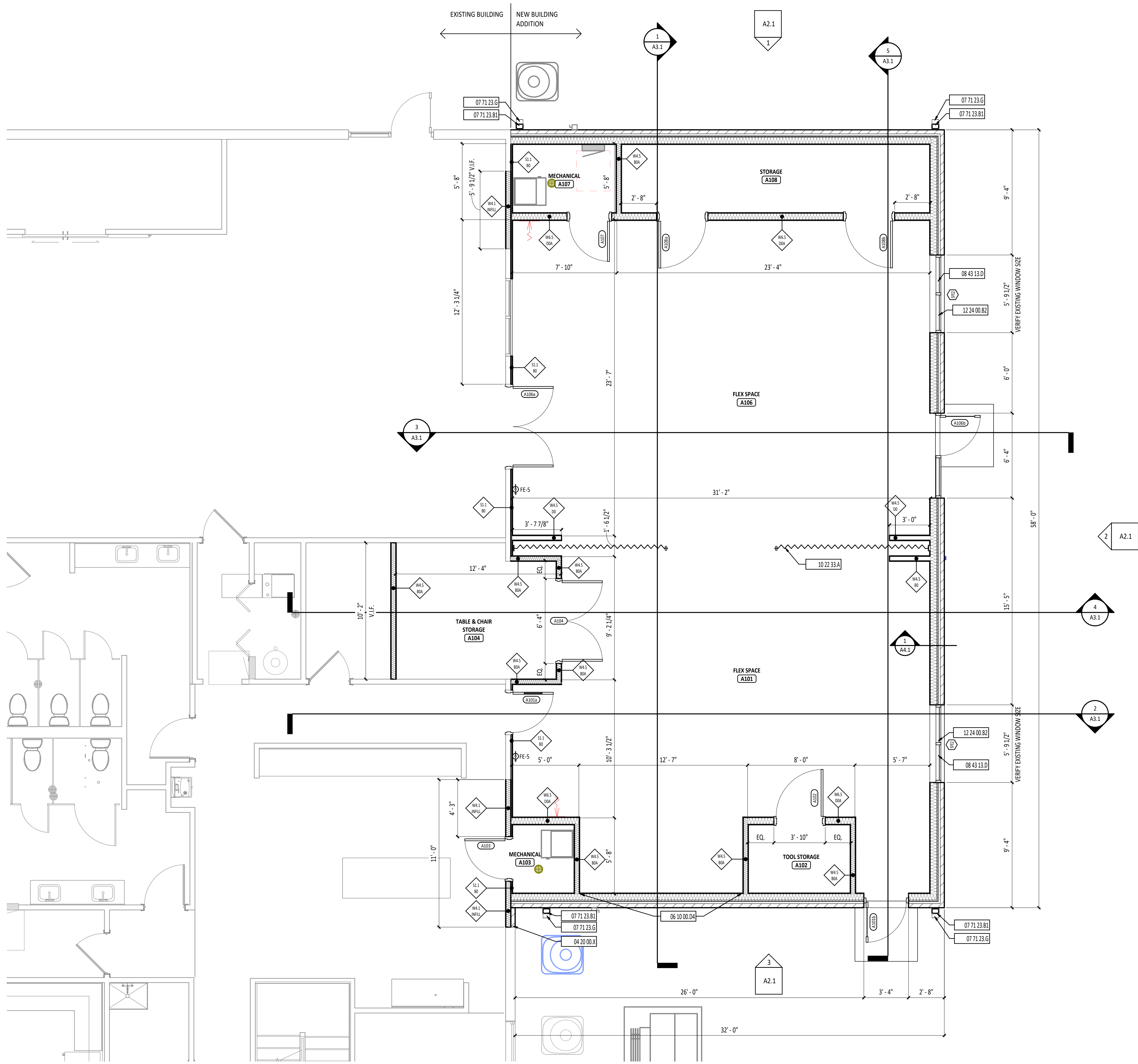
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| PROJECT<br>NUMBER: | DRAWN BY: | CHECKED BY: |
| <b>25059.00</b>    | MLE       | SMD         |

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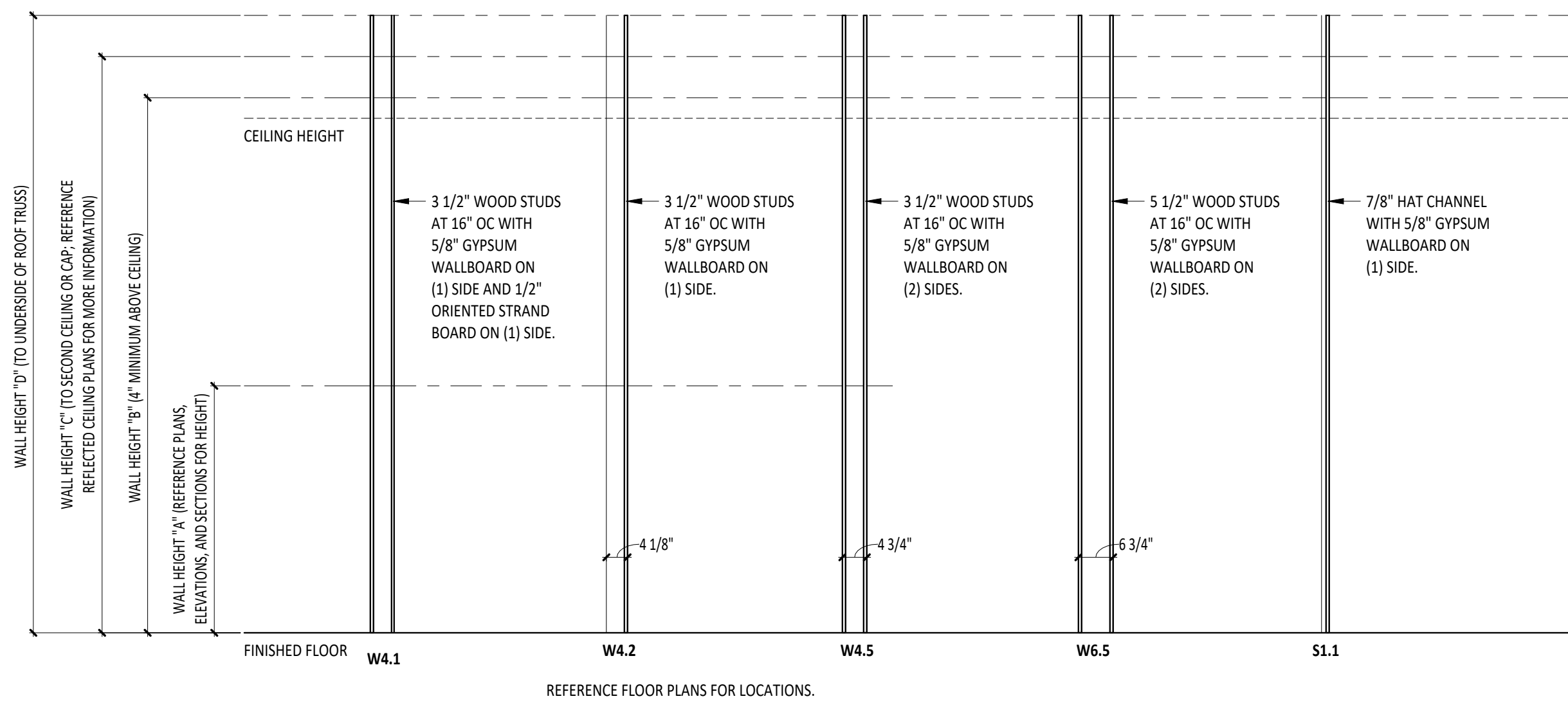
**FIRST FLOOR PLAN**  
**- OVERALL**

SHEET NUMBER

## A1.0

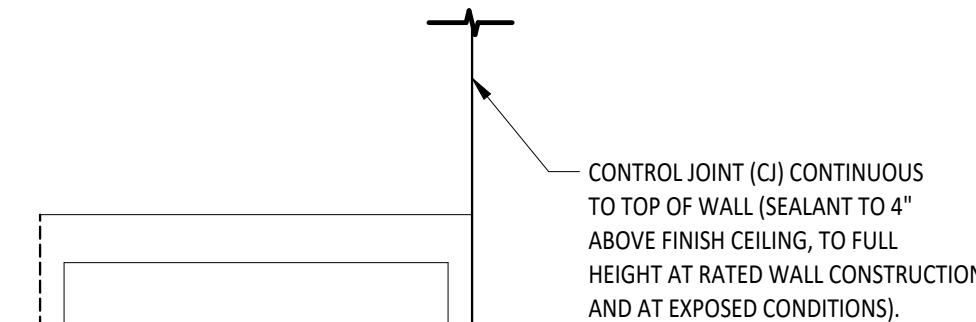


1 FIRST FLOOR PLAN - UNIT A  
1/4" = 1'-0"

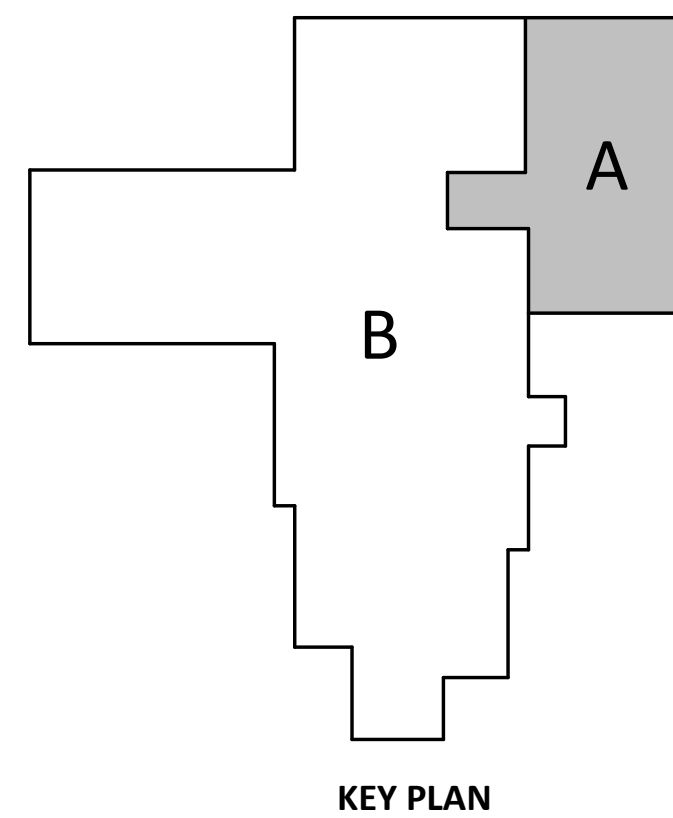
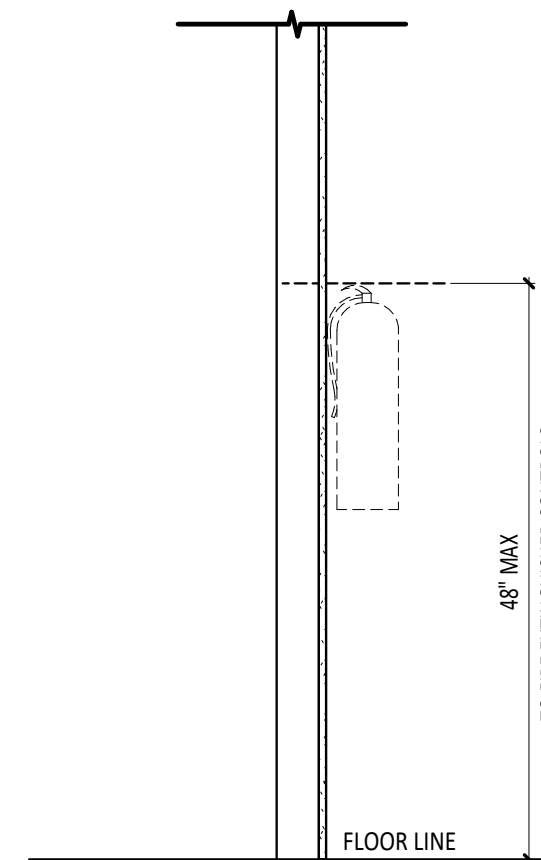


2 STUD WALL TYPES (S)  
1/2" = 1'-0"

3 TYPICAL CONTROL JOINT PLACEMENT AT METAL STUD/GYPSUM OPENINGS  
3/4" = 1'-0"



4 SURFACE MOUNT FIRE EXTINGUISHER  
3/4" = 1'-0"



KEY PLAN

| FIRST FLOOR PLAN ROOM INDEX - UNIT A |                       |        |
|--------------------------------------|-----------------------|--------|
| ROOM NUMBER                          | ROOM NAME             | AREA   |
| A101                                 | FLEX SPACE            | 680 SF |
| A102                                 | TOOL STORAGE          | 39 SF  |
| A103                                 | MECHANICAL            | 24 SF  |
| A104                                 | TABLE & CHAIR STORAGE | 116 SF |
| A106                                 | FLEX SPACE            | 750 SF |
| A107                                 | MECHANICAL            | 39 SF  |
| A108                                 | STORAGE               | 117 SF |

- FLOOR PLAN GENERAL NOTES**
- ALL DIMENSIONS ARE MEASURED TO THE FACE OF MASONRY OR THE FACE OF METAL STUD UNLESS NOTED OTHERWISE.
  - INSTALL TREATED WOOD BLOCKING IN WALLS AS REQUIRED TO SECURE ALL EQUIPMENT, ACCESSORIES, HANDRAILS, CASEWORK, ETC. COORDINATE THIS WORK WITH ALL APPROPRIATE CONTRACTORS, SUPPLIERS AND MANUFACTURERS RECOMMENDATIONS.
  - HINGE SIDE OF DOOR JAMB AT INTERSECTING WALLS TO BE LOCATED 4" FROM ADJACENT WALL UNLESS NOTED OTHERWISE - REFERENCE FLOOR PLANS.
  - IF WALL TYPE IS NOT IDENTIFIED, WALL IS TO RUN FULL HEIGHT TO DECK.

- FLOOR PLAN SYMBOLS LEGEND**
- AED AUTOMATED EXTERNAL DEFIBRILLATOR DESIGNATION
  - DOOR DESIGNATION - REFERENCE DOOR/OPENING SCHEDULE.
  - FE- FIRE EXTINGUISHER DESIGNATION - REFERENCE SPECIFICATIONS
  - FEC- FIRE EXTINGUISHER CABINET DESIGNATION - REFERENCE SPECIFICATIONS
  - ROOM DESIGNATION - REFERENCE ROOM INDEX.
  - CURTAIN WALL/STOREFRONT/WINDOW TYPE DESIGNATION
  - WALL TYPE DESIGNATION - REFERENCE WALL TYPES.
  - STRUCTURAL GRID - REFERENCE STRUCTURAL DRAWINGS.
  - DIVISIONAL KEYNOTE DESIGNATION - REFERENCE KEYNOTE SCHEDULE AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.
  - KEYNOTE DESIGNATION SPECIFICATION SECTION
  - CALLOUT - DETAIL NUMBER SHEET NUMBER
  - EXTERIOR ELEVATION - DETAIL NUMBER SHEET NUMBER
  - INTERIOR ELEVATION - DETAIL NUMBER SHEET NUMBER
  - SECTION - DETAIL NUMBER SHEET NUMBER

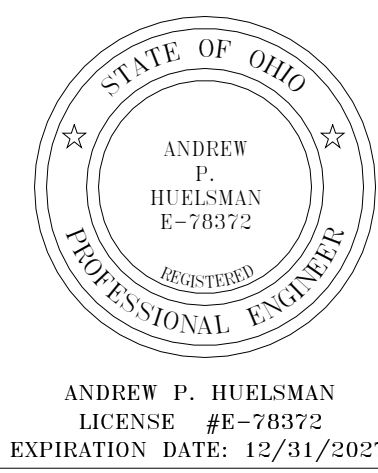
- WALL TYPE GENERAL NOTES**
- GYPSUM WALLBOARD TO BE ABUSE-RESISTANT TO 8'-0" ABOVE FINISHED FLOOR WHERE EXPOSED TO VIEW
  - PROVIDE ACOUSTICAL SEALANT AT ALL JOINTS.

| #           | KEYNOTE DESCRIPTION  |
|-------------|--|
| 04 20 00 X  | TOOTH-IN NEW FACE BRICK VENEER                               |
| 06 10 00 D4 | PROVIDE BLOCKING IN WALL FOR INSTALLATION OF FUTURE CABINETS |
| 07 71 23 B1 | 4" x 6" PREFINISHED METAL DOWNSPOUT                          |
| 07 71 23 G  | PVC DOWNSPOUT BOOT   |
| 08 43 13 D  | RELOCATED EXISTING STOREFRONT WINDOW                         |
| 10 22 33 A  | ACCORDION FOLDING PARTITION                                  |
| 12 24 00 B2 | RELOCATED EXISTING ROLLER SHADES                             |

| FIRE EXTINGUISHER / CABINET SCHEDULE |   |                               |
|--------------------------------------|---|-------------------------------|
| MARK                                 | DESCRIPTION                             | NOTES                         |
| FE-5                                 | FIRE EXTINGUISHER - 5.0LB - CLASS A-B-C | FURNISHED AND INSTALLED BY GC |

- WALL TYPE INFORMATION**
- WALL TYPE SYMBOL
  - WALL TYPE (REFERENCE PLAN AND TYPE DETAILS)
  - ADDITIONAL INFORMATION; SEE BELOW
  - FIRE/SMOKE RATING: 0, 1, 2, 3, OR S (SMOKE)
  - WALL HEIGHT; REFERENCE WALL TYPE DETAILS

- ADDITIONAL INFORMATION**
- A = ACOUSTICAL BATT INSULATION
  - FW = FIRE RATED WALL
  - FB = FIRE BARRIER WALL
  - G = GROUT WALL FULL



## TIPP CITY SENIORS NEW ADDITION

528 NORTH HAVY STREET, TIPP CITY, OH 45371

### ISSUANCES/REVISIONS

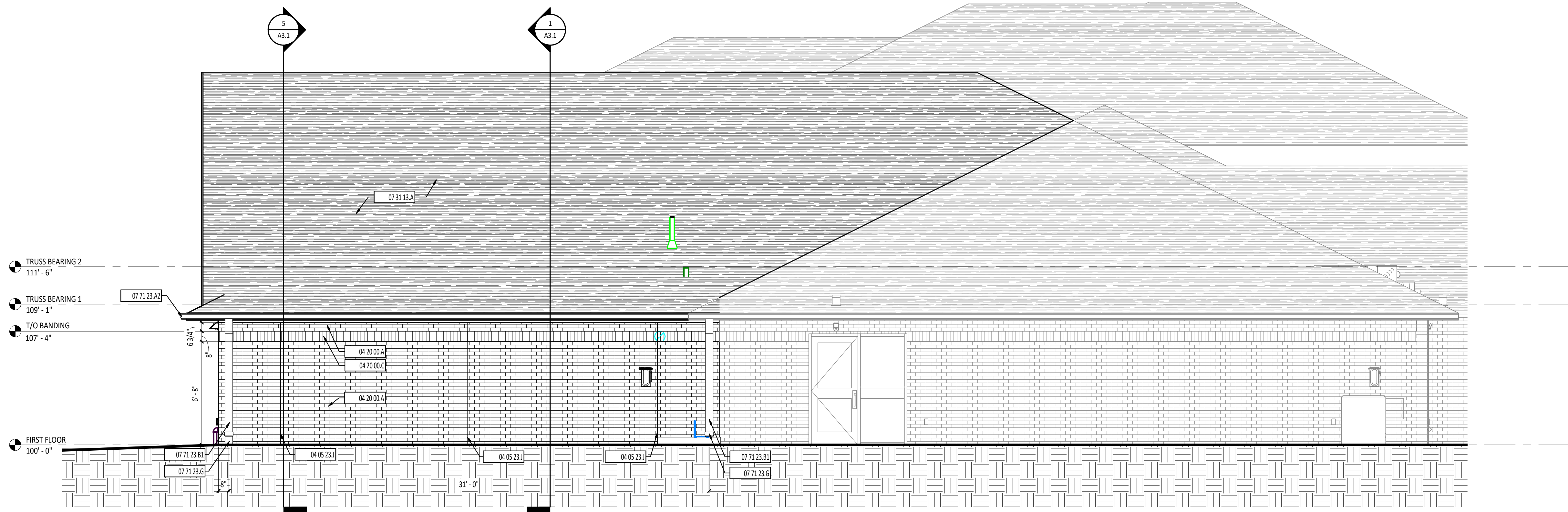
CONSTRUCTION DOCUMENTS 01/13/2006

PROJECT NUMBER: 25059.00  
DRAWN BY: MLE  
CHECKED BY: SMD

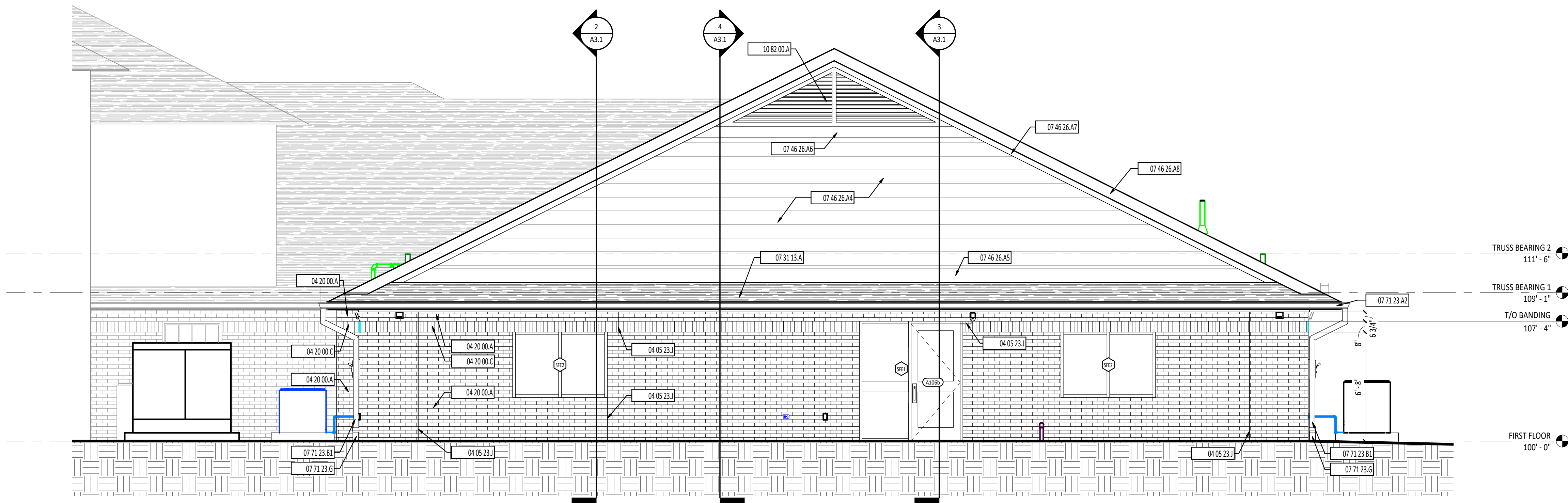
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**FIRST FLOOR PLAN - UNIT A**

SHEET NUMBER:

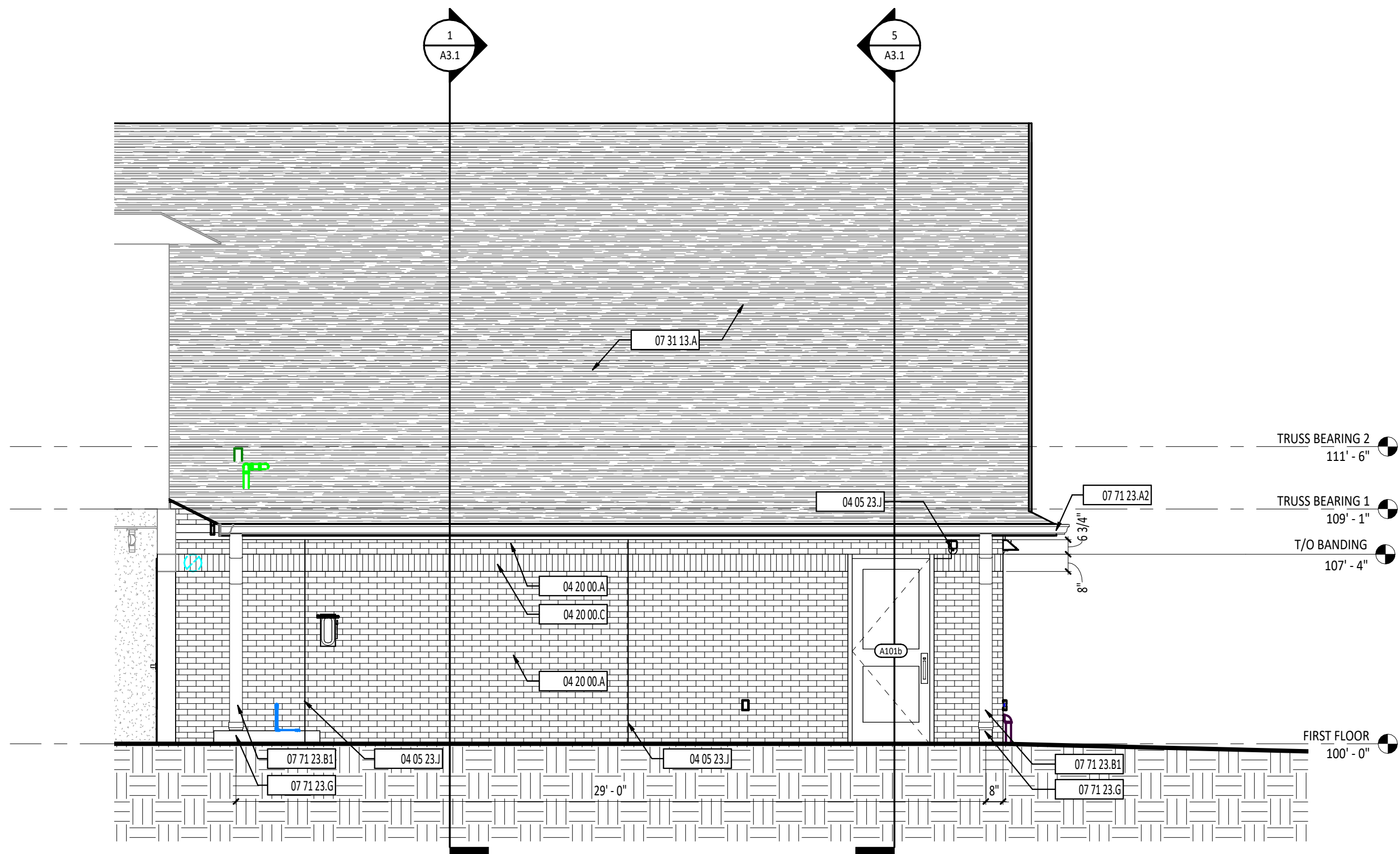
**A1.1**



1 BUILDING ELEVATION - NORTH  
1/4" = 1'-0"



2 BUILDING ELEVATION - EAST  
1/4" = 1'-0"



3 BUILDING ELEVATION - SOUTH  
1/4" = 1'-0"

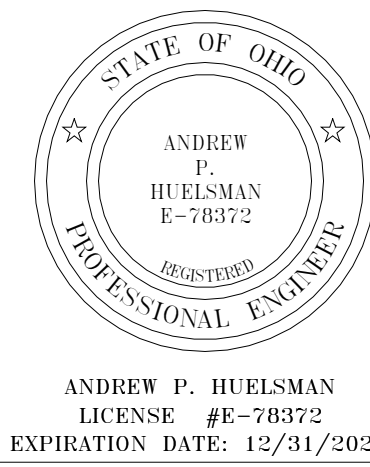
EXTERIOR ELEVATION GENERAL NOTES

A PROVIDE CONTROL JOINTS AND EXPANSION JOINTS AT BUILDING INSIDE CORNERS AND AT CONCRETE MASONRY UNIT VENEER AND BRICK VENEER MATERIAL CHANGES.

EXTERIOR ELEVATION SYMBOLS LEGEND

- DOOR DESIGNATION - REFERENCE DOOR/OPENING SCHEDULE.  
SIGNAGE DESIGNATION - REFERENCE SIGNAGE DETAILS.  
CURTAIN WALL/STOREFRONT/WINDOW TYPE DESIGNATION.
- LEVEL  
ELEVATION
- STRUCTURAL GRID - REFERENCE STRUCTURAL DRAWINGS.  
DIVISIONAL KEYNOTE DESIGNATION - REFERENCE KEYNOTE  
SCHEDULE AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- KEYNOTE DESIGNATION  
SPECIFICATION SECTION
- CALLOUT  
DETAIL NUMBER  
SHEET NUMBER
- SECTION  
DETAIL NUMBER  
SHEET NUMBER

| #           | KEYNOTE DESCRIPTION                                      |
|-------------|--|
| 04 05 23.J  | BRICK EXPANSION JOINT                                    |
| 04 20 00.A  | FACE BRICK VENEER  |
| 04 20 00.C  | FACE BRICK VENEER - SOLDIER COURSE                       |
| 07 31 13.A  | ASPHALT SHINGLE ROOFING                                  |
| 07 46 26.A4 | LP SMARTSIDE SIDING - 7" EXPOSURE                        |
| 07 46 26.A5 | 1 X 10 LP SMARTSIDE TRIM; PAINT PER FINISH SCHEDULE      |
| 07 46 26.A6 | 1 X 8 LP SMARTSIDE TRIM; PAINT PER FINISH SCHEDULE       |
| 07 46 26.A7 | 1 X 4 LP SMARTSIDE TRIM; PAINT PER FINISH SCHEDULE       |
| 07 46 26.A8 | 1 X 8 LP SMARTSIDE RAKE BOARD; PAINT PER FINISH SCHEDULE |
| 07 71 23.A2 | 6" PREFINISHED METAL GUTTER WITH STRAP AND ANCHORAGES    |
| 07 71 23.B1 | 4" x 6" PREFINISHED METAL DOWNSPOUT                      |
| 07 71 23.G  | PVC DOWNSPOUT ROOT                                       |
| 10 82 00.A  | NON-FUNCTIONAL DECORATIVE LOUVER                         |



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TIPP CITY SENIORS NEW ADDITION

524 NORTH HAVY STREET, TIPP CITY, OH 45371

ISSUANCES/REVISIONS

CONSTRUCTION DOCUMENTS 01/13/2026

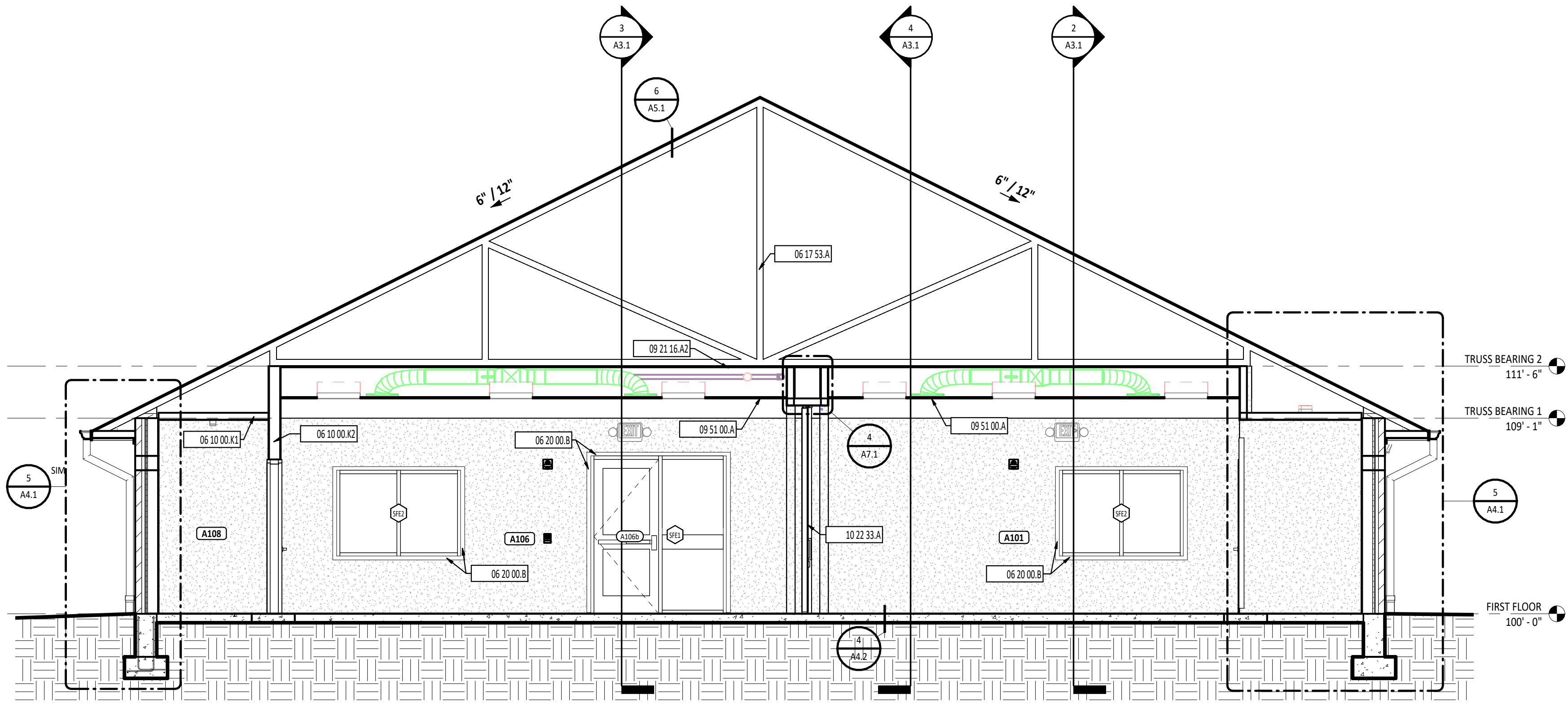
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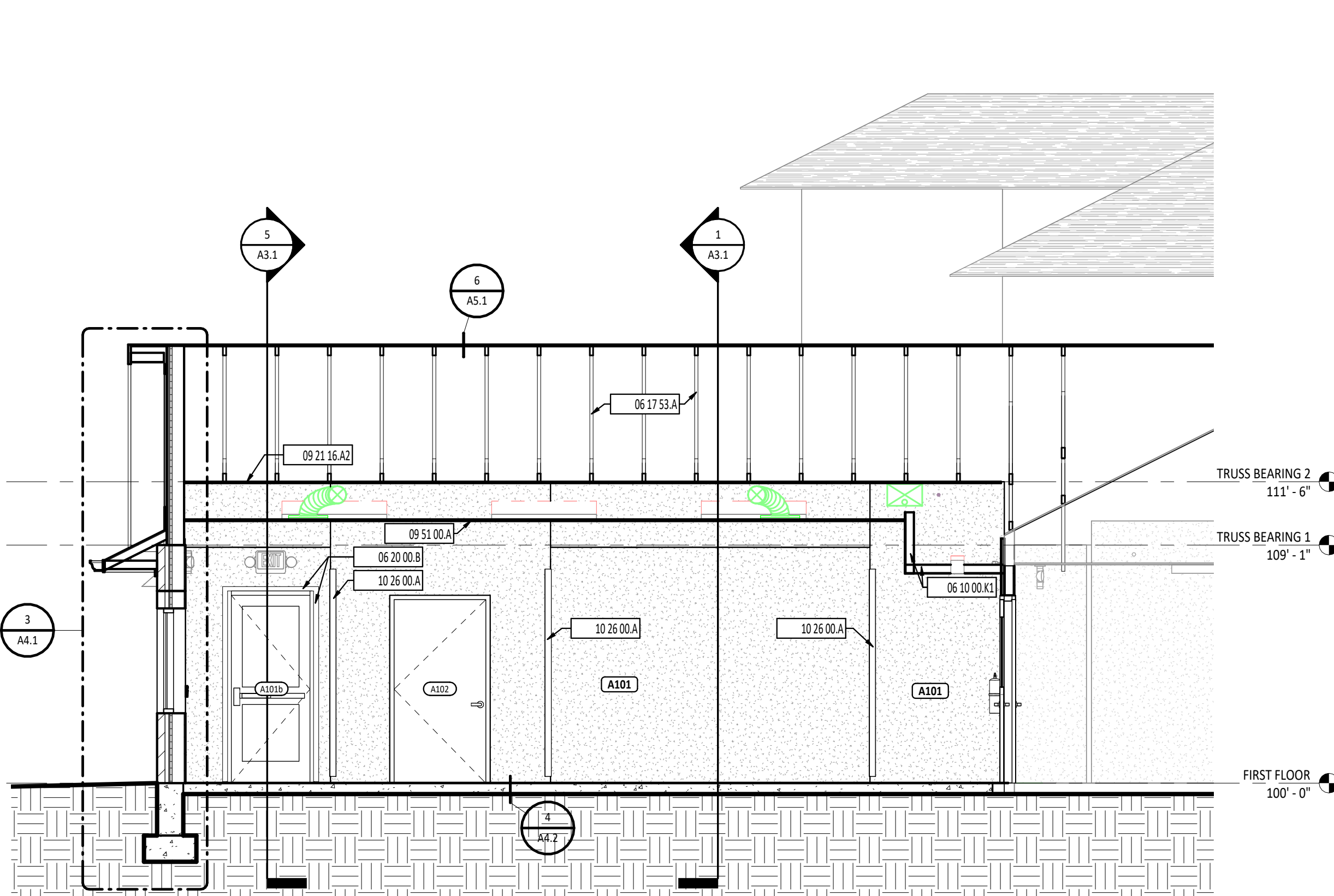
BUILDING  
ELEVATIONS -  
PARTIAL EXTERIOR

SHEET NUMBER:

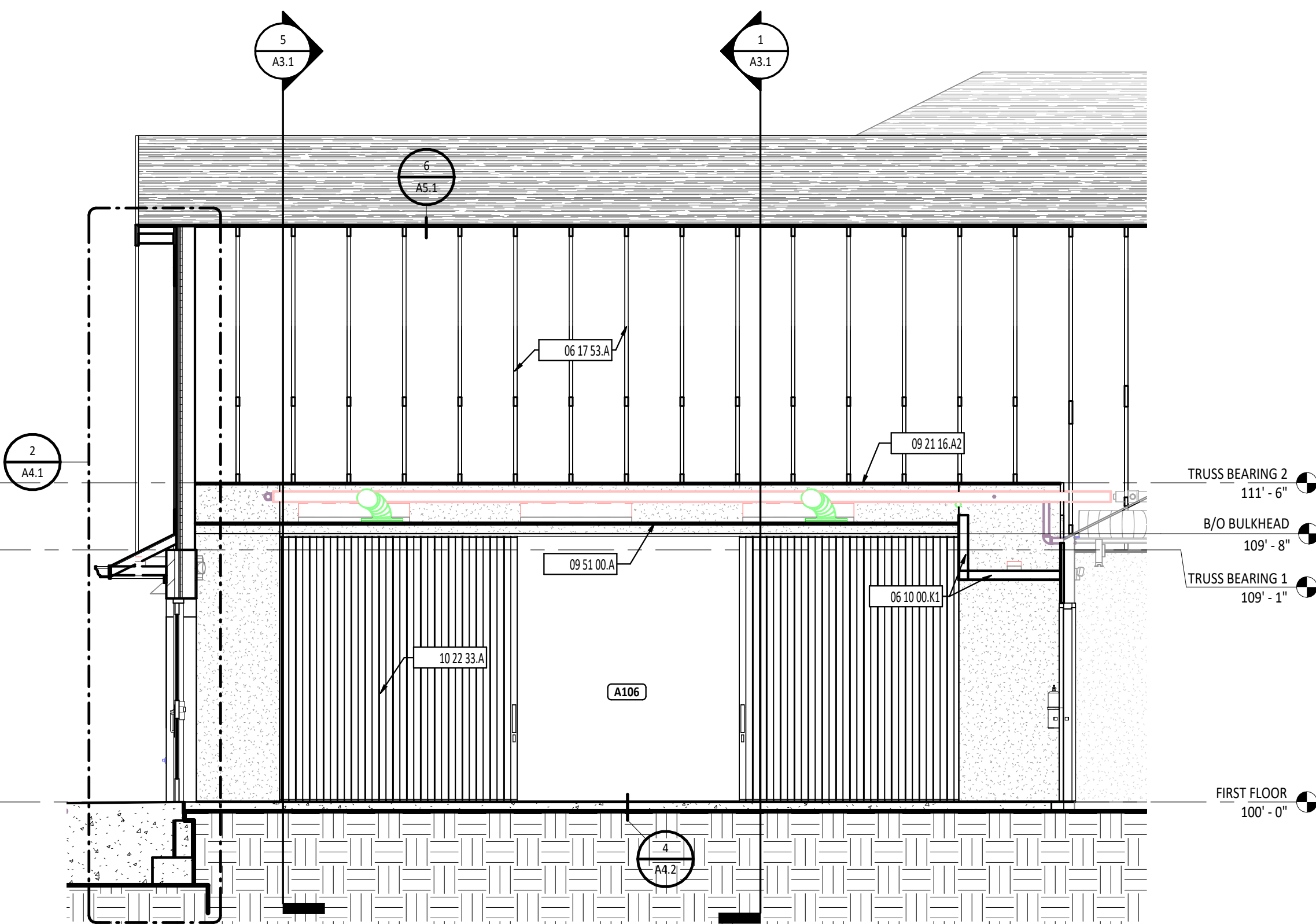
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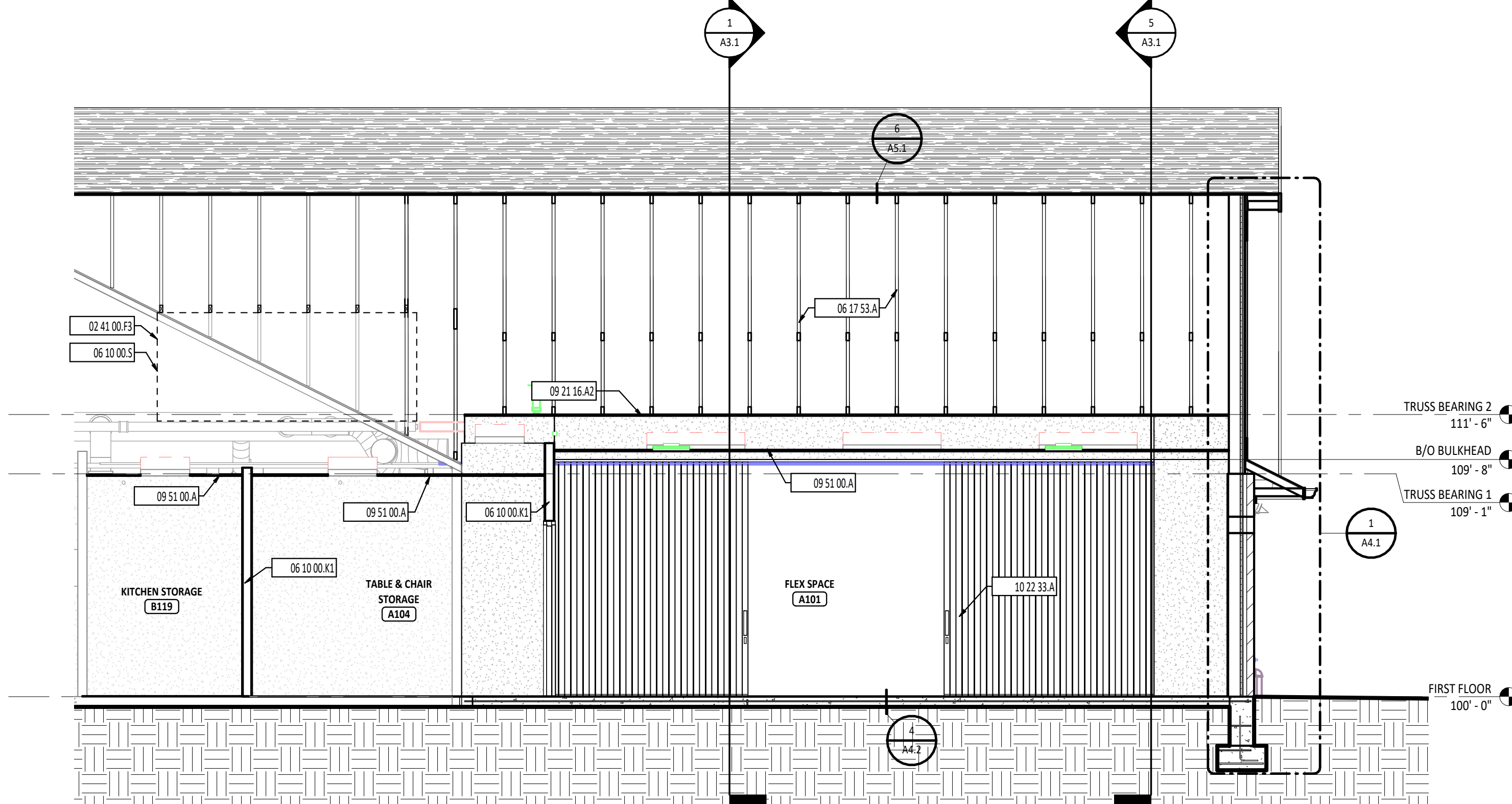
1 BUILDING SECTION - PARTIAL  
1/4" = 1'-0"



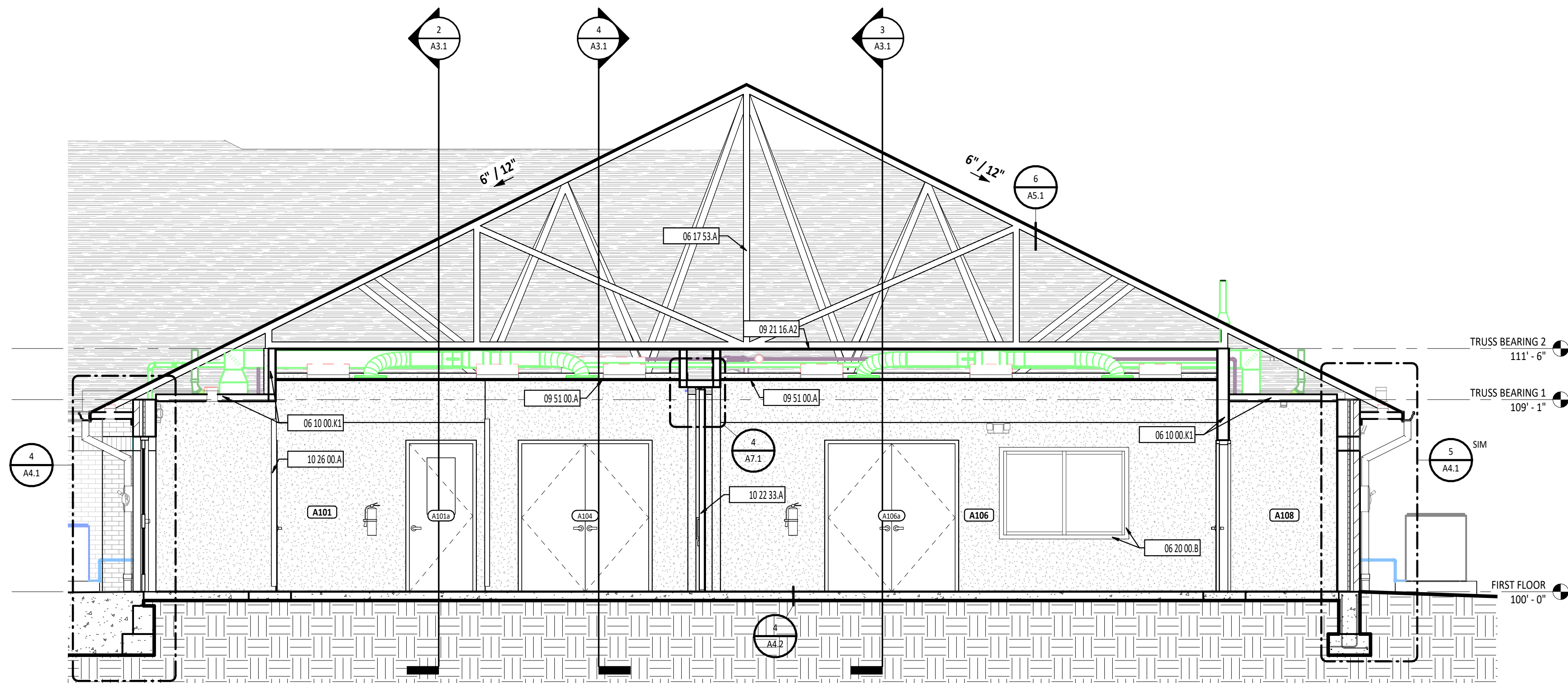
2 BUILDING SECTION - PARTIAL  
1/4" = 1'-0"



3 BUILDING SECTION - PARTIAL  
1/4" = 1'-0"



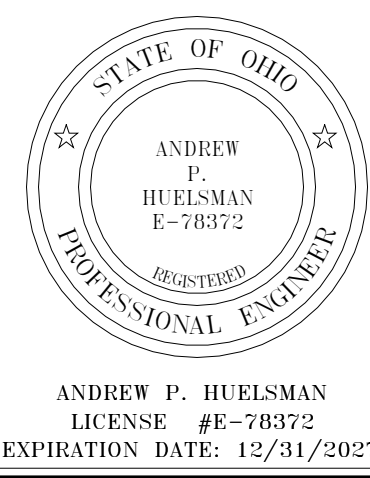
4 BUILDING SECTION - PARTIAL  
1/4" = 1'-0"



5 BUILDING SECTION - PARTIAL  
1/4" = 1'-0"

| BUILDING SECTION SYMBOLS LEGEND |  |
|---------------------------------|--|
|                                 | DOOR DESIGNATION - REFERENCE DOOR/OPENING SCHEDULE.  |
|                                 | ROOM DESIGNATION - REFERENCE ROOM INDEX.   |
|                                 | CURTAIN WALL/STOREFRONT/WINDOW TYPE DESIGNATION  |
|                                 | LEVEL ELEVATION  |
|                                 | STRUCTURAL GRID - REFERENCE STRUCTURAL DRAWINGS.   |
|                                 | DIVISIONAL KEYNOTE DESIGNATION - REFERENCE KEYNOTE SCHEDULE AND SPECIFICATIONS FOR ADDITIONAL INFORMATION. |
|                                 | KEYNOTE DESIGNATION - SPECIFICATION SECTION  |
|                                 | CALLOUT  |
|                                 | DETAIL NUMBER  |
|                                 | SECTION  |

| #           | KEYNOTE DESCRIPTION  |
|-------------|--|
| 02 41 00 F3 | REMOVE A PORTION OF THE EXISTING ROOF SHEATHING BETWEEN EXISTING RAFTERS FOR ATTIC ACCESS.                   |
| 06 10 00 K1 | 2X4 WOOD FRAMING AT 16" OC   |
| 06 10 00 K2 | 2X6 WOOD FRAMING AT 16" OC   |
| 06 10 00 S  | NEW ROOF OVER FRAMING TO PROVIDE AN ACCESS PATH TO CONNECT TO NEW ROOF TRUSSES                               |
| 06 17 53 A  | SHOP-FABRICATED WOOD TRUSS - REFERENCE STRUCTURAL DRAWINGS.  |
| 06 20 00 B  | 1X FINISHED HARDBOARD TRIM. MATCH EXISTING PROFILE - PAINT.  |
| 09 21 16 A2 | 5/8" GYPSUM WALLBOARD  |
| 09 51 00 A  | ACOUSTICAL CEILING TILE AND SUSPENSION SYSTEM - REFERENCE REFLECTED CEILING PLANS FOR SPECIFIC CEILING TYPE. |
| 10 22 33 A  | ACCORDION FOLDING PARTITION  |
| 10 26 00 A  | CORNER GUARD, CG1  |



## TIPP CITY SENIORS NEW ADDITION

| ISSUANCES/REVISIONS    |            |
|------------------------|------------|
| CONSTRUCTION DOCUMENTS | 01/13/2026 |

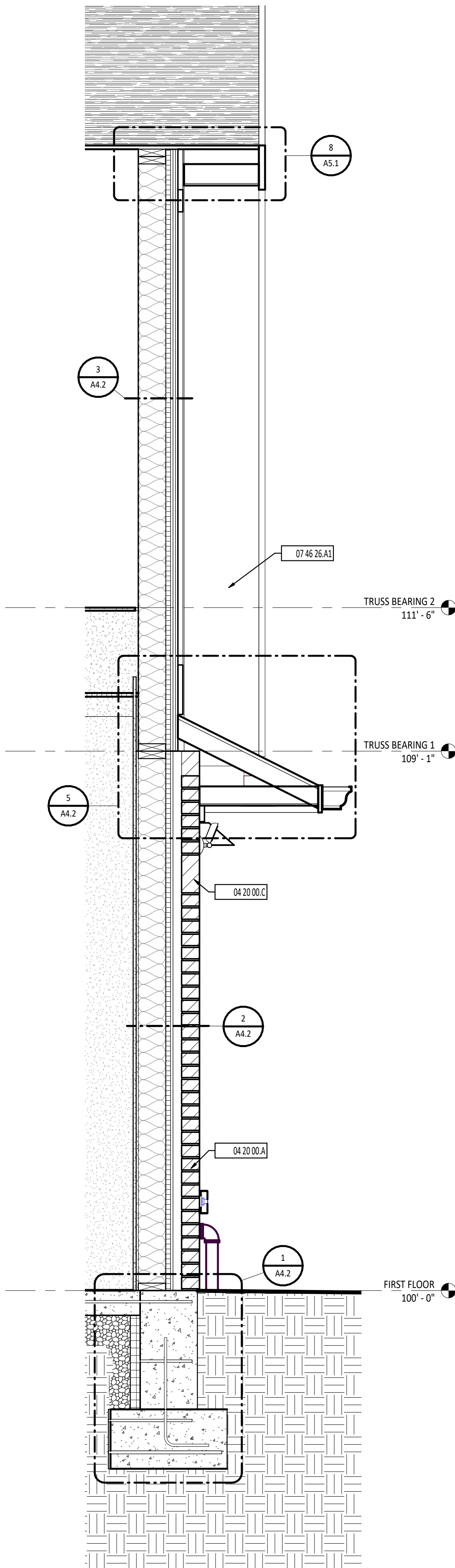
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| 25059.00        | NLE       | SMD         |

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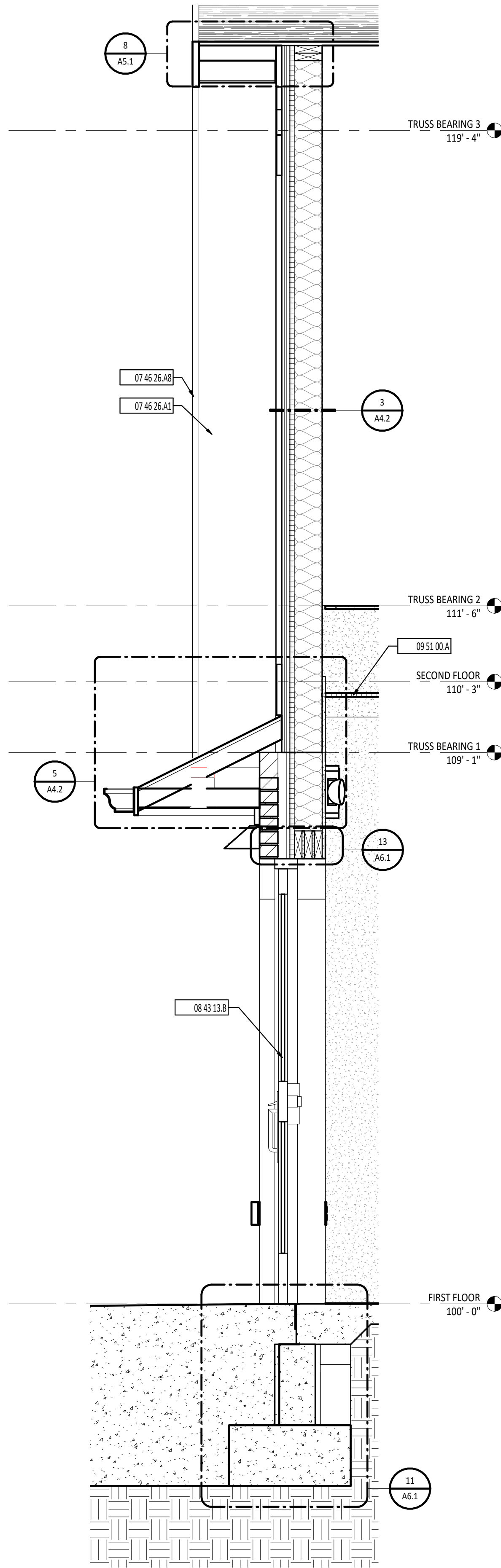
BUILDING SECTIONS

SHEET NUMBER:

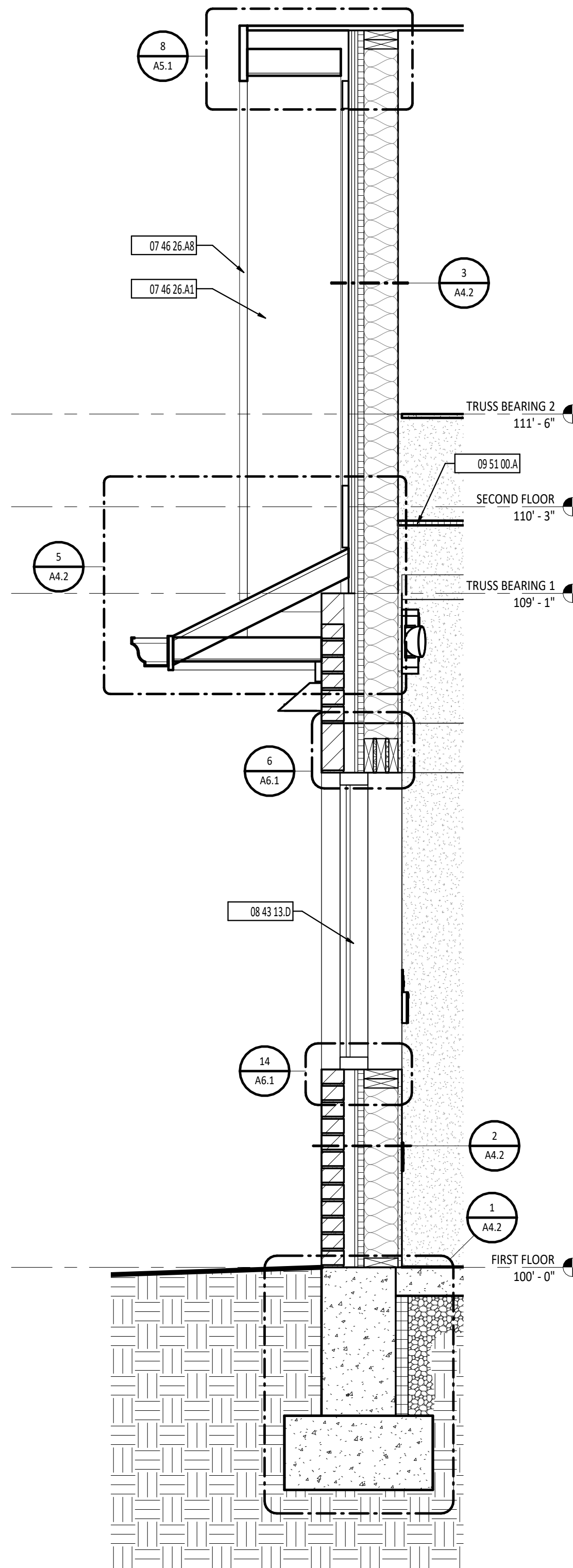
A3.1



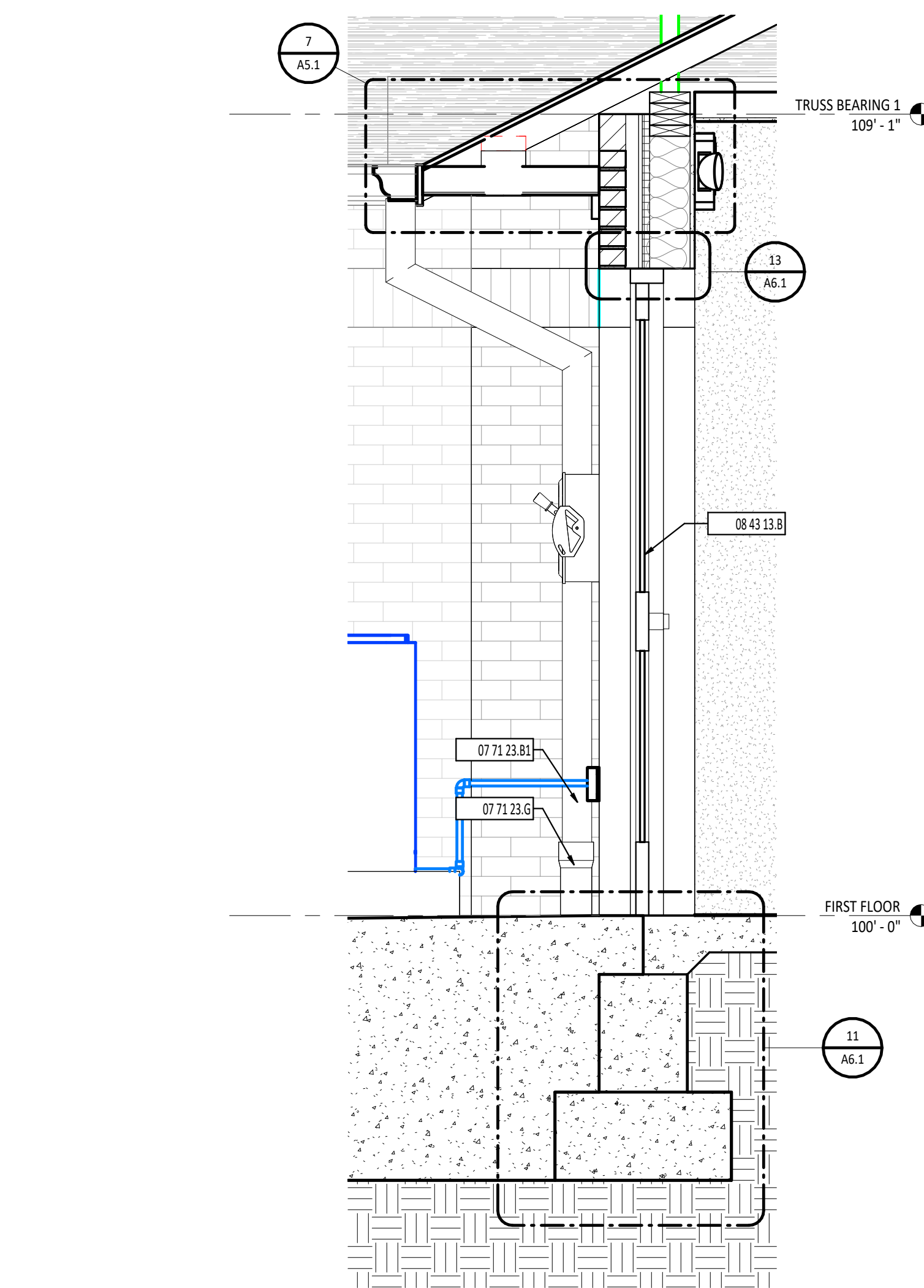
1 WALL SECTION  
A4.1 3/4" = 1'-0"



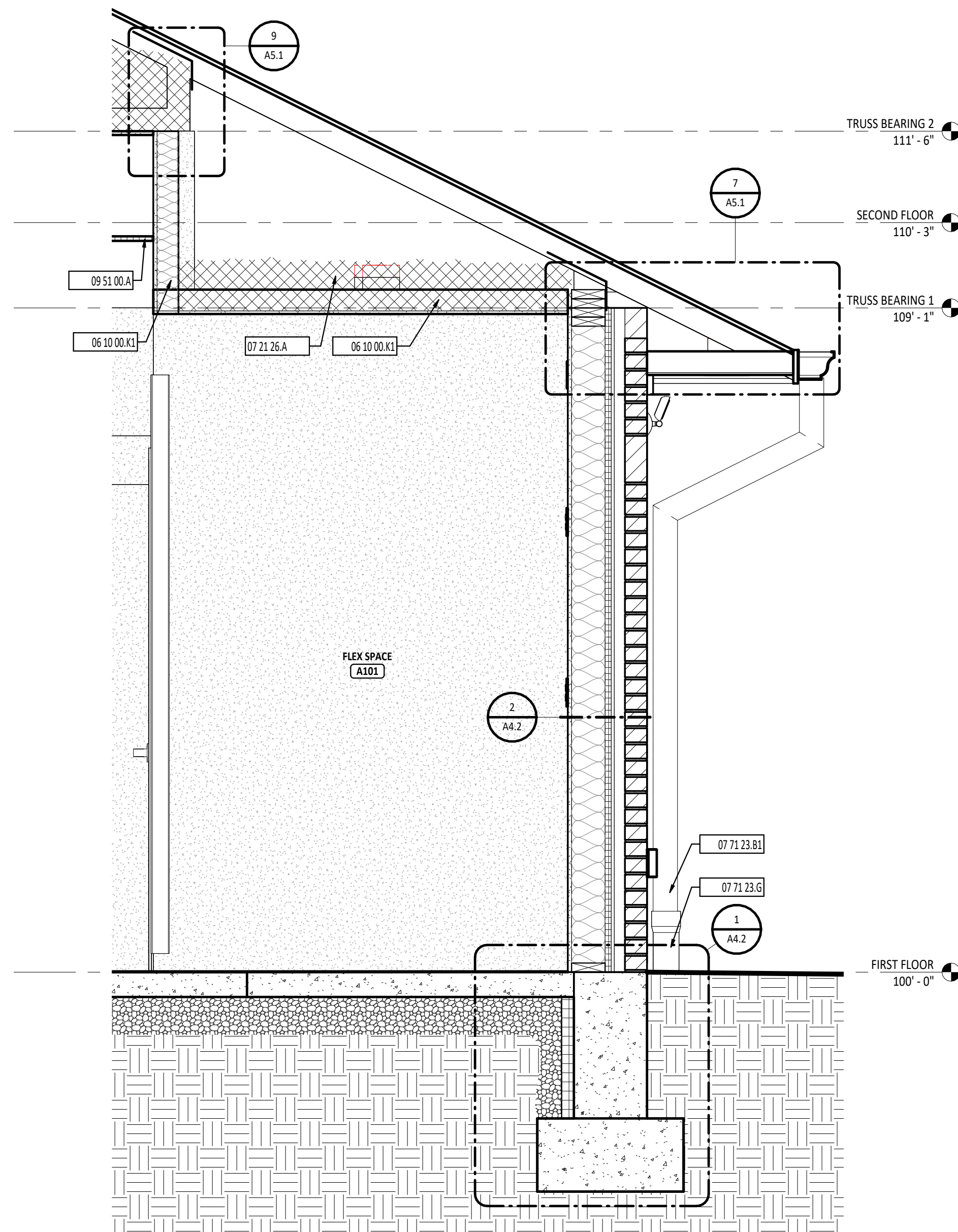
2 WALL SECTION  
A4.1 3/4" = 1'-0"



3 WALL SECTION  
A4.1 3/4" = 1'-0"



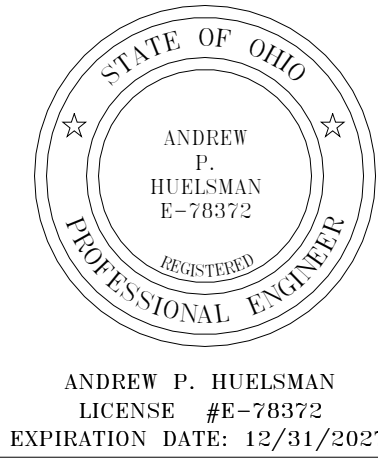
4 WALL SECTION  
A4.1 3/4" = 1'-0"



5 WALL SECTION  
A4.1 3/4" = 1'-0"

| WALL SECTION SYMBOLS LEGEND |  |
|-----------------------------|--|
|                             | DOOR DESIGNATION - REFERENCE DOOR/OPENING SCHEDULE.  |
|                             | ROOM DESIGNATION - REFERENCE ROOM INDEX.   |
|                             | CURTAIN WALL/STOREFRONT/WINDOW TYPE DESIGNATION  |
|                             | LEVEL  |
|                             | ELEVATION  |
|                             | STRUCTURAL GRID - REFERENCE STRUCTURAL DRAWINGS.   |
|                             | DIVISIONAL KEYNOTE DESIGNATION - REFERENCE KEYNOTE SCHEDULE AND SPECIFICATIONS FOR ADDITIONAL INFORMATION. |
|                             | KEYNOTE DESIGNATION - SPECIFICATION SECTION  |
|                             | CALLOUT  |
|                             | DETAIL NUMBER - SHEET NUMBER   |
|                             | SECTION - DETAIL NUMBER - SHEET NUMBER   |

| KEYNOTE DESCRIPTION |  |
|---------------------|--|
| 04 20 00.A          | FACE BRICK VENEER  |
| 04 20 00.C          | FACE BRICK VENEER - SOLDIER COURSE   |
| 06 10 00.K1         | 2X4 WOOD FRAMING AT 16" OC   |
| 07 21 26.A          | BLOWN INSULATION - R-49 MINIMUM REQUIRED   |
| 07 46 26.A1         | 3/8" LP SMARTSIDE BOARD SOFFIT, PENTED; PAINT PER FINISH SCHEDULE  |
| 07 71 23.B1         | 1 X 8 LP SMARTSIDE RAKE BOARD; PAINT PER FINISH SCHEDULE   |
| 07 71 23.B1         | 4" X 6" PREFINISHED METAL DOWNSPOUT  |
| 07 71 23.G          | PVC DOWNSPOUT BOOT   |
| 08 43 13.B          | ALUMINUM STOREFRONT DOOR AND FRAME - REFERENCE OPENING SCHEDULE.   |
| 08 43 13.D          | RELOCATED EXISTING STOREFRONT WINDOW   |
| 09 51 00.A          | ACOUSTICAL CEILING TILE AND SUSPENSION SYSTEM - REFERENCE REFLECTED CEILING PLANS FOR SPECIFIC CEILING TYPE. |



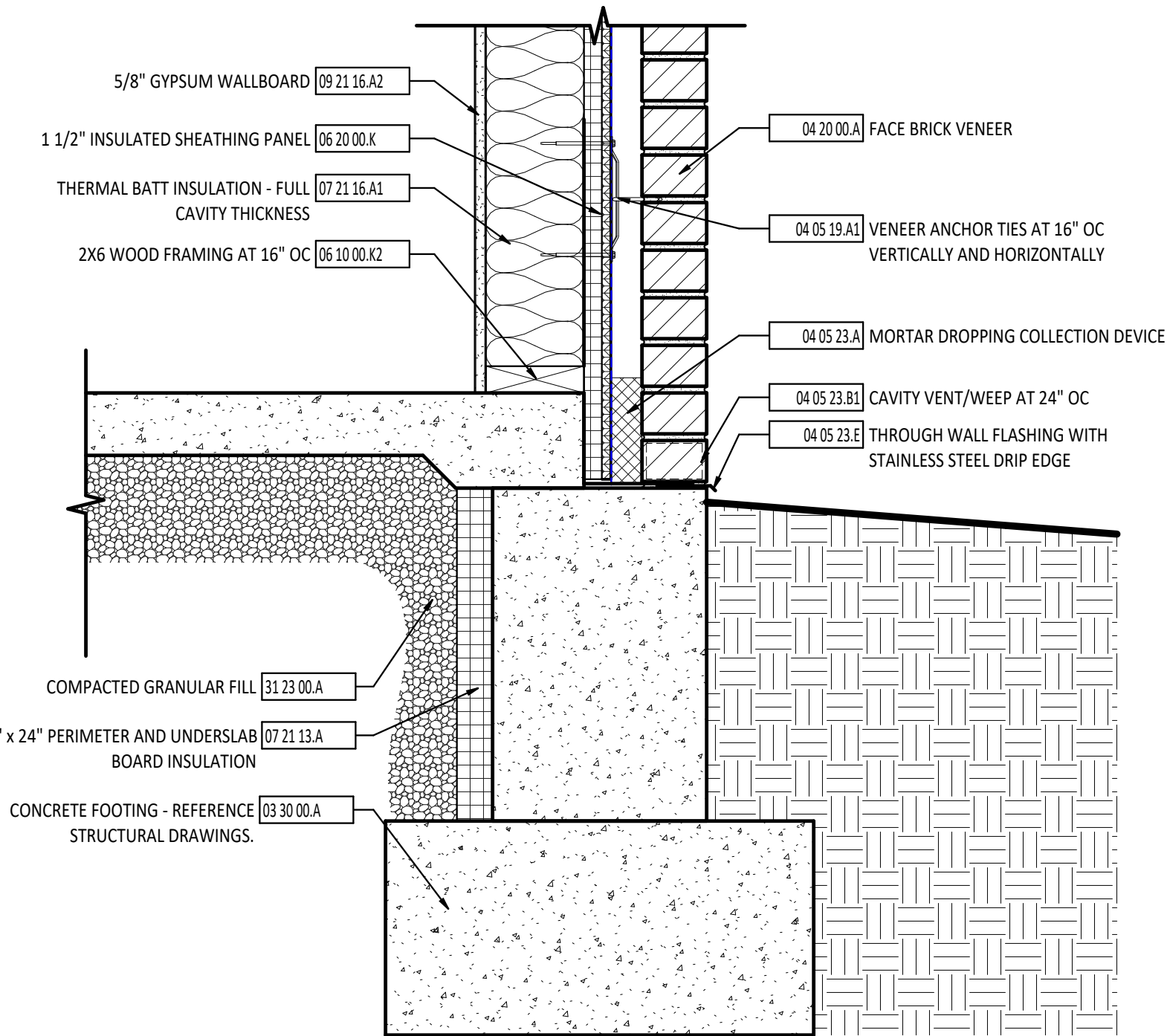
## TIPP CITY SENIORS NEW ADDITION

| ISSUANCES/REVISIONS    |            |
|------------------------|------------|
| CONSTRUCTION DOCUMENTS | 01/13/2026 |

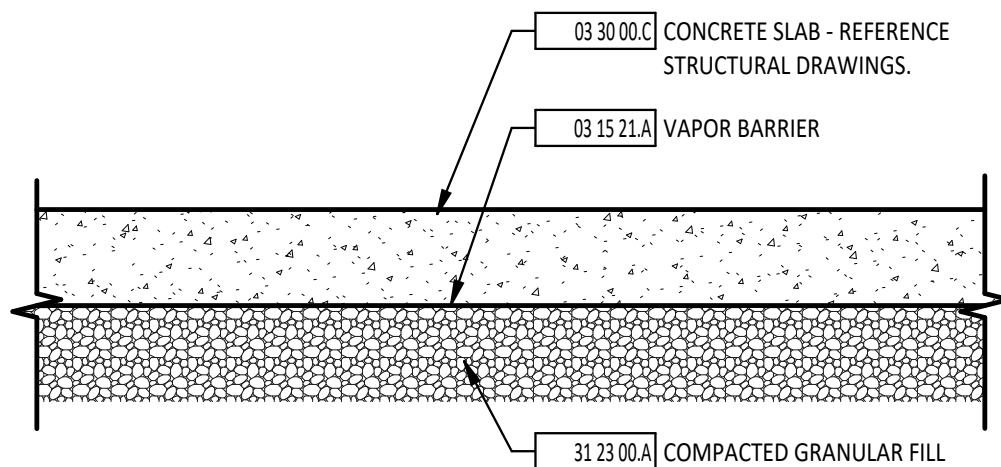
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| 25059.00        | MLE       | SMD         |

SHEET TITLE:  
**WALL SECTIONS**

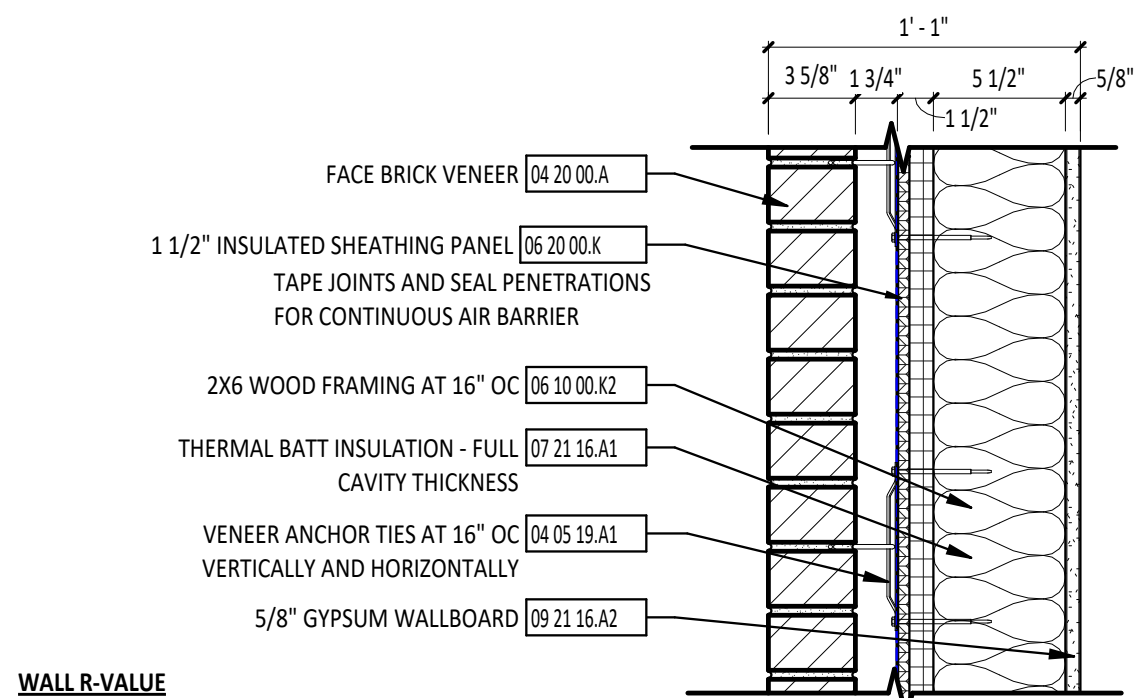
SHEET NUMBER:  
**A4.1**



1 TYPICAL FOUNDATION DETAIL  
1 1/2" = 1'-0"



4 CONCRETE SLAB ASSEMBLY  
1 1/2" = 1'-0"

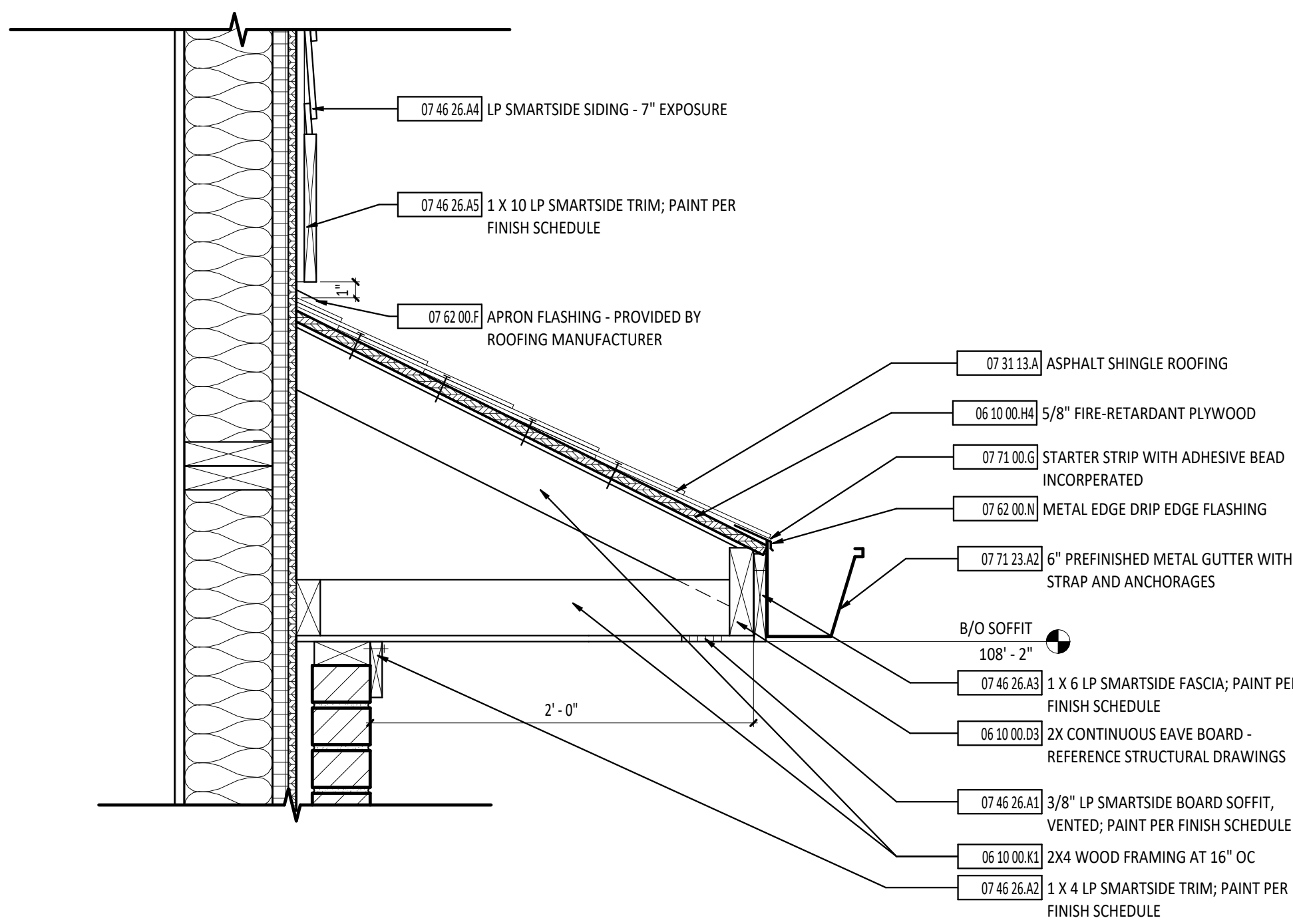


| WALL R-VALUE                         |              |      |
|--------------------------------------|--------------|------|
| - INTERIOR AIR FILM                  |              | 0.68 |
| - GYPSUM WALLBOARD - 5/8"            |              | 0.56 |
| - FRAMING + CAVITY INSULATION        |              |      |
| WOOD STUD - 5 1/2" x 1.25 = R-6.88   |              |      |
| THERMAL BATT INSULATION = R-21       |              |      |
| FRAMING FACTOR AT 16" OC = 25%       |              |      |
| $(.25)(1/6.88) + (.75)(1/21) = X$    |              |      |
| $.0362 + .0357 = X$                  |              |      |
| $X = \text{U-FACTOR} = 0.0720$       |              |      |
| $R = 1/U = 1/.0720 =$                | 13.89        |      |
| - INSULATED SHEATHING PANEL - 1 1/2" | 6.60         |      |
| - AIR CAVITY - 1 3/4"                | 1.00         |      |
| - BRICK MASONRY - 3 5/8"             | 0.44         |      |
| - EXTERIOR AIR FILM                  | 0.17         |      |
| <b>TOTAL R-VALUE</b>                 | <b>22.34</b> |      |
| <b>TOTAL U-FACTOR</b>                | <b>0.045</b> |      |

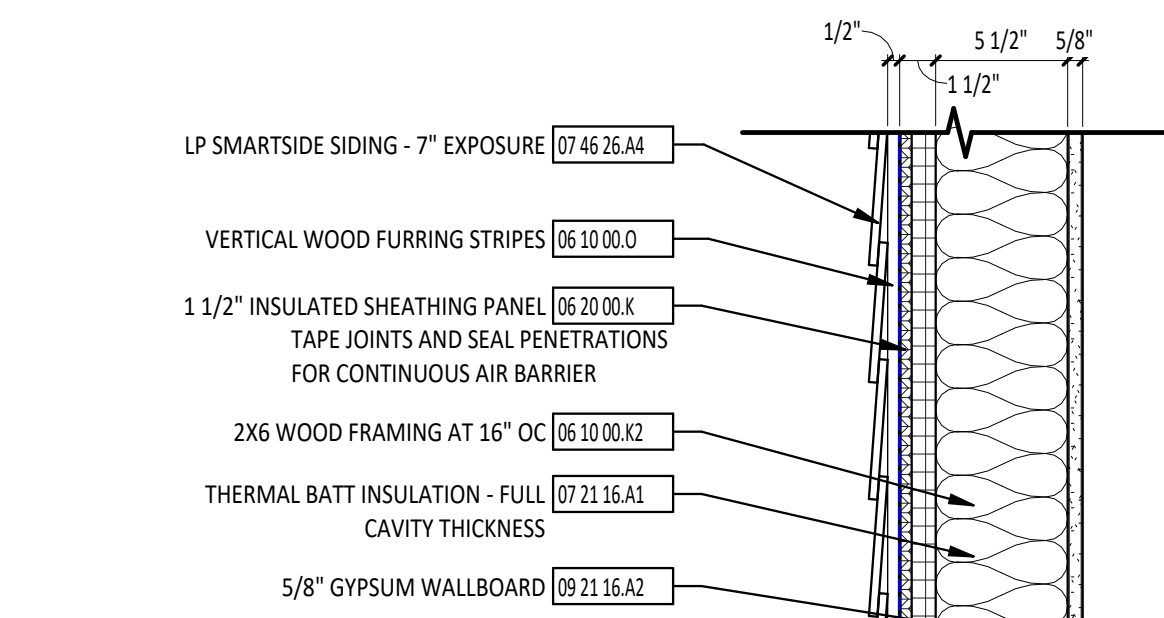
ASSEMBLY COMPLIES WITH R-VALUE METHOD.  
IECC TABLE C402.1.3, CLIMATE ZONE 5,  
WOOD FRAMED WALLS ABOVE GRADE,  
REQUIRED: R-20 + R-3.8ci  
PROVIDED: R-21 + R-6.6ci

ASSEMBLY COMPLIES WITH U-FACTOR METHOD.  
IECC TABLE C402.1.4, CLIMATE ZONE 5,  
WOOD FRAMED WALLS ABOVE GRADE,  
MAXIMUM U-FACTOR = 0.051.

2 EXTERIOR WALL ASSEMBLY  
1 1/2" = 1'-0"



5 EAVE DETAIL WITH SOFFIT  
1 1/2" = 1'-0"

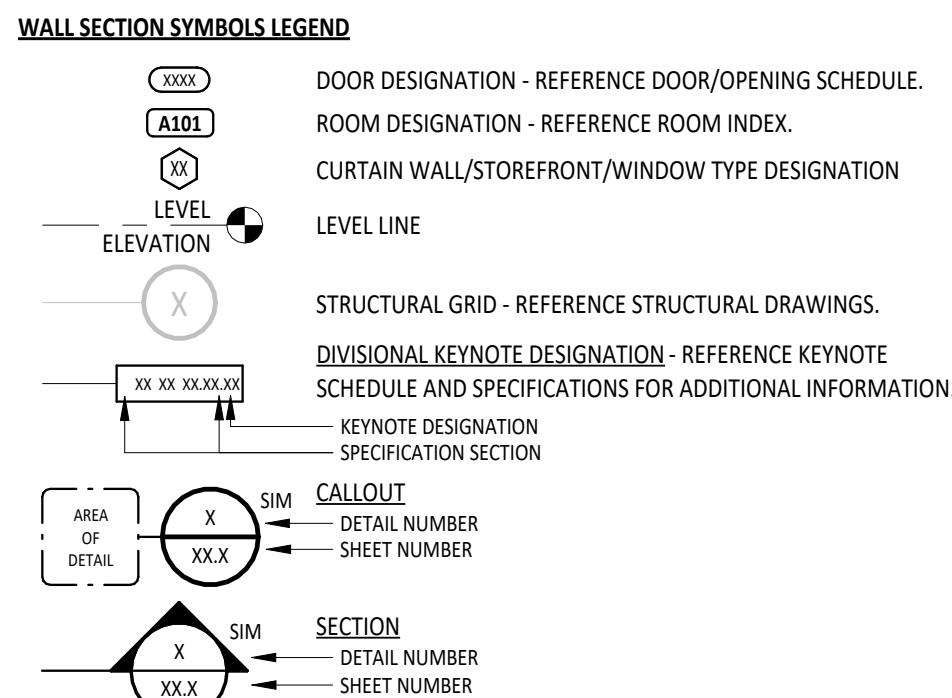


| WALL R-VALUE                         |              |      |
|--------------------------------------|--------------|------|
| - INTERIOR AIR FILM                  |              | 0.68 |
| - GYPSUM WALLBOARD - 5/8"            |              | 0.56 |
| - FRAMING + CAVITY INSULATION        |              |      |
| WOOD STUD - 5 1/2" x 1.25 = R-6.88   |              |      |
| THERMAL BATT INSULATION = R-21       |              |      |
| FRAMING FACTOR AT 16" OC = 25%       |              |      |
| $(.25)(1/6.88) + (.75)(1/21) = X$    |              |      |
| $.0362 + .0357 = X$                  |              |      |
| $X = \text{U-FACTOR} = 0.0720$       |              |      |
| $R = 1/U = 1/.0720 =$                | 13.89        |      |
| - INSULATED SHEATHING PANEL - 1 1/2" | 6.60         |      |
| - HARDBOARD LAP SIDING               | 0.15         |      |
| - EXTERIOR AIR FILM                  | 0.17         |      |
| <b>TOTAL R-VALUE</b>                 | <b>22.05</b> |      |
| <b>TOTAL U-FACTOR</b>                | <b>0.045</b> |      |

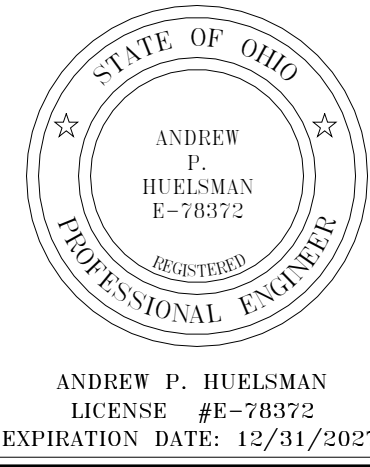
ASSEMBLY COMPLIES WITH R-VALUE METHOD.  
IECC TABLE C402.1.3, CLIMATE ZONE 5,  
WOOD FRAMED WALLS ABOVE GRADE,  
REQUIRED: R-20 + R-3.8ci  
PROVIDED: R-21 + R-6.6ci

ASSEMBLY COMPLIES WITH U-FACTOR METHOD.  
IECC TABLE C402.1.4, CLIMATE ZONE 5,  
WOOD FRAMED WALLS ABOVE GRADE,  
MAXIMUM U-FACTOR = 0.051.

3 EXTERIOR WALL ASSEMBLY  
1 1/2" = 1'-0"



| #           | KEYNOTE DESCRIPTION   |
|-------------|---|
| 03 15 21.A  | VAPOR BARRIER   |
| 03 30 00.A  | CONCRETE FOOTING - REFERENCE STRUCTURAL DRAWINGS.                 |
| 03 30 00.C  | CONCRETE SLAB - REFERENCE STRUCTURAL DRAWINGS.                    |
| 04 05 19.A1 | VENEER ANCHOR TIES AT 16" OC VERTICALLY AND HORIZONTALLY          |
| 04 05 23.A  | MORTAR DROPPING COLLECTION DEVICE                                 |
| 04 05 23.B1 | CAVITY VENT/WEEP AT 24" OC  |
| 04 05 23.E  | THROUGH WALL FLASHING WITH STAINLESS STEEL DRIP EDGE              |
| 04 20 00.A  | FACE BRICK VENEER   |
| 06 10 00.03 | 2X CONTINUOUS EAVE BOARD - REFERENCE STRUCTURAL DRAWINGS          |
| 06 10 00.H4 | 5/8" FIRE-RETARDANT PLYWOOD                                       |
| 06 10 00.K1 | 2X4 WOOD FRAMING AT 16" OC  |
| 06 10 00.K2 | 2X6 WOOD FRAMING AT 16" OC  |
| 06 10 00.O  | VERTICAL WOOD FURRING STRIPES                                     |
| 06 20 00.K  | 1 1/2" INSULATED SHEATHING PANEL                                  |
| 07 21 13.A  | 2" x 24" PERIMETER AND UNDERSLAB BOARD INSULATION                 |
| 07 21 16.A1 | THERMAL BATT INSULATION - FULL CAVITY THICKNESS                   |
| 07 31 13.A  | ASPHALT SHINGLE ROOFING   |
| 07 46 26.A1 | 3/8" LP SMARTSIDE BOARD SOFFIT, VENTED; PAINT PER FINISH SCHEDULE |
| 07 46 26.A2 | 1 X 4 LP SMARTSIDE TRIM; PAINT PER FINISH SCHEDULE                |
| 07 46 26.A3 | 1 X 6 LP SMARTSIDE FASCIA; PAINT PER FINISH SCHEDULE              |
| 07 46 26.A4 | LP SMARTSIDE SIDING - 7" EXPOSURE                                 |
| 07 46 26.A5 | 1 X 10 LP SMARTSIDE TRIM; PAINT PER FINISH SCHEDULE               |
| 07 62 00.F  | APRON FLASHING - PROVIDED BY ROOFING MANUFACTURER                 |
| 07 62 00.N  | METAL EDGE DRIP EDGE FLASHING                                     |
| 07 71 00.G  | STARTER STRIP WITH ADHESIVE BEAD INCORPORATED                     |
| 07 71 23.A2 | 6" PREFINISHED METAL GUTTER WITH STRAP AND ANCHORAGES             |
| 09 21 16.A2 | 5/8" GYPSUM WALLBOARD   |
| 31 23 00.A  | COMPACTED GRANULAR FILL   |



## TIPP CITY SENIORS NEW ADDITION

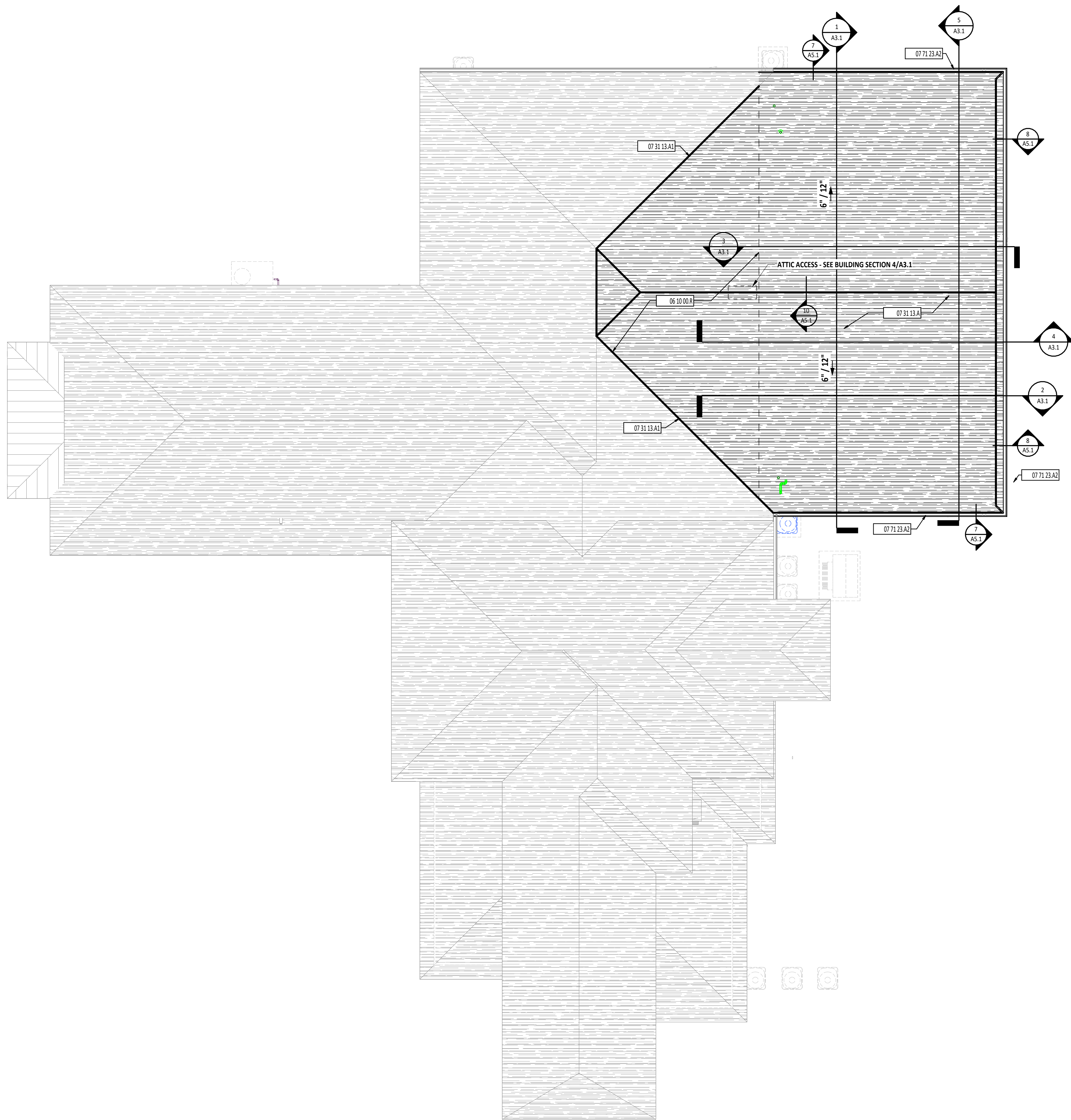
| ISSUANCES/REVISIONS    |  |            |
|------------------------|--|------------|
| CONSTRUCTION DOCUMENTS |  | 01/13/2026 |

|                 |           |             |
|-----------------|-----------|-------------|
| PROJECT NUMBER: | DRAWN BY: | CHECKED BY: |
| 25059.00        | MLE       | SMD         |

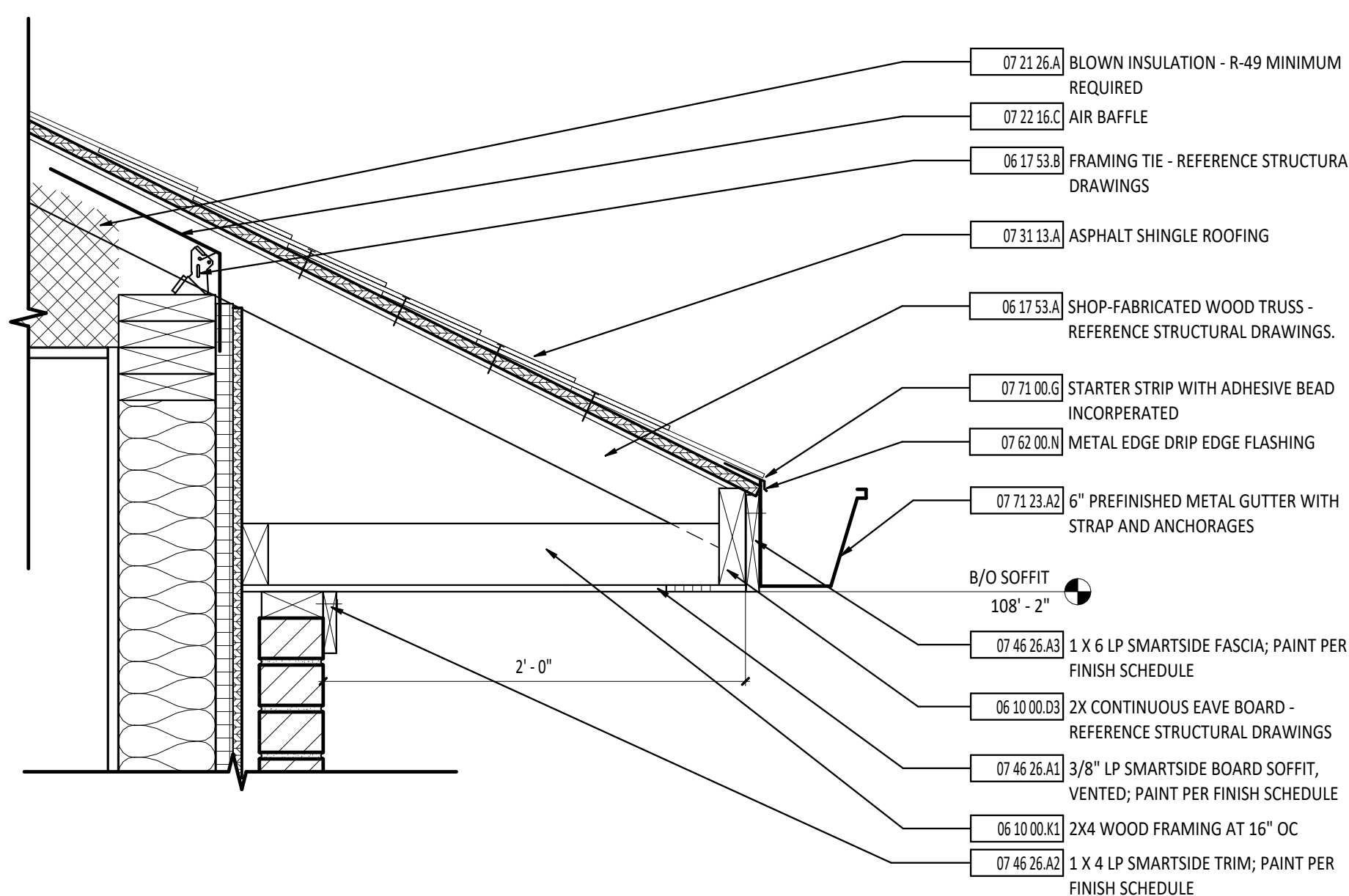
SHEET TITLE:  
**WALL SECTION  
DETAILS & WALL  
ASSEMBLIES**

SHEET NUMBER:

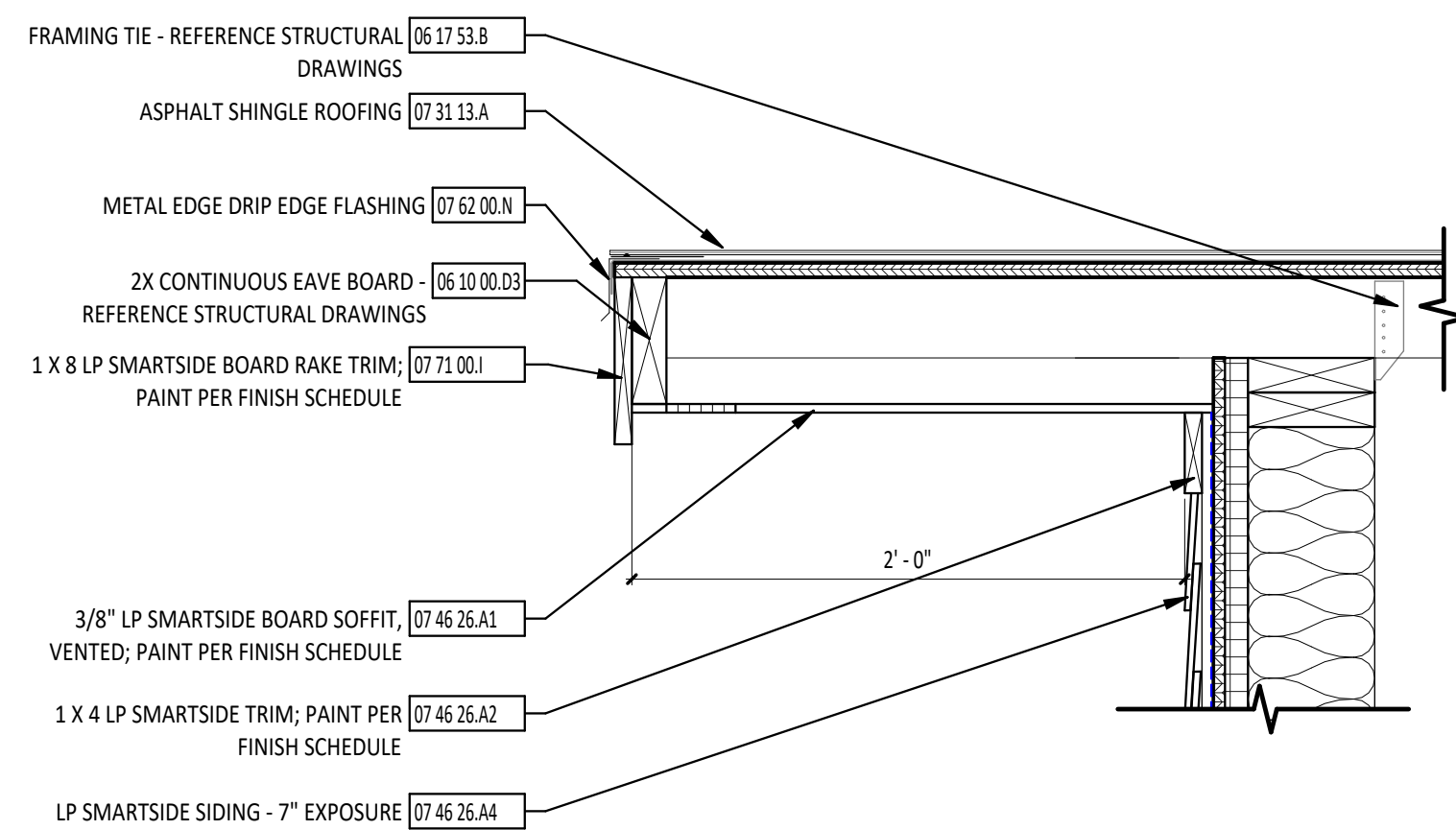
**A4.2**



**1**  
AS.1  
**ROOF PLAN**  
1 1/2" = 1'-0"

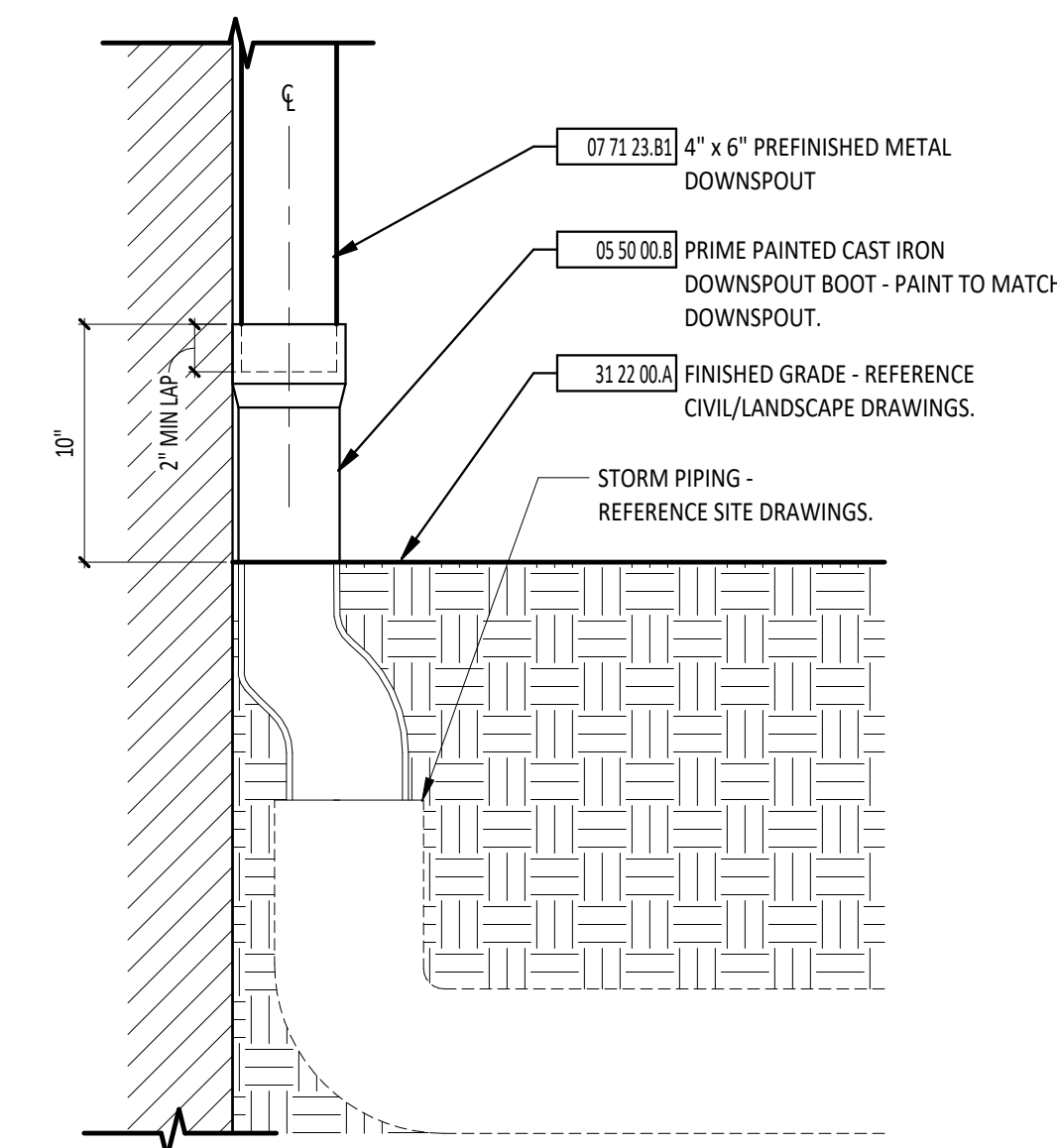


**7**  
AS.1  
**EAVE DETAIL WITH SOFFIT**  
1 1/2" = 1'-0"

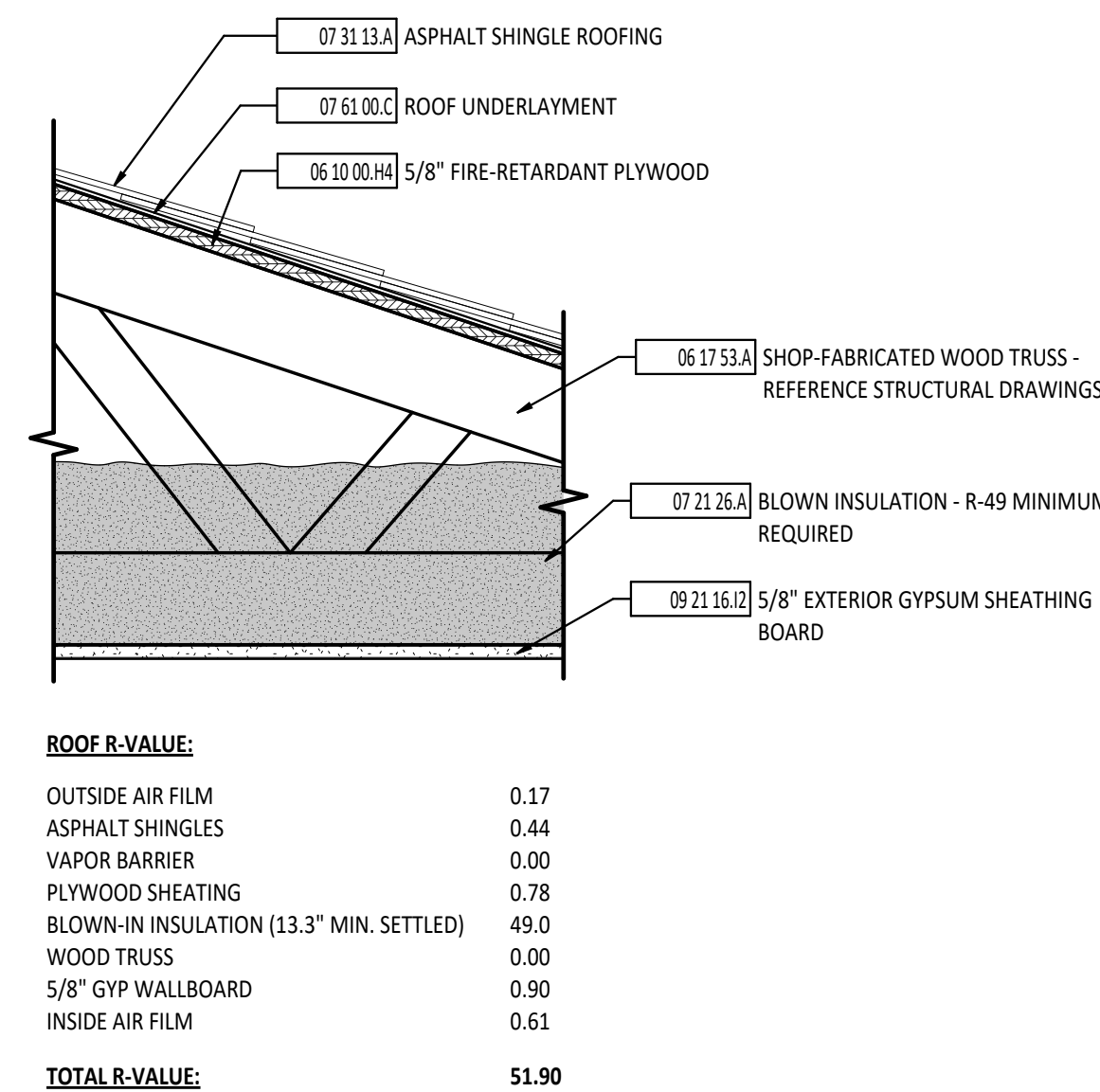


**8**  
AS.1  
**RAKE DETAIL WITH SOFFIT**  
1 1/2" = 1'-0"

**5**  
AS.1  
**DOWNSPOUT BOOT DETAIL**  
1 1/2" = 1'-0"



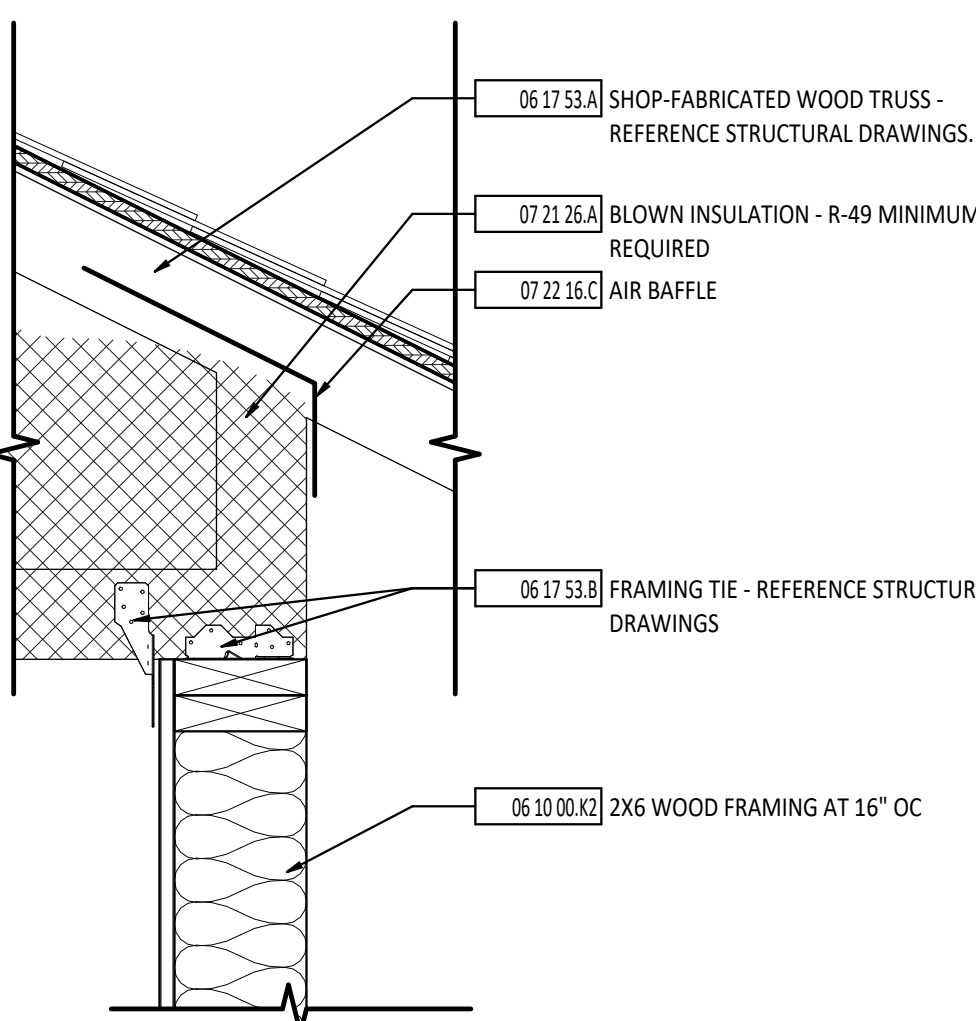
**6**  
AS.1  
**ROOF ASSEMBLY**  
1 1/2" = 1'-0"



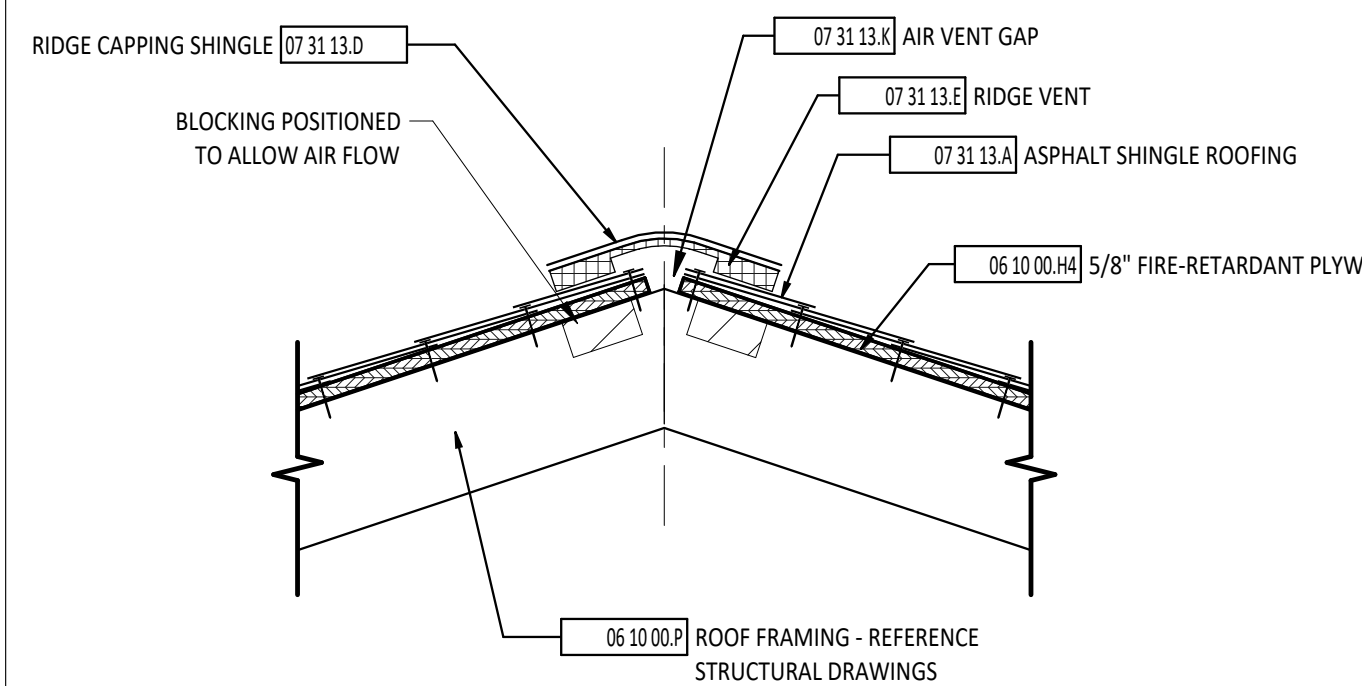
**ROOF R-VALUE:**

|  |              |
|--|--------------|
| OUTSIDE AIR FILM                         | 0.17         |
| ASPHALT SHINGLES                         | 0.44         |
| VAPOR BARRIER                            | 0.00         |
| PLYWOOD SHEATHING                        | 0.78         |
| BLOWN-IN INSULATION (13.5" MIN. SETTLED) | 49.0         |
| WOOD TRUSS                               | 0.00         |
| 5/8" GYP WALLBOARD                       | 0.90         |
| INSIDE AIR FILM                          | 0.61         |
| <b>TOTAL R-VALUE:</b>                    | <b>51.90</b> |

**9**  
AS.1  
**EAVE DETAIL AT TRUSS HEEL**  
1 1/2" = 1'-0"



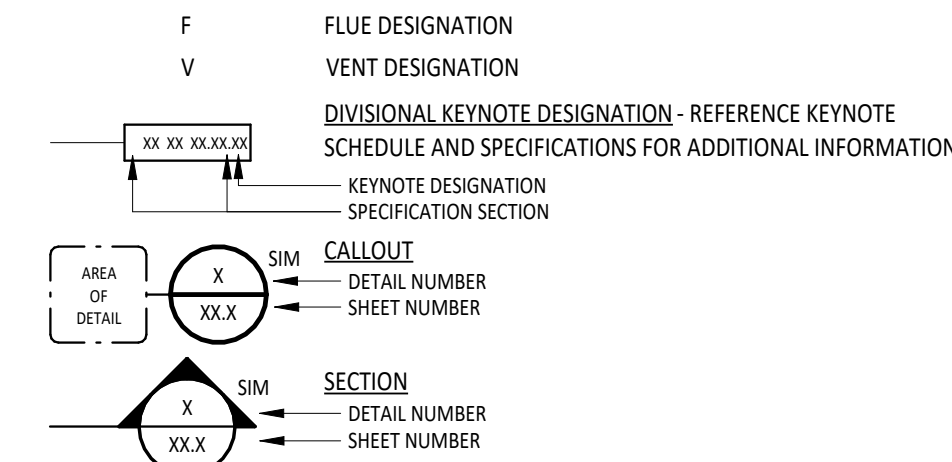
**10**  
AS.1  
**VENTED RIDGE DETAIL**  
1 1/2" = 1'-0"



#### ROOF PLAN GENERAL NOTES

- A REFER TO MANUFACTURER FOR ROOF INSTALLATION DETAILS.  
B ALL WOOD BLOCKING AT ROOF PENETRATIONS SHALL BE PRESERVATIVE TREATED.

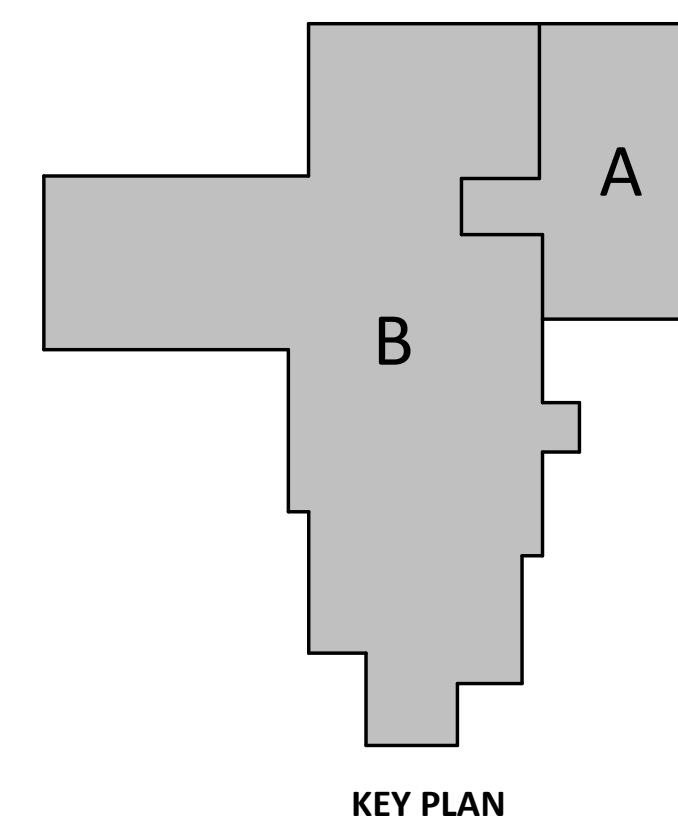
#### ROOF PLAN SYMBOLS LEGEND



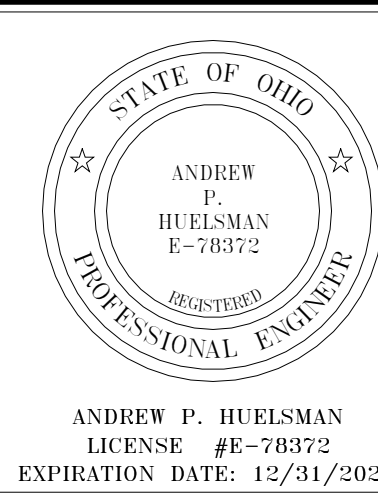
#### ROOF PLAN MATERIAL PATTERNS LEGEND



| #           | KEYNOTE DESCRIPTION  |
|-------------|--|
| 05 50 00.B  | PRIME PAINTED CAST IRON DOWNSPOUT BOOT - PAINT TO MATCH DOWNSPOUT. |
| 06 10 00.D3 | 2X CONTINUOUS EAVE BOARD - REFERENCE STRUCTURAL DRAWINGS           |
| 06 10 00.H4 | 5/8" FIRE-RETARDANT PLYWOOD  |
| 06 10 00.K1 | 2X4 WOOD FRAMING AT 16" OC   |
| 06 10 00.K2 | 2X6 WOOD FRAMING AT 16" OC   |
| 06 10 00.P  | ROOF FRAMING - REFERENCE STRUCTURAL DRAWINGS                       |
| 06 10 00.R  | OVER-FRAME PORTION OF EXISTING ROOF                                |
| 06 17 53.A  | SHOP-FABRICATED WOOD TRUSS - REFERENCE STRUCTURAL DRAWINGS.        |
| 06 17 53.B  | FRAMING TIE - REFERENCE STRUCTURAL DRAWINGS                        |
| 07 21 26.A  | BLOWN INSULATION - R-49 MINIMUM REQUIRED                           |
| 07 22 16.C  | AIR BAFFLE   |
| 07 31 13.A  | ASPHALT SHINGLE ROOFING  |
| 07 31 13.A1 | WEAVE-IN NEW ASPHALT SHINGLES                                      |
| 07 31 13.D  | RIDGE CAPPING SHINGLE  |
| 07 31 13.E  | RIDGE VENT   |
| 07 31 13.X  | AIR VENT GAP   |
| 07 46 26.A1 | 3/8" LP SMARTSIDE BOARD SOFFIT, VENTED; PAINT PER FINISH SCHEDULE  |
| 07 46 26.A2 | 1 X 4 LP SMARTSIDE TRIM; PAINT PER FINISH SCHEDULE                 |
| 07 46 26.A3 | 1 X 6 LP SMARTSIDE FASCIA; PAINT PER FINISH SCHEDULE               |
| 07 46 26.A4 | LP SMARTSIDE SIDING - 7" EXPOSURE                                  |
| 07 61 00.C  | ROOF UNDERLAYMENT  |
| 07 62 00.N  | METAL EDGE DRIP EDGE FLASHING                                      |
| 07 71 00.G  | STARTER STRIP WITH ADHESIVE BEAD INCORPORATED                      |
| 07 71 00.I  | 1 X 8 LP SMARTSIDE BOARD RAKE TRIM; PAINT PER FINISH SCHEDULE      |
| 07 71 23.A  | PREFINISHED METAL GUTTER WITH STRAP AND ANCHORAGES                 |
| 07 71 23.A2 | 6" PREFINISHED METAL GUTTER WITH STRAP AND ANCHORAGES              |
| 07 71 23.B  | PREFINISHED METAL DOWNSPOUT  |
| 07 71 23.B1 | 6" x 6" PREFINISHED METAL DOWNSPOUT                                |
| 09 21 16.I2 | 5/8" EXTERIOR GYPSUM SHEATHING BOARD                               |
| 31 22 00.A  | FINISHED GRADE - REFERENCE CIVIL/LANDSCAPE DRAWINGS.               |



KEY PLAN



## TIPP CITY SENIORS NEW ADDITION

520 NORTH HUNT STREET, TIPP CITY, OH 45371

#### ISSUANCES/REVISIONS

CONSTRUCTION DOCUMENTS | 02/13/2026

PROJECT NUMBER: 25059.00  
DRAWN BY: MLE  
CHECKED BY: SMD

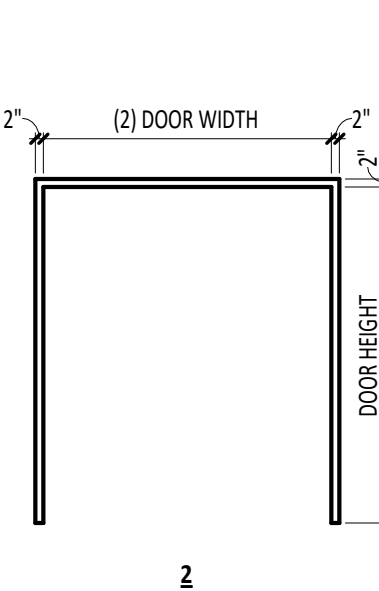
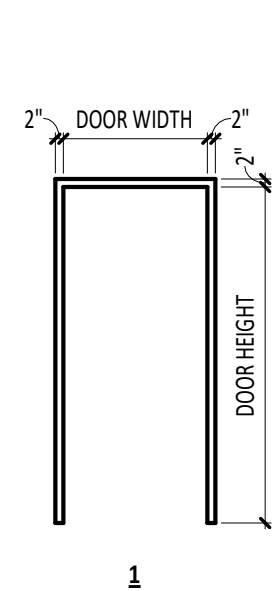
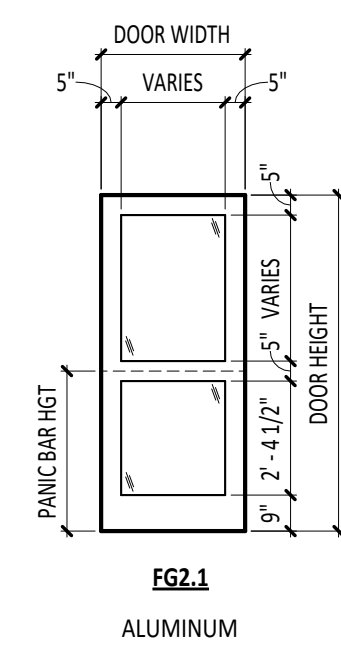
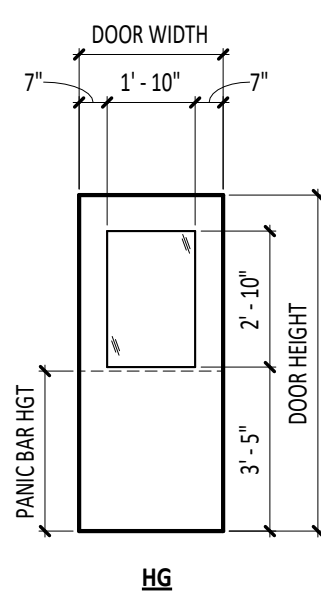
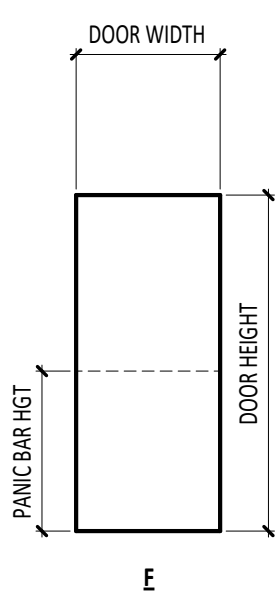
SHEET TITLE:

#### ROOF PLAN AND ROOF DETAILS

SHEET NUMBER:

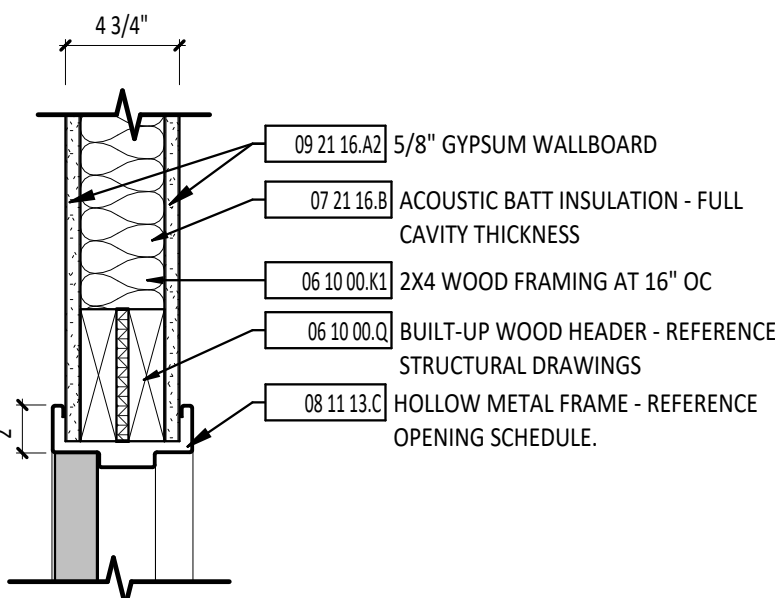
**A5.1**

| DOOR/OPENING SCHEDULE |                   |        |      |       |       |        |      |      |       |               |         |         |          |          |          |             |       |
|-----------------------|-------------------|--------|------|-------|-------|--------|------|------|-------|---------------|---------|---------|----------|----------|----------|-------------|-------|
| DOOR                  |                   |        |      |       | FRAME |        |      |      |       |               |         |         | HARDWARE | ROOM KEY | FUNCTION | LABEL (MIN) | NOTES |
| NUMBER                | SIZE              | THK    | MATL | TYPE  | GLASS | DEPTH  | MATL | TYPE | GLASS | DETAIL NUMBER |         |         |          |          |          |             |       |
|                       |                   |        |      |       |       |        |      |      |       | HEAD          | JAMB    | SILL    |          |          |          |             |       |
| A101a                 | 3'-0" x 7'-0"     | 1 3/4" | WD   | HG    | G-1   | 7 1/8" | HM   | 1    | -     | 5/A6.1        | 9/A6.1  | -       | 01       | B118     | Interior | -           |       |
| A101b                 | 3'-0" x 7'-2"     | 1 3/4" | AL   | FG2.1 | EG-1  | 6"     | AL   | SFE1 | EG-1  | 13/A6.1       | 12/A6.1 | 11/A6.1 | -        | -        | Exterior | -           |       |
| A102                  | 3'-6" x 7'-0"     | 1 3/4" | WD   | F     | -     | 8 1/4" | HM   | 1    | -     | 4/A6.1        | 8/A6.1  | -       | 02       | A101     | Interior | -           |       |
| A103                  | 3'-0" x 7'-0"     | 1 3/4" | WD   | F     | -     | 7 1/8" | HM   | 1    | -     | 5/A6.1        | 9/A6.1  | -       | 02       | B118     | Interior | -           |       |
| A104                  | (2) 3'-0" x 7'-0" | 1 3/4" | WD   | F     | -     | 5 7/8" | HM   | 2    | -     | 3/A6.1        | 7/A6.1  | -       | 03       | A101     | Interior | -           |       |
| A106a                 | (2) 3'-0" x 7'-0" | 1 3/4" | WD   | F     | -     | 7 1/8" | HM   | 2    | -     | 5/A6.1        | 9/A6.1  | -       | 04       | B122     | Interior | -           |       |
| A106b                 | 3'-0" x 7'-2"     | 1 3/4" | AL   | FG2.1 | EG-1  | 6"     | AL   | SFE1 | EG-1  | 13/A6.1       | 12/A6.1 | 11/A6.1 | -        | -        | Exterior | -           |       |
| A107                  | 3'-0" x 7'-0"     | 1 3/4" | WD   | F     | -     | 8 1/4" | HM   | 1    | -     | 4/A6.1        | 8/A6.1  | -       | 02       | A106     | Interior | -           |       |
| A108a                 | 3'-6" x 7'-0"     | 1 3/4" | WD   | F     | -     | 8 1/4" | HM   | 1    | -     | 4/A6.1        | 8/A6.1  | -       | 02       | A106     | Interior | -           |       |
| A108b                 | 3'-6" x 7'-0"     | 1 3/4" | WD   | F     | -     | 8 1/4" | HM   | 1    | -     | 4/A6.1        | 8/A6.1  | -       | 02       | A106     | Interior | -           |       |

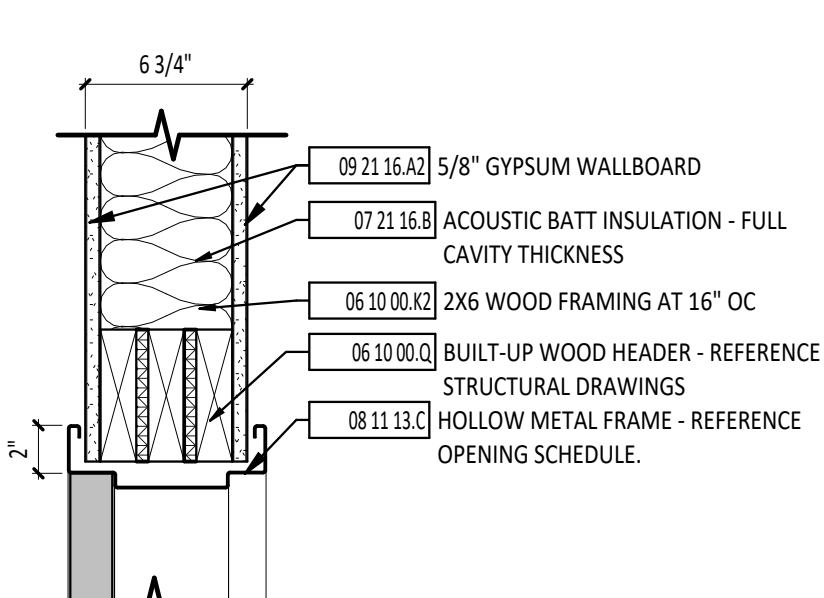


1 A6.1 DOOR TYPES  
1/4" = 1'-0"

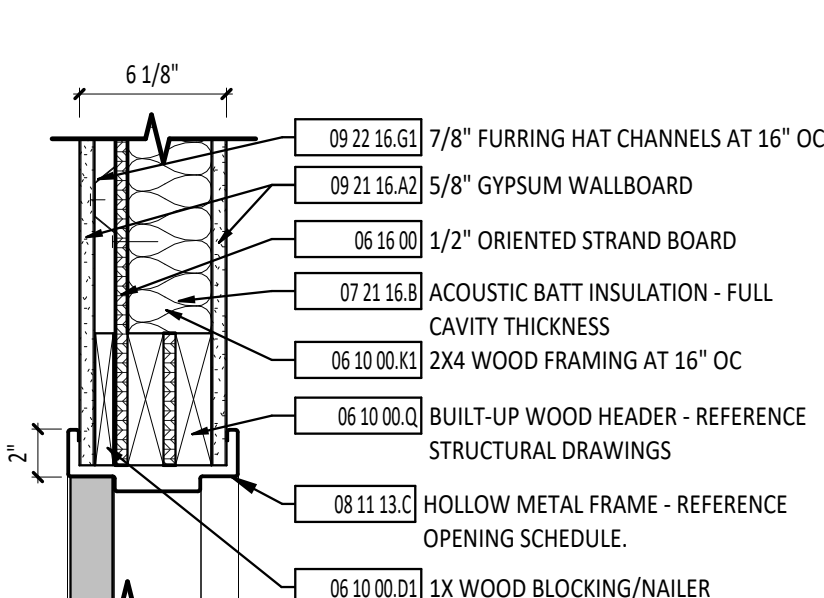
2 A6.1 HOLLOW METAL DOOR FRAME TYPES  
1/4" = 1'-0"



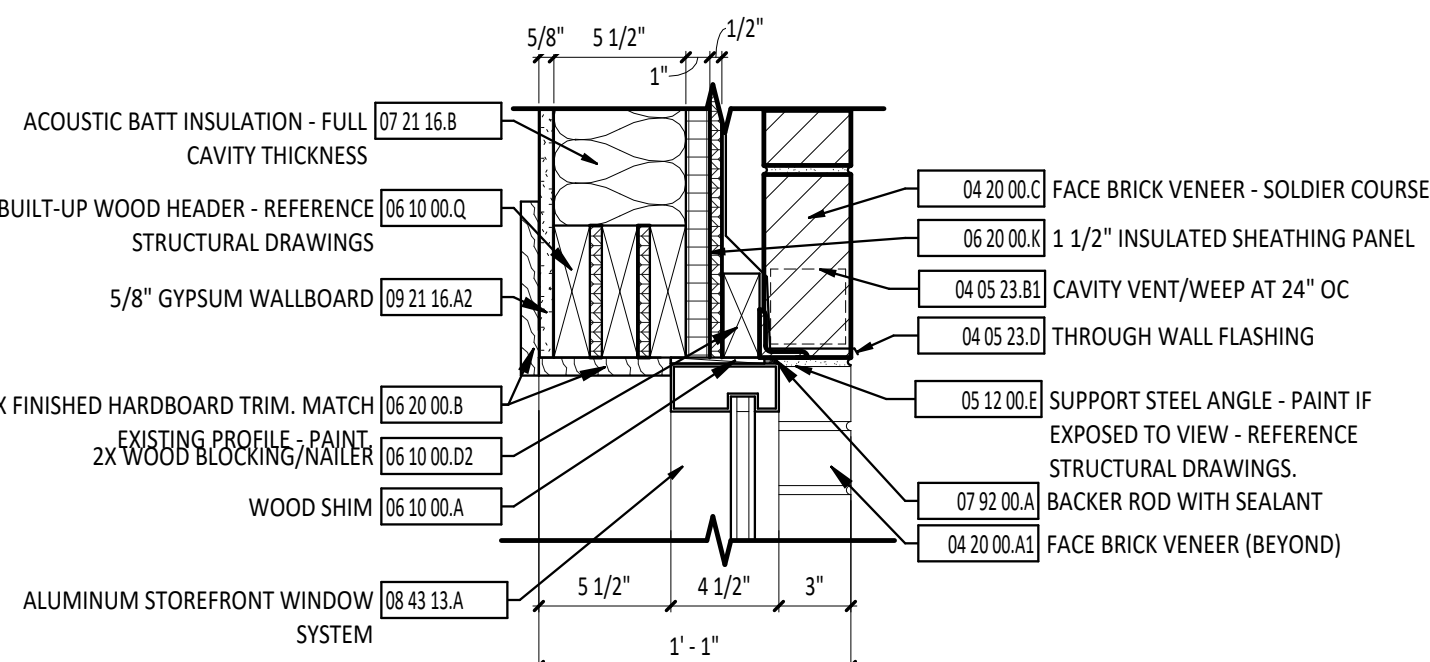
3 A6.1 HEAD DETAIL - INTERIOR  
1 1/2" = 1'-0"



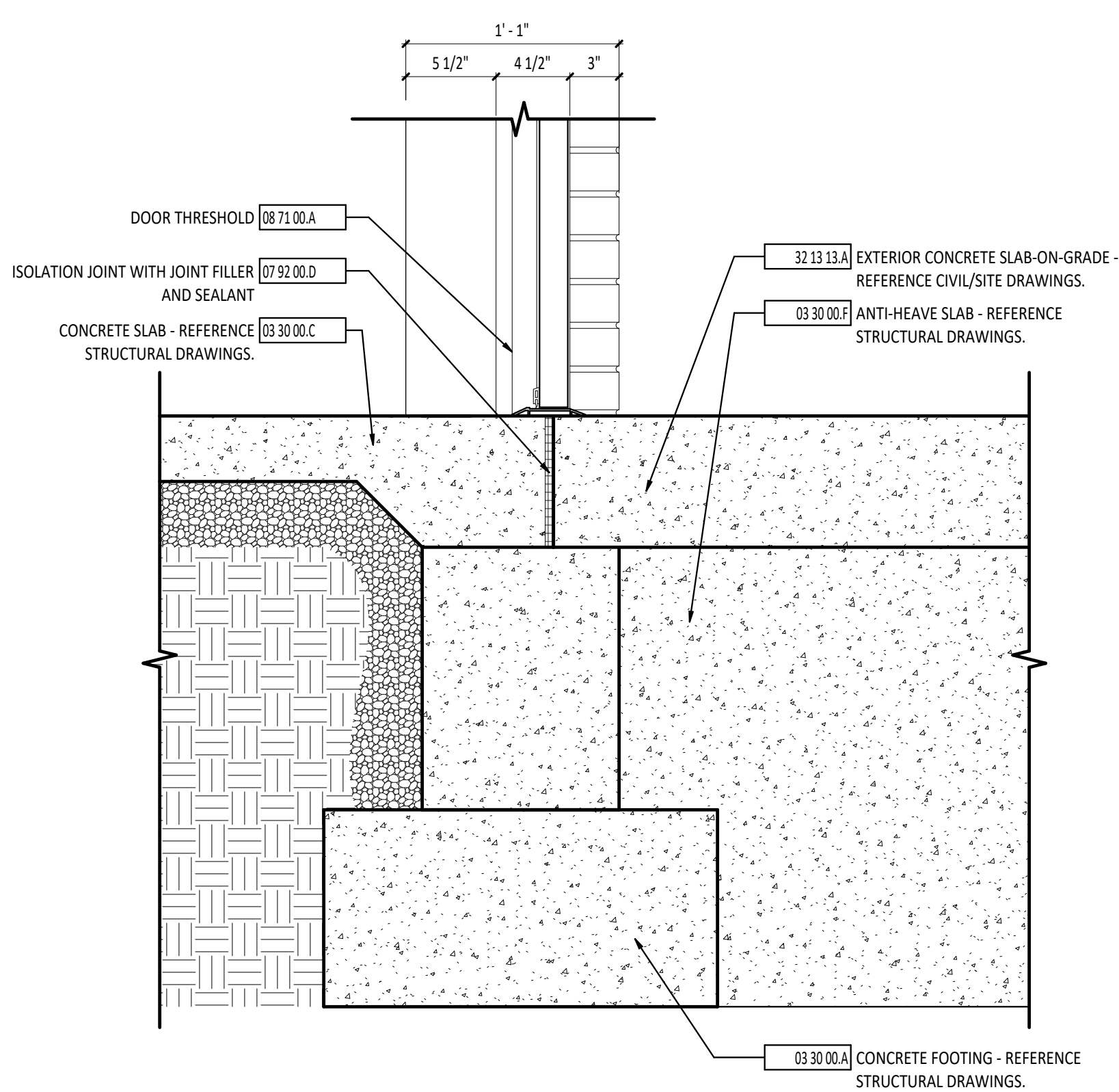
4 A6.1 HEAD DETAIL - INTERIOR  
1 1/2" = 1'-0"



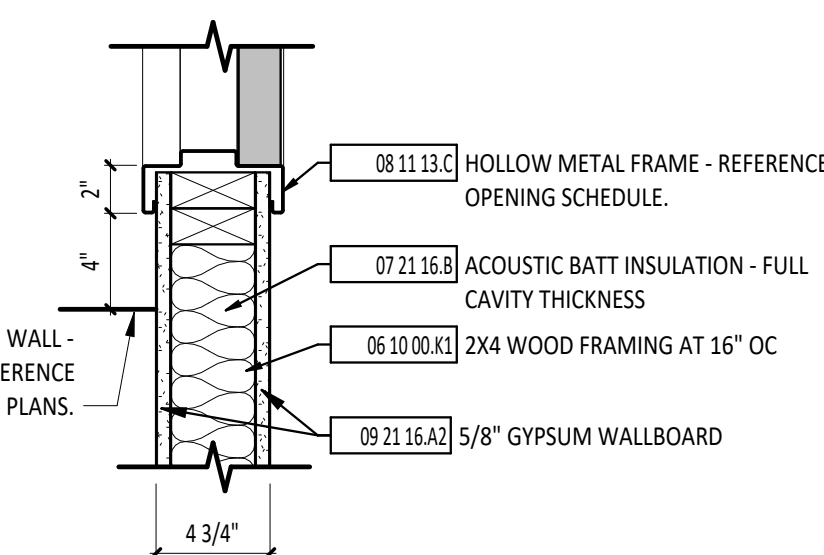
5 A6.1 HEAD DETAIL - INTERIOR  
1 1/2" = 1'-0"



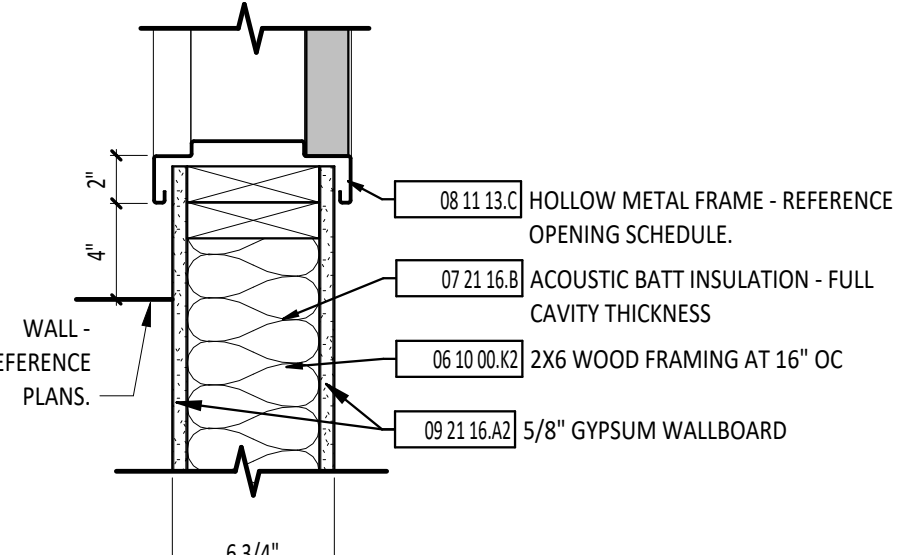
6 A6.1 HEAD DETAIL - EXTERIOR  
1 1/2" = 1'-0"



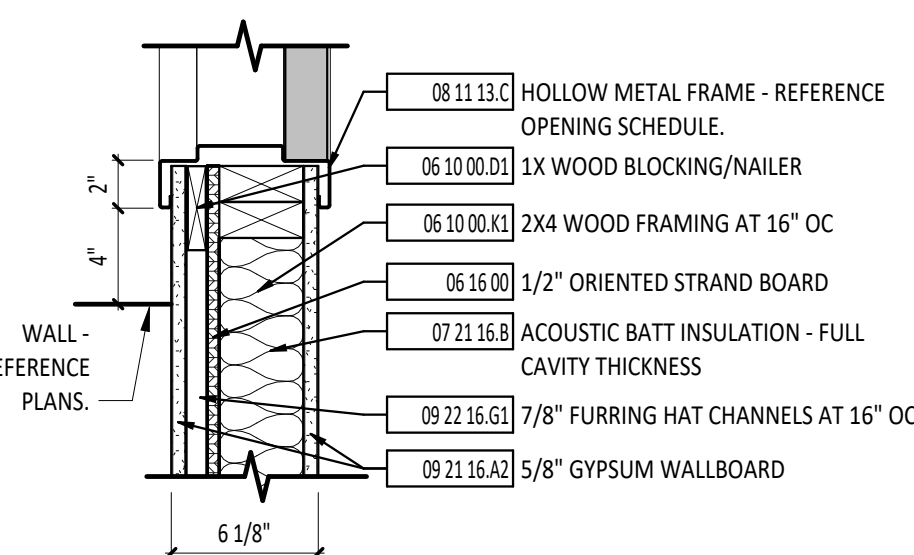
11 A6.1 TYPICAL FOUNDATION DETAIL  
1 1/2" = 1'-0"



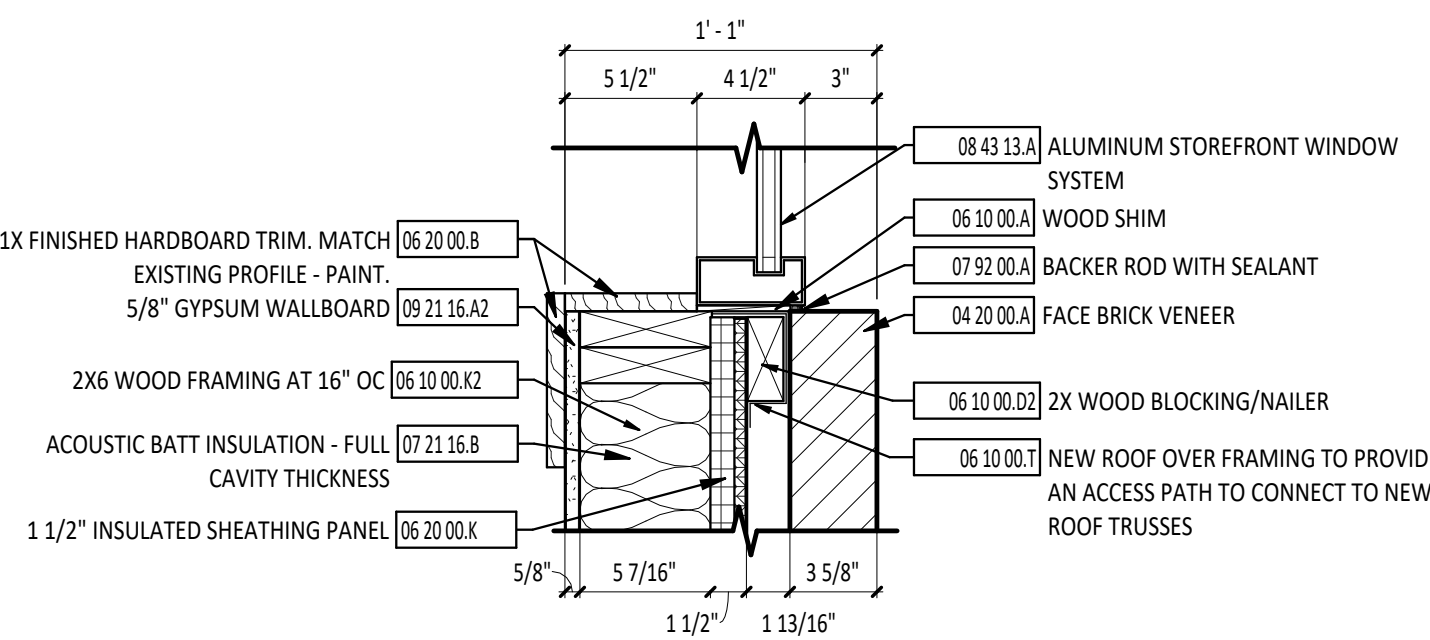
7 A6.1 JAMB DETAIL - INTERIOR  
1 1/2" = 1'-0"



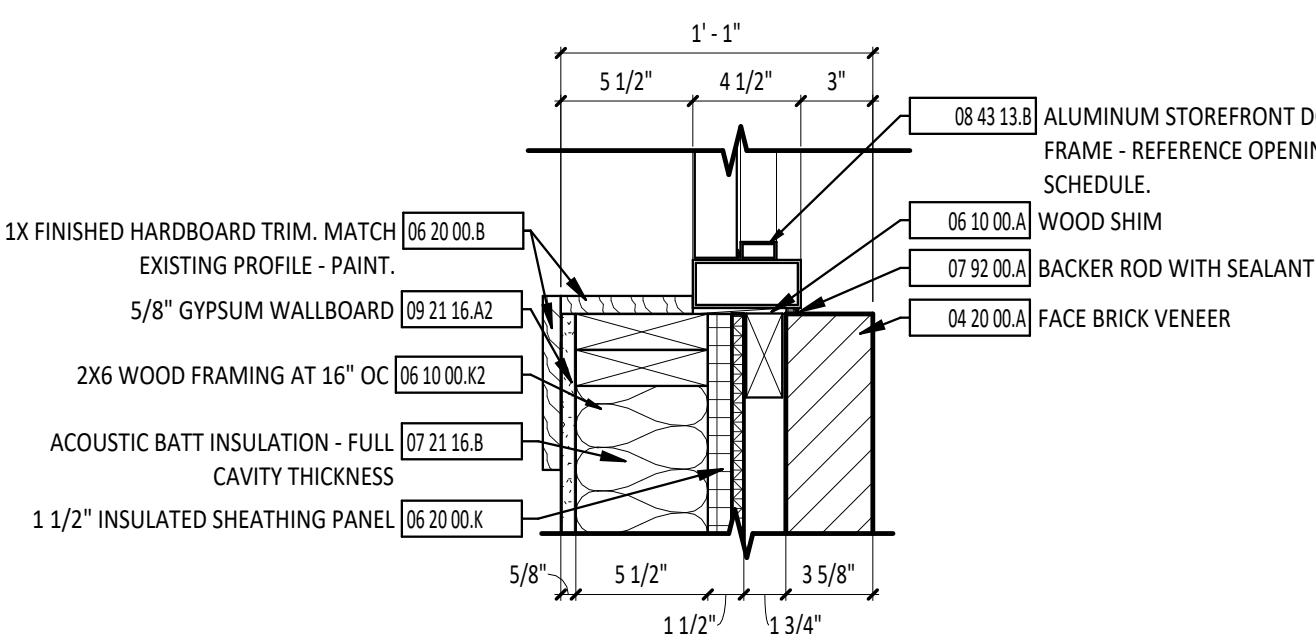
8 A6.1 JAMB DETAIL - INTERIOR  
1 1/2" = 1'-0"



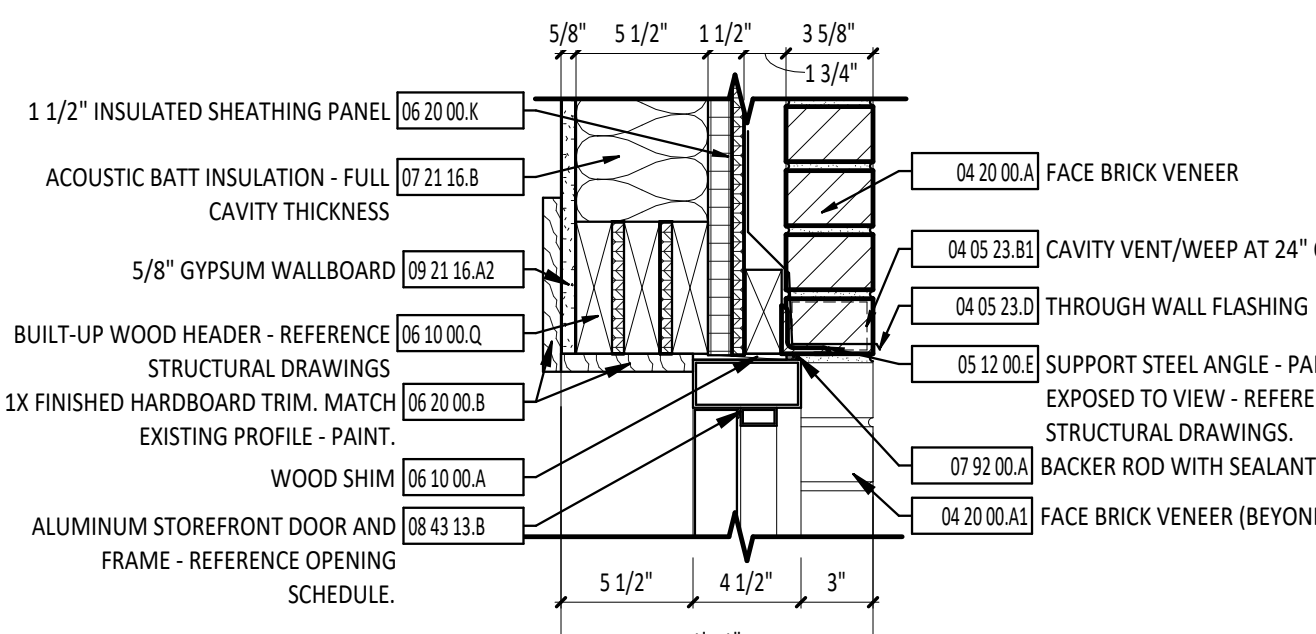
9 A6.1 JAMB DETAIL - INTERIOR  
1 1/2" = 1'-0"



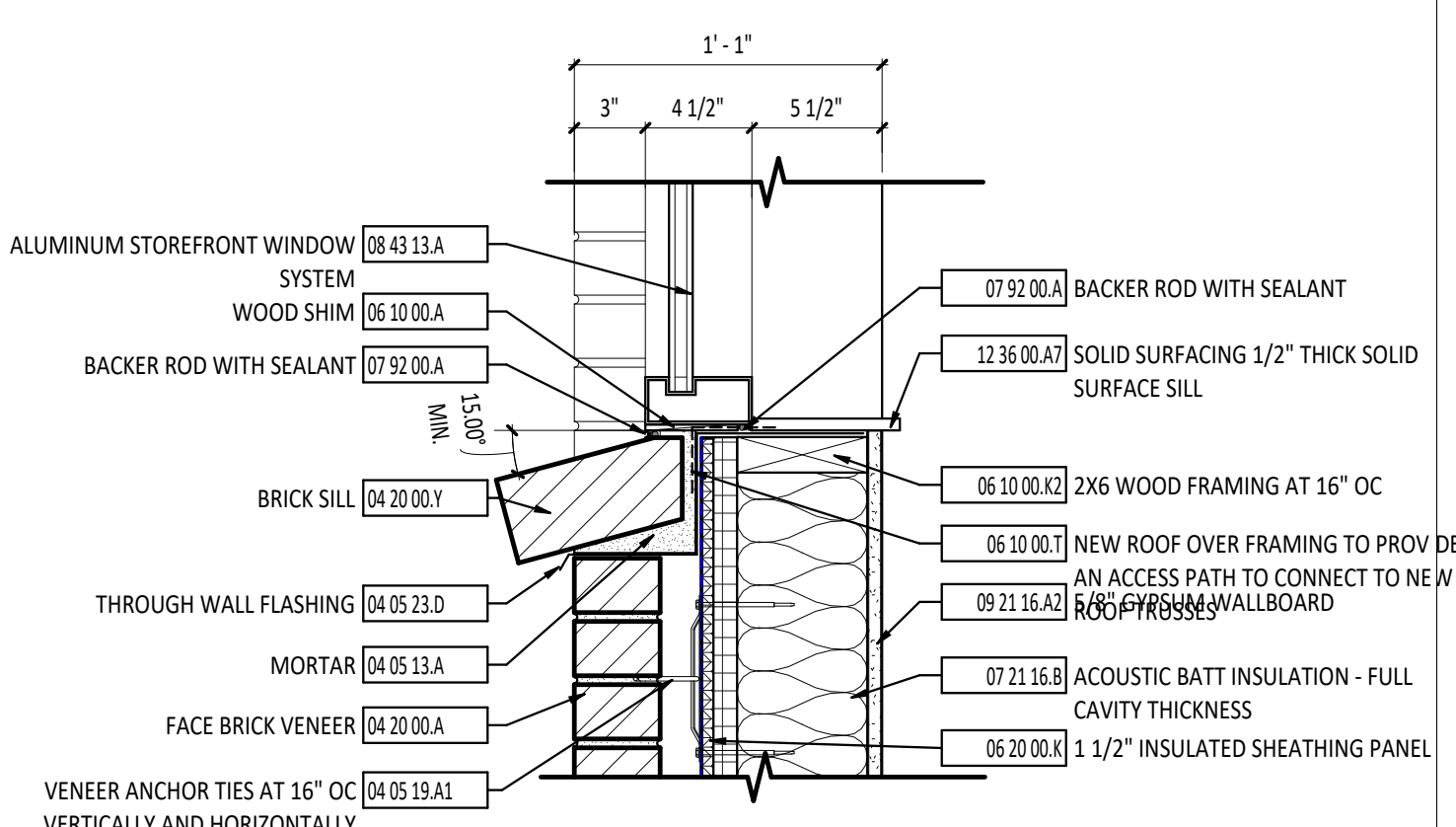
10 A6.1 JAMB DETAIL - EXTERIOR  
1 1/2" = 1'-0"



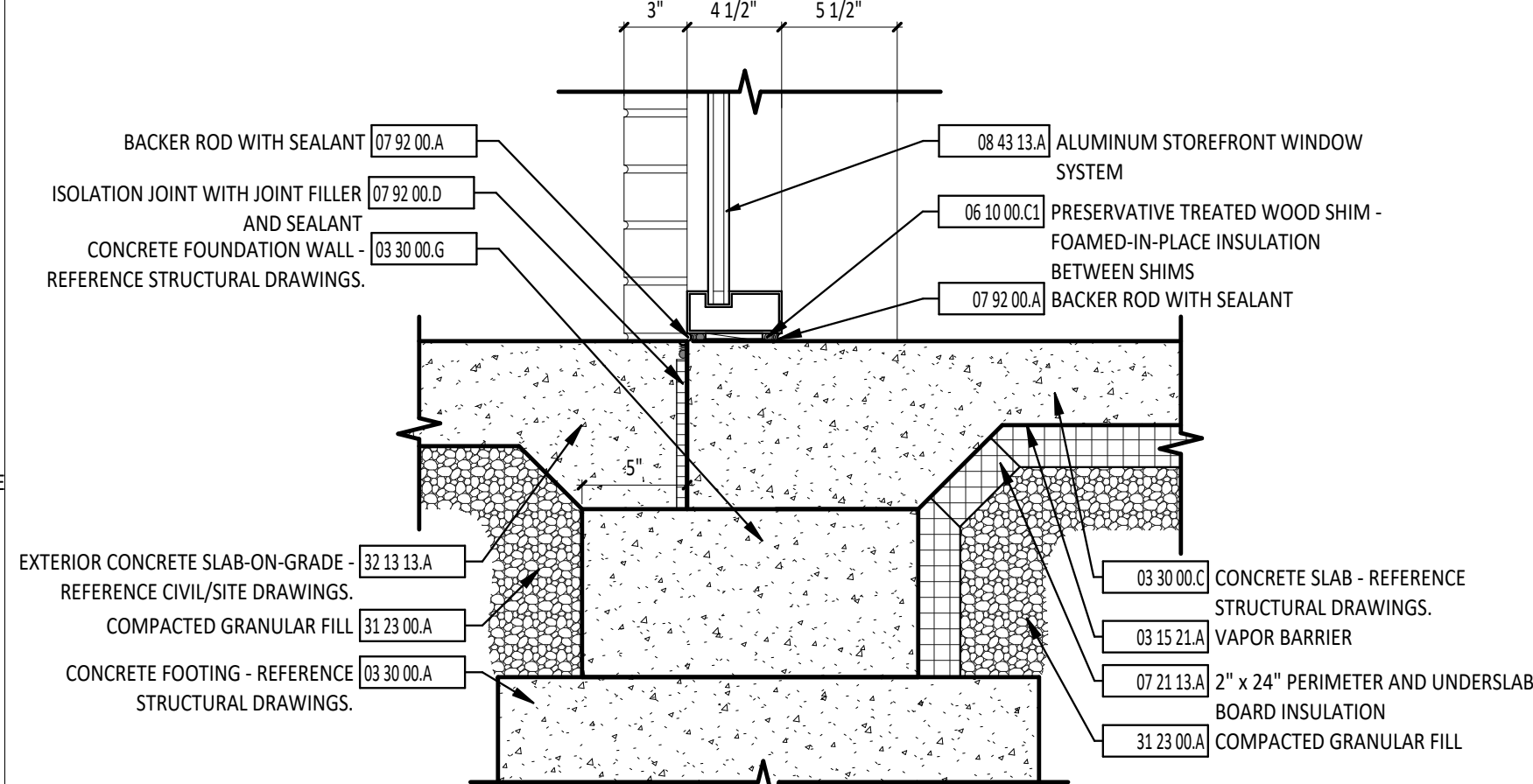
12 A6.1 JAMB DETAIL - EXTERIOR  
1 1/2" = 1'-0"



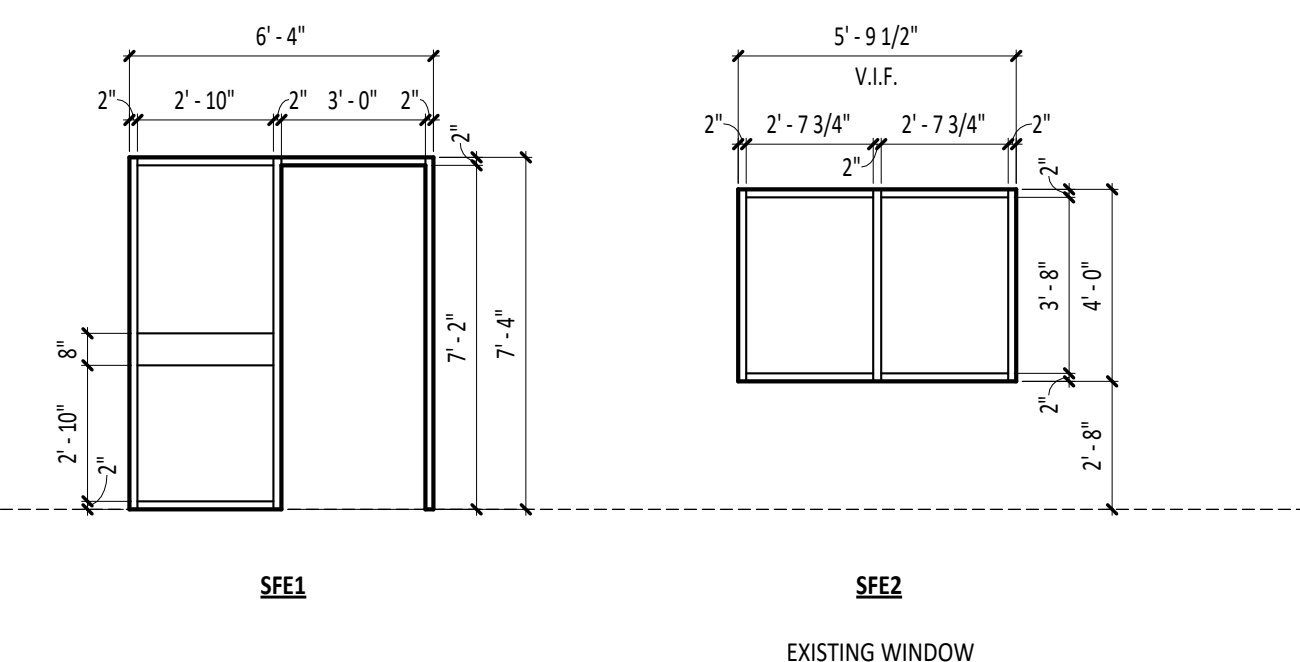
13 A6.1 HEAD DETAIL - INTERIOR  
1 1/2" = 1'-0"



14 A6.1 SILL DETAIL - EXTERIOR  
1 1/2" = 1'-0"



15 A6.1 SILL DETAIL - EXTERIOR  
1 1/2" = 1'-0"



16 A6.1 EXTERIOR STOREFRONT ELEVATIONS  
1/4" = 1'-0"

DOOR GENERAL NOTES

- A REFERENCE A6 SHEETS FOR DOOR AND STOREFRONT DETAILS.  
B REFERENCE SPECIFICATION SECTION 08 71 00 FOR HARDWARE SETS.

DOOR/OPENING SCHEDULE ABBREVIATIONS

SYMBOL DESCRIPTION

- AL ALUMINUM  
F FLUSH  
FG FULL GLASS  
HG HALF GLASS  
HM HOLLOW METAL  
TG TEMPERED GLASS  
W WOOD

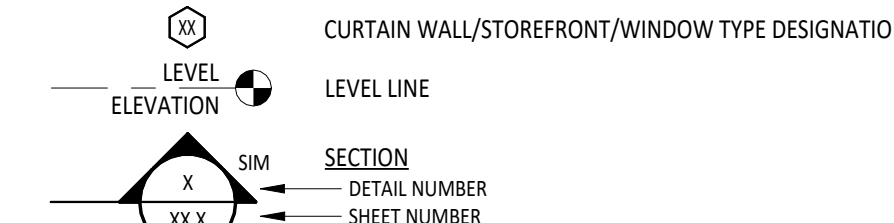
DOOR/OPENING SCHEDULE NOTES

1. HARDWARE PROVIDED BY ALUMINUM STOREFRONT MANUFACTURER

EXTERIOR STOREFRONT SCHEDULE

| MARK | DESCRIPTION                          | FUNCTION | NOTES |
|------|--------------------------------------|----------|-------|
| SFE1 | 2' x 4 1/2" - STOREFRONT - FRONT SET | Exterior |       |
| SFE2 | 2' x 4 1/2" - STOREFRONT - FRONT SET | Exterior |       |

CURTAIN WALL/STOREFRONT AND WINDOW TYPE SYMBOLS LEGEND



STOREFRONT GLAZING TYPES

- EG-1 G-1

NOTES:  
REFERENCE SPECIFICATION SECTION 08 80 00 FOR ADDITIONAL INFORMATION

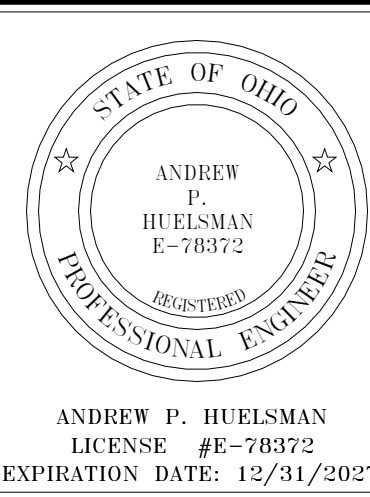
HARDWARE SET DESCRIPTIONS

| QTY.  | MEGR. | DESCRIPTION       | MODEL                             | FINISH |
|-------|-------|-------------------|-----------------------------------|--------|
| 3 ea. | HAG   | Std. Wt. Hinges   | BB1279 4 1/2" x 4 1/2"            | 626    |
| 1 ea. | HAG   | Cylindrical Entry | 3553 WTN verify cylinder & keyway | 626    |
| 1 ea. | HAG   | Kick Plate        | 1905 12" x 34" push side mount    | 630    |
| 1 ea. | HAG   | Wall Stop         | 236W                              | 630    |
| 3 ea. | HAG   | Silencers         | 307D                              | GRY    |

| QTY.  | MEGR. | DESCRIPTION           | MODEL                                 | FINISH |
|-------|-------|-----------------------|---------------------------------------|--------|
| 3 ea. | HAG   | Std. Wt. Hinges       | BB1279 4 1/2" x 4 1/2"                | 626    |
| 1 ea. | HAG   | Cylindrical Storeroom | 3580 WTN verify cylinder & keyway @LH | 626    |
| 1 ea. | HAG   | Kick Plate            | 1905 12" x 34" push side mount        | 630    |
| 1 ea. | HAG   | Overhead Stop         | 7017S                                 | 630    |
| 3 ea. | HAG   | Silencers             | 307D                                  | GRY    |

| QTY.  | MEGR. | DESCRIPTION           | MODEL                                 | FINISH |
|-------|-------|-----------------------|---------------------------------------|--------|
| 6 ea. | HAG   | Std. Wt. Hinges       | BB1279 4 1/2" x 4 1/2"                | 626    |
| 1 ea. | HAG   | Cylindrical Storeroom | 3580 WTN verify cylinder & keyway @LH | 626    |
| 1 ea. | HAG   | Manual Flush Bolt     | 2820 top only @RH                     | 626    |
| 2 ea. | HAG   | Kick Plate            | 1905 12" x 34" push side mount        | 630    |
| 2 ea. | HAG   | Overhead Stop         | 7017S                                 | 630    |
| 2 ea. | HAG   | Silencers             | 307D                                  | GRY    |

| QTY.  | MEGR. | DESCRIPTION       | MODEL                                 | FINISH |
|-------|-------|-------------------|---------------------------------------|--------|
| 6 ea. | HAG   | Std. Wt. Hinges   | BB1279 4 1/2" x 4 1/2"                | 626    |
| 1 ea. | HAG   | Cylindrical Entry | 3553 WTN verify cylinder & keyway @LH | 626    |
| 1 ea. | HAG   | Manual Flush Bolt | 2820 top only @RH                     | 626    |
| 2 ea. | HAG   | Kick Plate        | 1905 12" x 34" push side mount        | 630    |
| 2 ea. | HAG   | Overhead Stop     | 7017S                                 | 630    |
| 2 ea. | HAG   | Silencers         | 307D                                  | GRY    |



TIPP CITY SENIORS NEW ADDITION

ISSUANCES/REVISIONS

CONSTRUCTION DOCUMENTS 01/13/2026

PROJECT NUMBER: 25059.00  
DRAWN BY: MLE  
CHECKED BY: SMD

SHEET TITLE:

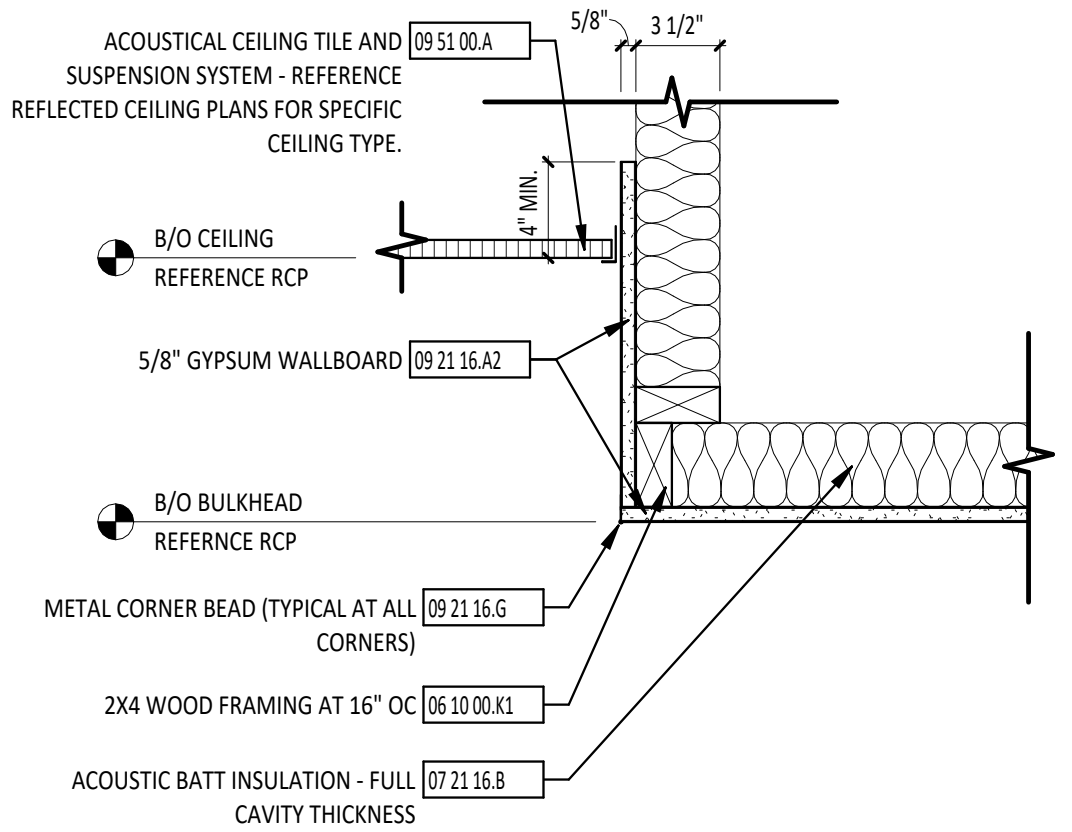
DOOR SCHEDULE &  
DOOR DETAILS

SHEET NUMBER:

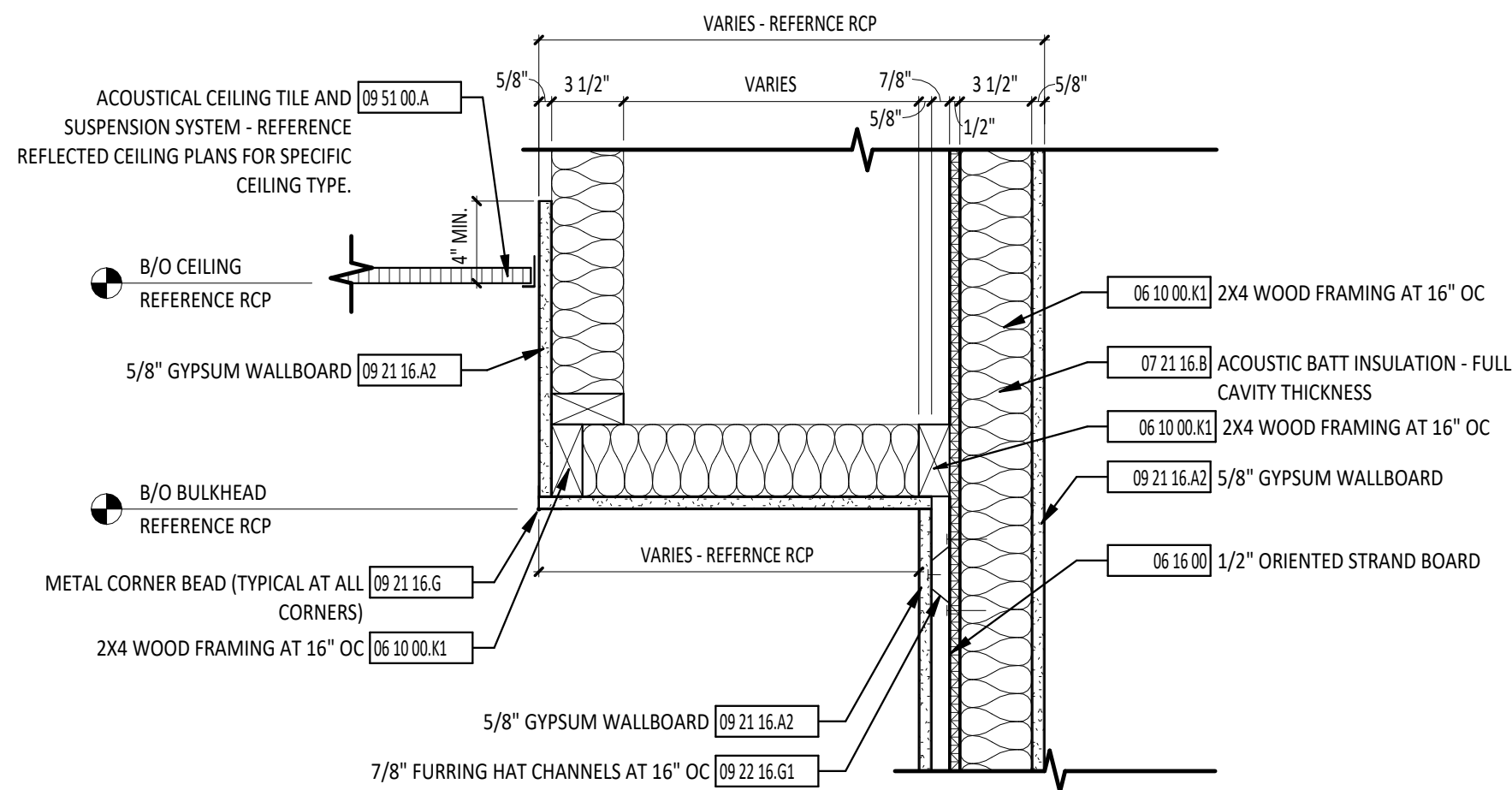
A6.1



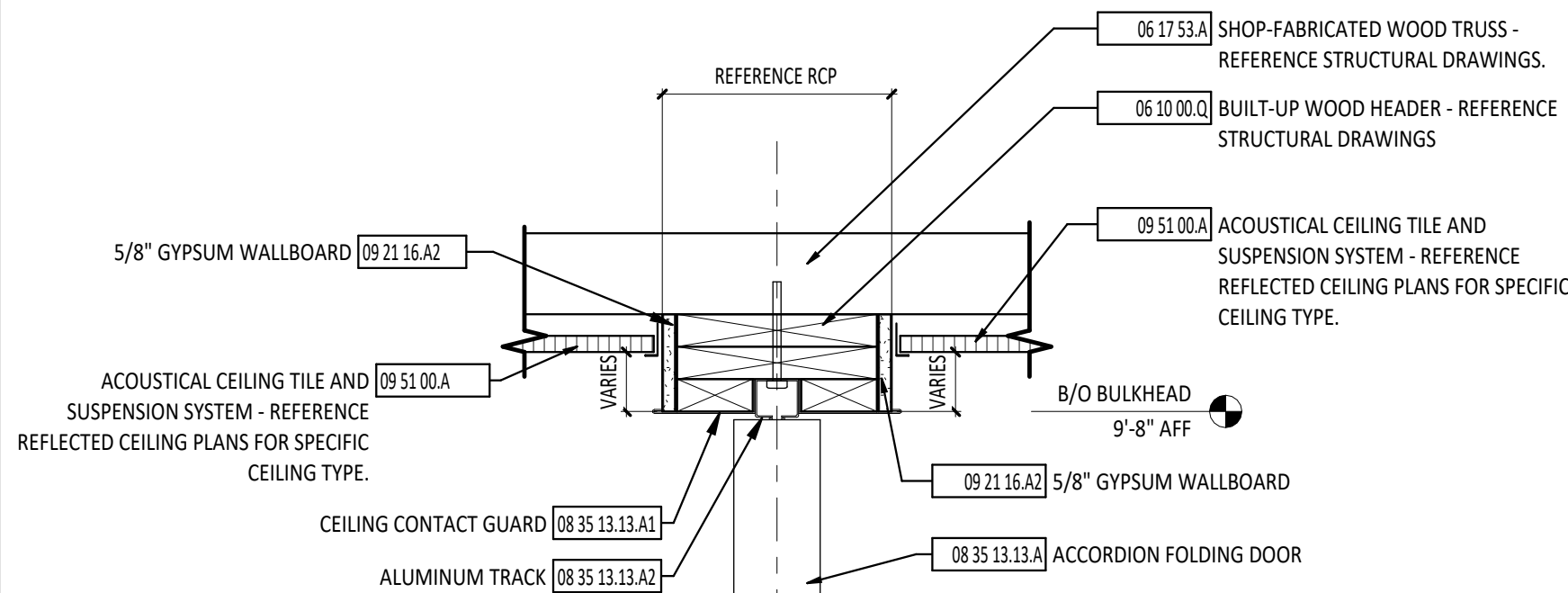
1 FIRST FLOOR REFLECTED CEILING PLAN - UNIT A  
1/4" = 1'-0"



2 BULKHEAD DETAIL  
1 1/2\"/>



3 BULKHEAD DETAIL  
1 1/2\"/>



4 ACCORDION WALL DETAIL  
1 1/2\"/>

| FIRST FLOOR PLAN ROOM INDEX - UNIT A |                       |        |
|--------------------------------------|-----------------------|--------|
| ROOM NUMBER                          | ROOM NAME             | AREA   |
| A101                                 | FLEX SPACE            | 680 SF |
| A102                                 | TOOL STORAGE          | 39 SF  |
| A103                                 | MECHANICAL            | 24 SF  |
| A104                                 | TABLE & CHAIR STORAGE | 116 SF |
| A106                                 | FLEX SPACE            | 750 SF |
| A107                                 | MECHANICAL            | 39 SF  |
| A108                                 | STORAGE               | 117 SF |

**REFLECTED CEILING PLAN GENERAL NOTES**

B USE CEILING TYPE A UNLESS NOTED OTHERWISE.

C REFERENCE ELECTRICAL, MECHANICAL AND TECHNOLOGY DRAWINGS FOR MORE INFORMATION ON ALL CEILING MOUNTED DEVICES.

A REFER TO FINISH MATERIAL SCHEDULE ON SHEET A5.0 FOR MANUFACTURER INFORMATION AND MATERIAL SELECTION.

**REFLECTED CEILING PLAN SYMBOLS LEGEND**

**ROOM DESIGNATION - REFERENCE ROOM INDEX.**

**LEVEL**

**LEVEL LINE**

**STRUCTURAL GRID - REFERENCE STRUCTURAL DRAWINGS.**

**DIVISIONAL KEYNOTE DESIGNATION - REFERENCE KEYNOTE SCHEDULE AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.**

**KEYNOTE DESIGNATION**

**CEILING TYPE AND HEIGHT DESIGNATION**

**TYPE**

**HEIGHT**

**CALLOUT**

**DETAIL NUMBER**

**SHEET NUMBER**

**SECTION**

**DETAIL NUMBER**

**SHEET NUMBER**

**REFLECTED CEILING PLAN MATERIAL PATTERNS LEGEND**

**REFERENCE ELECTRICAL/MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION**

SOUND SYSTEM CEILING SPEAKER

FIRE ALARM SMOKE OR HEAT DETECTOR

LIGHT FIXTURE

LIGHT FIXTURE

LIGHT FIXTURE

LIGHT FIXTURE

CEILING MOUNTED EXIT SIGN

OCCUPANCY SENSOR

AIR TERMINAL

| CEILING SCHEDULE |   |                                |
|------------------|---|--------------------------------|
| MARK             | DESCRIPTION   | NOTES                          |
| A                | 2' x 2' SUSPENDED ACOUSTICAL PANEL CEILING            | REFER TO SPEC SECTION 09 51 00 |
| B                | 5/8" GYPSUM CEILING BOARD ON SUSPENDED CEILING SYSTEM | REFER TO SPEC SECTION 09 51 00 |

**NOTES:**

1. REFER TO SPEC SECTION 09 21 16.

2. REFER TO SPEC SECTION 09 25 13.

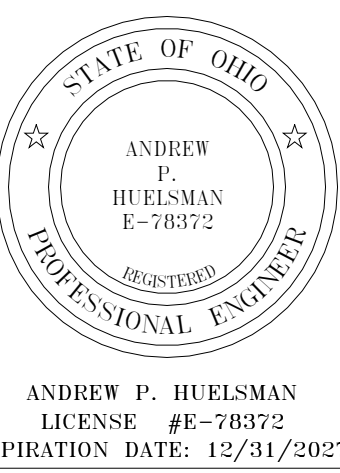
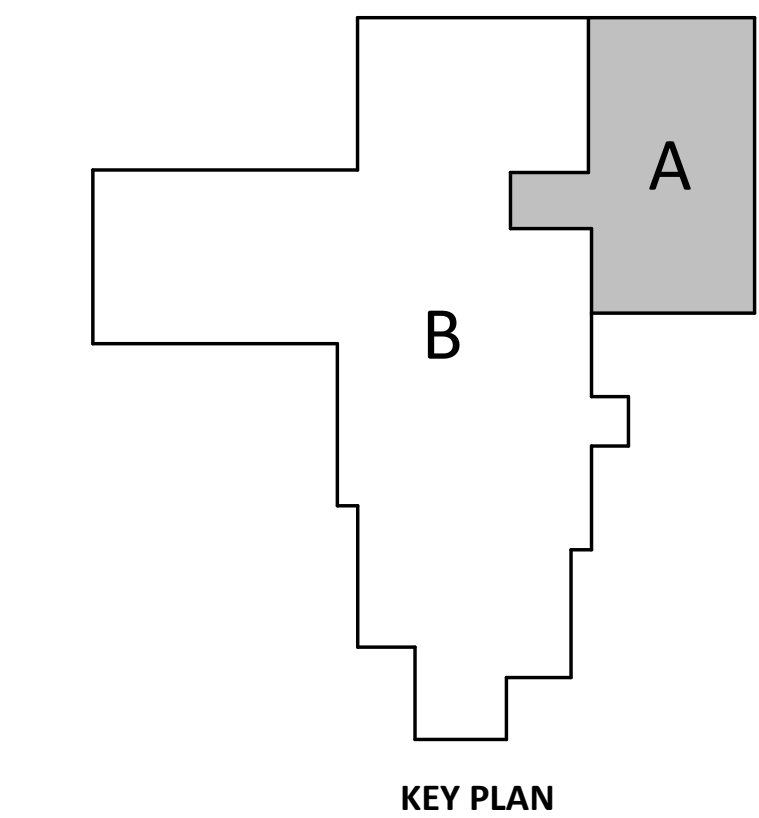
3. REFER TO SPEC SECTION 09 51 00.

4. REFER TO SPEC SECTION 09 54 23.

5. REFER TO SPEC SECTION 09 84 00.

6. REFER TO SPEC SECTION 09 84 30.

| #              | KEYNOTE DESCRIPTION  |
|----------------|--|
| 06 10 00 K1    | 2X4 WOOD FRAMING AT 16" OC   |
| 06 10 00 Q     | BUILT-UP WOOD HEADER - REFERENCE STRUCTURAL DRAWINGS   |
| 06 16 00       | 1/2" ORIENTED STRAND BOARD   |
| 06 17 53 A     | SHOP-FABRICATED WOOD TRUSS - REFERENCE STRUCTURAL DRAWINGS.  |
| 07 21 16 B     | ACOUSTIC BATT INSULATION - FULL CAVITY THICKNESS   |
| 07 46 26 A1    | 3/8" LP SMARTSIDE BOARD SOFFIT, VENTED; PAINT PER FINISH SCHEDULE  |
| 07 71 23 A2    | 6" PREFINISHED METAL GUTTER WITH STRAP AND ANCHORAGES  |
| 08 35 13 13 A  | ACCORDION FOLDING DOOR   |
| 08 35 13 13 A1 | CEILING CONTACT GUARD  |
| 08 35 13 13 A2 | ALUMINUM TRACK   |
| 09 21 16 A2    | 5/8" GYPSUM WALLBOARD  |
| 09 21 16 G     | METAL CORNER BEAD (TYPICAL AT ALL CORNERS)   |
| 09 22 16 G1    | 7/8" FURRING HAT CHANNELS AT 16" OC  |
| 09 51 00 A     | ACOUSTICAL CEILING TILE AND SUSPENSION SYSTEM - REFERENCE REFLECTED CEILING PLANS FOR SPECIFIC CEILING TYPE. |



TIPP CITY SENIORS NEW ADDITION

524 NORTH HART STREET, TIPP CITY, OH 45371

ISSUANCES/REVISIONS

CONSTRUCTION DOCUMENTS | 01/13/2026

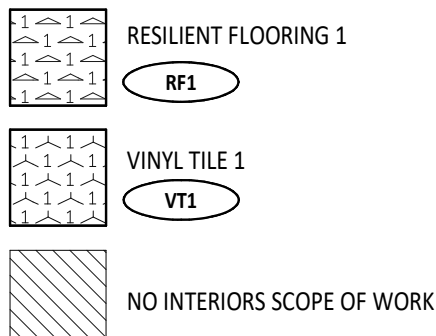
PROJECT NUMBER: 25059.00  
DRAWN BY: MLE  
CHECKED BY: SMD

SHEET TITLE:  
FIRST FLOOR REFLECTED CEILING PLAN - UNIT A

SHEET NUMBER:  
A7.1



FLOOR FINISH MATERIAL LEGEND



FIRST FLOOR PLAN ROOM INDEX - UNIT A

| ROOM NUMBER | ROOM NAME             | AREA   |
|-------------|-----------------------|--------|
| A101        | FLEX SPACE            | 680 SF |
| A102        | TOOL STORAGE          | 39 SF  |
| A103        | MECHANICAL            | 24 SF  |
| A104        | TABLE & CHAIR STORAGE | 116 SF |
| A106        | FLEX SPACE            | 750 SF |
| A107        | MECHANICAL            | 39 SF  |
| A108        | STORAGE               | 117 SF |

TYPICAL FINISHES

\* UNLESS NOTED OTHERWISE, THESE FINISH SELECTIONS SHALL BE USED THROUGHOUT THE PROJECT. CONTRACTOR SHOULD BRING ANY DISCREPANCIES TO THE ARCHITECT'S ATTENTION IMMEDIATELY.

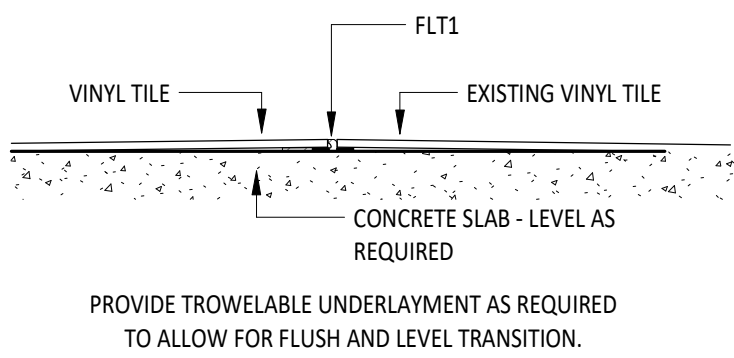
|                                 |       |
|---------------------------------|-------|
| GWB CEILING                     | PT3   |
| BULKHEADS                       | PT1   |
| HOLLOW METAL DOOR FRAMES        | PT2   |
| HOLLOW METAL DOORS              | PT2   |
| INTERIOR WOOD DOORS             | WD1   |
| SWITCH PLATES AND OUTLET COVERS | WHITE |

FLOOR FINISHES GENERAL NOTES

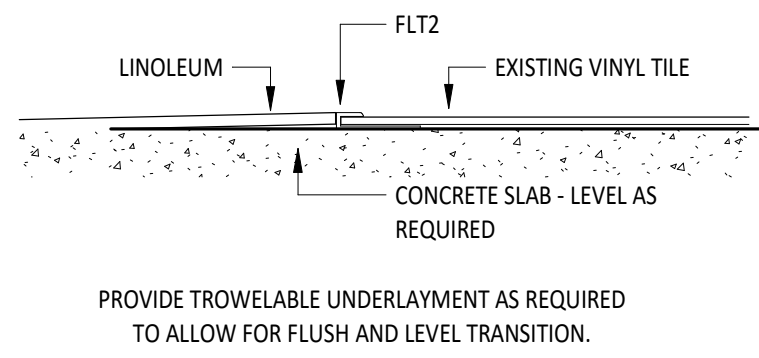
- A FLOORING TRANSITIONS AND SEAMS AT DOOR SHALL OCCUR DIRECTLY UNDER THE CENTERLINE OF CLOSED DOOR UNLESS NOTED OTHERWISE.
- B FLOORING TRANSITIONS ARE TO BE EASED TO ACHIEVE A SMOOTH AND UNIFORM TRANSITION.
- C TRANSITION STRIPS ARE REQUIRED IN ALL INSTANCES WHERE A FLOOR MATERIAL TRANSITION OCCURS.
- D LINOLEUM FLOOR (RF1) FINISH TO BE INSTALLED IN THE SAME DIRECTION, TO MATCH EXISTING. VERIFY IN FIELD.
- E REFERENCE THE FINISH MATERIAL SCHEDULE FOR MANUFACTURERS, TYPES, AND COLOR SELECTIONS.
- F ALL BASE MATERIALS SHALL BE INSTALLED TIGHT TO FLOORING SURFACE.
- G REFERENCE FINISH FLOOR MATERIAL LEGEND FOR SPECIFIC FLOORING MATERIAL AND COLOR.
- H RELOCATE EXISTING ROLLER SHADES

| #           | KEYNOTE DESCRIPTION                           |
|-------------|---|
| 10 26 00 A  | CORNER GUARD, CG1                             |
| 12 24 00 B2 | RELOCATED EXISTING ROLLER SHADES              |
| 12 36 00 A7 | SOLID SURFACING 1/2" THICK SOLID SURFACE SILL |

1 FIRST FLOOR FINISH PLAN - UNIT A  
1/4" = 1'-0"



2 FLOOR TRANSITION - RESILIENT FLOORING TO RESILIENT FLOORING  
6" = 1'-0"



3 FLOOR TRANSITION - RESILIENT FLOORING TO EXISTING VINYL TILE FLOORING  
6" = 1'-0"

FINISH MATERIAL SCHEDULE

| NAME  | MANUFACTURER     | STYLE                        | NUMBER  | COLOR                | SIZE                    | COMMENTS  |
|---|------------------|------------------------------|---------|----------------------|-------------------------|---|
| 08 14 00 WOOD DOORS                               |                  |                              |         |                      |                         |   |
| WD1   | --               | --                           | --      | --                   | --                      | MATCH EXISTING - VERIFY IN FIELD  |
| 09 51 00 ACOUSTICAL CEILING - SUSPENSION SYSTEM   |                  |                              |         |                      |                         |   |
| TYPE A  | ARMSTRONG        | PRELUDE XL                   | --      | WHITE                | 15/16" WIDE FACE        |   |
| 09 51 00 ACOUSTICAL CEILING - TILE                |                  |                              |         |                      |                         |   |
| TYPE A  | ARMSTRONG        | SCHOOL ZONE FINE FISSURED    | 1713    | WHITE                | 24"x24", 3/4" THICKNESS | SQUARE EDGE, 81% LIGHT REFLECTANCE, .70 MINIMUM NRC, SAF RESISTANT, ANTI-MICROBIAL, USE WITH SUSPENSION SYSTEM TYPE A.  |
| 09 65 00 RESILIENT FLOORING - LINOLEUM SHEET      |                  |                              |         |                      |                         |   |
| RF1   | FORBO            | MARMOLEUM, VIVACE            | 3420    | SURPRISING STORM     | 3 MM                    | ROLLS. FLOORING TO BE INSTALLED IN THE SAME DIRECTION AS EXISTING FLOORING. VERIFY IN FIELD.  |
| 09 65 00 RESILIENT FLOORING - FLOOR TRANSITIONS   |                  |                              |         |                      |                         |   |
| FLT1  | SCHLUTER         | SCHIENE                      | E 30    | STAINLESS STEEL      | 3 MM                    |   |
| FLT2  | POWERHOLD        | SQUARE CAPS                  | LVT 925 | TBD                  | 2.5 MM                  |   |
| 09 65 00 RESILIENT FLOORING - VINYL TILE          |                  |                              |         |                      |                         |   |
| VT1   | --               | --                           | --      | --                   | --                      | MATCH EXISTING TILE FLOORING ADJACENT TO KITCHEN AREA. VERIFY IN FIELD. IF EXISTING PRODUCT CANNOT BE DETERMIND OR UNAVAILABLE, PROVIDE FORBO: MARMOLEUM MODULAR NEUTRAL, PLUTO |
| 09 65 13 RESILIENT BASE & ACCESSORIES             |                  |                              |         |                      |                         |   |
| RB1   | ROPPE            | TRADITIONAL RUBBER BASE      | 129     | DOLPHIN              | 4" COVE TOE             |   |
| 09 91 23 PAINTING - PAINT                         |                  |                              |         |                      |                         |   |
| PT1   | SHERWIN-WILLIAMS | --                           | SW7029  | AGREEABLE GRAY       | --                      |   |
| PT2   | SHERWIN-WILLIAMS | --                           | SW7046  | ANONYMOUS            | --                      | DOOR FRAME COLOR  |
| PT3   | SHERWIN-WILLIAMS | --                           | SW7007  | CEILING BRIGHT WHITE | --                      | FOR CEILING AND BULKHEAD USE ONLY   |
| 10 26 23 PROTECTIVE WALL COVERING - CORNER GUARDS |                  |                              |         |                      |                         |   |
| CG1   | INPRO            | 160 HIGH IMPACT CORNER GUARD | 0119    | PEPPERDUST           | 2" WINGS, 8" TALL       |   |
| 12 24 00 WINDOW SHADES- ROLLER SHADE              |                  |                              |         |                      |                         |   |
| RS1   | --               | --                           |         |                      |                         | RELOCATE AND REUSE EXISTING ROLLER SHADES   |
| 12 36 00 SOLID SURFACE                            |                  |                              |         |                      |                         |   |
| SSM1  | CORIAN           | SOLID SURFACE                | --      | SILVER BIRCH         | 1/2" THICK              | USED ON WINDOW SILLS  |

FINISH TAG LEGEND

|                |      |             |
|----------------|------|-------------|
|                | A1XX | ROOM NUMBER |
| FLOOR FINISH   | RF1  |             |
| BASE FINISH    | RB1  |             |
| WALL FINISH    | PT1  |             |
| FINISH REMARK* | 2    |             |

\*REMARKS NUMBERS COORDINATE WITH "INTERIOR FINISH REMARKS" NOTES LEGEND ABOVE

MATERIALS NOTED IN FINISH TAG SHOULD BE CONSIDERED THE OVERALL FINISHES IN THE ROOM MARKED UNLESS NOTED OTHERWISE WITH KEYNOTES ON FINISH PLAN OR INTERIOR ELEVATIONS.

1) REMOVE EXISTING CARPET IN THIS ROOM, REFERENCE FINISH MATERIAL SCHEDULE FOR UPDATED FLOORING TYPE.



MINSTER, OHIO | COLUMBUS, OHIO | INDIANAPOLIS, INDIANA  
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TIPP CITY SENIORS NEW ADDITION

524 NORTH HAVET STREET, TIPP CITY, OH 45371

ISSUANCES/REVISIONS

|                        |            |
|------------------------|------------|
| CONSTRUCTION DOCUMENTS | 01/15/2025 |
|------------------------|------------|

|                 |           |             |
|-----------------|-----------|-------------|
| PROJECT NUMBER: | DRAWN BY: | CHECKED BY: |
| 25059.00        | MEK       | HEF         |

SHEET TITLE:

FIRST FLOOR  
EQUIPMENT PLAN  
- UNIT A

SHEET NUMBER:

A8.1

SPECIAL INSPECTION NOTES

- 1 - The OWNER shall employ one or more special inspectors to provide inspections during construction on the types of work itemized below.
- 2 - Only the required STRUCTURAL Special Inspections have been listed on this sheet.
- 3 - The special inspector shall be a qualified person who shall demonstrate competence, to the satisfaction of the building official, for inspection of the particular type of construction or operation requiring special inspection.
- 4 - Upon request, Shell + Meyer can provide a list of local agencies providing these inspection services.
- 5 - Numbered and lowercase sublettered inspections indicate referenced OBC requirements
- 6 - Some numbered or lettered special inspection items may not be listed. These items are not required on this project.
- 7 - Additional information regarding inspections and tests may be found in the project specifications, on the drawings, and in the building code and referenced standards.
- 8 - The Special Inspections table and other contract documents indicate the special inspections anticipated at the time the documents were approved by the Building Official.
- 9 - Special inspection and site observation personnel are not responsible for job site safety or means and methods of construction unless noted specifically in the contract.

REQUIRED STRUCTURAL SPECIAL INSPECTIONS

| Soils - OBC Table 1705.6  | Continuous | Periodic | Referenced Standard  | Additional OBC Requirements    | Remarks  |
|---|------------|----------|--|--------------------------------|--|
| A. Geotechnical Investigations  |            |          |  | 1803                           | Geotechnical Investigation shall include items of Special Inspection and Testing as noted in OBC Section 1803  |
| 1. Verify materials below shallow foundations are adequate to achieve the design bearing capacity.  | —          | X        |  |                                | Confirm bearing conforms to geotechnical report  |
| 2. Verify excavations are extended to proper depth and have reached proper material.  | —          | X        |  |                                |  |
| 3. Perform classification and testing of compacted fill materials.  | —          | X        |  | 1803.5.1                       |  |
| 4. Verify use of proper materials, densities and lift thicknesses during placement and compaction of compacted fill.                                    | X          | —        |  |                                | Confirm structural fill materials meet specifications outlined in geotechnical report.   |
| 5. Prior to placement of compacted fill, observe subgrade and verify that site has been prepared properly.  | —          | X        |  |                                | Confirm that site requirements are met according to the geotechnical report, prior to placing structural fill.   |
|   |            |          |  |                                |  |
| Concrete Construction, Cast-In-Place - OBC Table 1705.3   | Continuous | Periodic | Referenced Standard  | Additional IBC Requirements    | Remarks  |
| A. Fabricator Inspections   | —          | X        |  | 1704.2.5                       | SPECIAL INSPECTIONS APPLY TO VERIFICATION OF DETAILED FABRICATION AND QUALITY CONTROL PROCEDURES INCLUDING REVIEW FOR COMPLETENESS AND ADEQUACY RELATIVE TO THE CODE REQUIREMENTS  |
| 1. Inspect reinforcement and verify placements.   | —          | X        | ACI 318 Ch. 20, 25.2, 25.3, 26.6.1-26.6.3.   | 1908.4                         | Confirm size and spacing of bars. Tolerances and reinforcing placement per ACI 7.5, spacing limits for reinforcing ACI 7.6   |
| 3. Inspect anchors cast in concrete.  | —          | X        | ACI 318: 17.8.2  | —                              |  |
| 4. Inspect anchors post-installed in hardened concrete members.   |            |          |  |                                | All bolts visually inspected   |
| a. Adhesive anchors installed horizontally or upwardly inclined orientations to resist sustained tension loads.   | X          | —        | ACI 318: 17.8.2.4  | —                              | Post-installed anchors shall be qualified for use in cracked concrete and shall have passed the Simulated Seismic Tests in accordance with ACI 355.2. Special inspections apply to anchor product name, type, and dimensions, hole dimensions, compliance with drill bit requirements, cleanliness of the hole and anchor, adhesive expiration date, anchor/adhesive installation, anchor embedment, and tightening torque |
| b. Mechanical anchors and adhesive anchors not defined in 4.a.  | —          | X        | ACI 318: 17.8.2  |                                |  |
| 5. Verify use of required design mix  | —          | X        | ACI 318:Ch.19, 26.4.3, 26.4.4  | 1904.1, 1904.2, 1908.2, 1908.3 | Tests and submittals per specifications  |
| 6. Prior to concrete placement, fabricate specimens for strength tests, perform slump and air content tests, and determine the temperature of concrete. | X          | —        | ASTM C172, ASTM C31, ACI 318: 26.4, 26.12  | 1908.1                         | Tests per specifications   |
| 8. Verify maintenance of specified curing temperature and techniques.   | —          | X        | ACI 318: 26.5.3-26.5.5   | 1908.9                         | Confirm products conform to approved shop drawings, confirm curing performed per specifications  |
|   |            |          |  |                                |  |
| Wood Construction   | Continuous | Periodic | Referenced Standard  | Additional OBC Requirements    | Remarks  |
| A. Pre-fabricated wood structural elements  |            |          |  | 1704.2.5                       | Refer to inspection of fabricator requirements   |
| B. Metal plate connected wood trusses spanning 60 feet or greater   | —          | X        | Approved truss submittal package AND Building Component Safety Information (BCSI) - Guide to Good Practice for Handling, Installing, Restraining & Bracing of Metal Plate Connected Wood Trusses | 1705.5.2                       | VERIFY THAT THE TEMPORARY INSTALLATION RESTRAINT/BRACES AND THE PERMANENT INDIVIDUAL TRUSS MEMBER RESTRAINT/BRACING ARE INSTALLED IN ACCORDANCE WITH THE APPROVED TRUSS SUBMITTAL PACKAGE AND BCSI   |
| C. Designated Wood Framed Shearwalls  |            |          |  |                                |  |
| Verify Structural Panel Grade, APA Rating and Thickness   | —          | X        |  |                                |  |
| Verify nail diameter and length, fastener spacing along panel edges and in the field of the panel.  | —          | X        |  |                                |  |
| Verify holdown quantity and locations   | —          | X        |  |                                | Special inspections apply to holdown anchor size and placement, including embedment length, spacing, and edge distance.  |
| Verify panel edges are blocked with 2x blocking   | —          | X        |  |                                | 2x blocking may be installed flatwise  |
| D. Designated blocked diaphragms  |            |          |  |                                |  |
| Inspect diaphragms for proper panel thickness and fastener pattern  | —          | X        |  |                                |  |
| Verify nail diameter and length, fastener spacing along panel edges and in the field of the panel.  | —          | X        |  |                                |  |
| Verify panel edges are blocked with 2x blocking   | —          | X        |  |                                |  |
| E. Verify mechanical fastener installation  | —          | X        |  |                                |  |
| Inspect details of wood framing including framing, member sizes, blocking, bridging and bearing.  |            |          |  |                                |  |
|   |            |          |  |                                |  |

DESIGN CRITERIA NOTES

REFERENCED DESIGN CODE:  
OHIO BUILDING CODE (2024)

ENVIRONMENTAL LOADS:

ROOF SNOW LOAD:  
GROUND SNOW LOAD,  $P_g = 20$  PSF  
FLAT ROOF SNOW LOAD,  $P_f = 20$  PSF  
SNOW EXPOSURE FACTOR,  $C_e = 1.0$   
SNOW LOAD IMPORTANCE FACTOR,  $I_s = 1.0$   
THERMAL FACTOR,  $C_t = 1.0$

WIND LOAD:

BASIC WIND SPEED (3 SECOND GUST) = 107 MPH  
RISK CATEGORY = II / III / IV  
WIND EXPOSURE = C  
INTERNAL PRESSURE COEFFICIENT = +/- 0.18  
MEAN ROOF HEIGHT = 18 FT  
COMPONENT AND CLADDING WIND LOAD:  
WIND PRESSURES FOR COMPONENTS DESIGNATED FOR DELEGATED DESIGN TO BE SEALED BY PROFESSIONAL ENGINEER AND CALCULATED BASED ON ASCE 7-16:

WHERE NO P.E. IS INVOLVED IN THE DESIGN OF THE COMPONENT/CLADDING THE FOLLOWING SERVICE LEVEL WIND LOADS (0.6W) SHALL BE USED:

ROOFS = +20 PSF / -45 PSF  
WALLS = +20 PSF / -24 PSF

EARTHQUAKE LOAD:

SEISMIC IMPORTANCE FACTOR,  $I_e = 1.0 / 1.25 / 1.5$   
MAPPED SPECTRAL ACCELERATION,  $S_a = 0.179$   
 $S_1 = 0.072$

SITE CLASS = D  
DESIGN SPECTRAL ACCELERATION:  $S_{ds} = 0.191$

SEISMIC DESIGN CATEGORY = B  
BASIC SEISMIC-FORCE-RESISTING SYSTEM (RESPONSE MODIFICATION FACTOR) = [Reference: ASCE 7-16 Table 12.2-1]  
A15 LIGHT FRAMED WALLS SHEATHED WITH WOOD STRUCTURAL PANELS (R=6.5)

PER "OHIO EXISTING BUILDING CODE" 805.3 EXCEPTION, THE EXISTING LATERAL LOAD CARRYING STRUCTURAL ELEMENTS WILL HAVE A DEMAND/CAPACITY INCREASE OF NO MORE THAN 10% AND SHALL BE PERMITTED TO REMAIN UNALTERED.

SEISMIC RESPONSE COEFFICIENT,  $C_s = 0.0294$   
ANALYSIS PROCEDURE USED = EQUIVALENT LATERAL FORCE PROCEDURE  
DESIGN BASE SHEAR (1.0E) = \_\_\_\_\_ KIPS

DESIGN UNIFORM LOADS:

DEAD LOAD: 25 PSF  
ROOF LIVE LOAD: 25 PSF

GENERAL STRUCTURAL NOTES

GENERAL (ALL TRADES)

- IN ACCORDANCE WITH SECTION 1704 OF THE OHIO BUILDING CODE, SPECIAL INSPECTIONS WILL BE REQUIRED FOR THIS PROJECT. SPECIAL INSPECTIONS SHALL BE PERFORMED IN ACCORDANCE WITH THE "SPECIAL INSPECTION REQUIREMENTS" SCHEDULE. ALL FABRICATORS SHALL SATISFY THE "FABRICATOR APPROVAL" PROVISIONS IN SECTION 1704.2.5.1, WHICH REQUIRES THE FABRICATOR TO MAINTAIN AN AGREEMENT A BOARD RECOGNIZED INDUSTRY TRADE ASSOCIATION CERTIFICATION PROGRAM OR A BOARD RECOGNIZED FABRICATOR INSPECTION AGENCY PER 1017.6-6.01 OF OHIO ADMINISTRATIVE CODE.
- CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND REPORT ANY CONDITIONS SUBSTANTIALLY DIFFERENT THAN THOSE SHOWN TO THE ENGINEER.
- STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH THE DRAWINGS AND SPECIFICATIONS OF ALL OTHER DISCIPLINES. THE CONTRACTOR SHALL VERIFY THE REQUIREMENTS OF OTHER TRADES AS TO SLEEVES, CHASES, HANGERS, INSERTS, ANCHORS, HOLES, AND OTHER ITEMS TO BE PLACED OR SET IN THE STRUCTURAL WORK.
- THE STRUCTURAL DRAWINGS HEREIN REPRESENT THE FINISHED STRUCTURE. THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY GUYING AND BRACING REQUIRED TO ERECT AND HOLD THE STRUCTURE IN PROPER ALIGNMENT UNTIL ALL STRUCTURAL WORK AND CONNECTIONS HAVE BEEN COMPLETED. THE INVESTIGATION, DESIGN, SAFETY, ADEQUACY AND INSPECTION OF ERECTION BRACING, SHORING, TEMPORARY SUPPORTS, ETC., IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- SHELL + MEYER ASSOCIATES, INC. SHALL NOT BE RESPONSIBLE FOR THE METHODS, TECHNIQUES, AND SEQUENCES OF PROCEDURES TO PERFORM THE WORK.
- FOR THE PURPOSES OF UL FIRE ASSEMBLY RATINGS E119 AND UL 263, THE STRUCTURE SHALL BE CONSIDERED "UNRESTRAINED", UNLESS SPECIFICALLY NOTED IN THE CONSTRUCTION DOCUMENTS PER OBC SECTION 703.2.1.3.

POST-INSTALLED ANCHORS

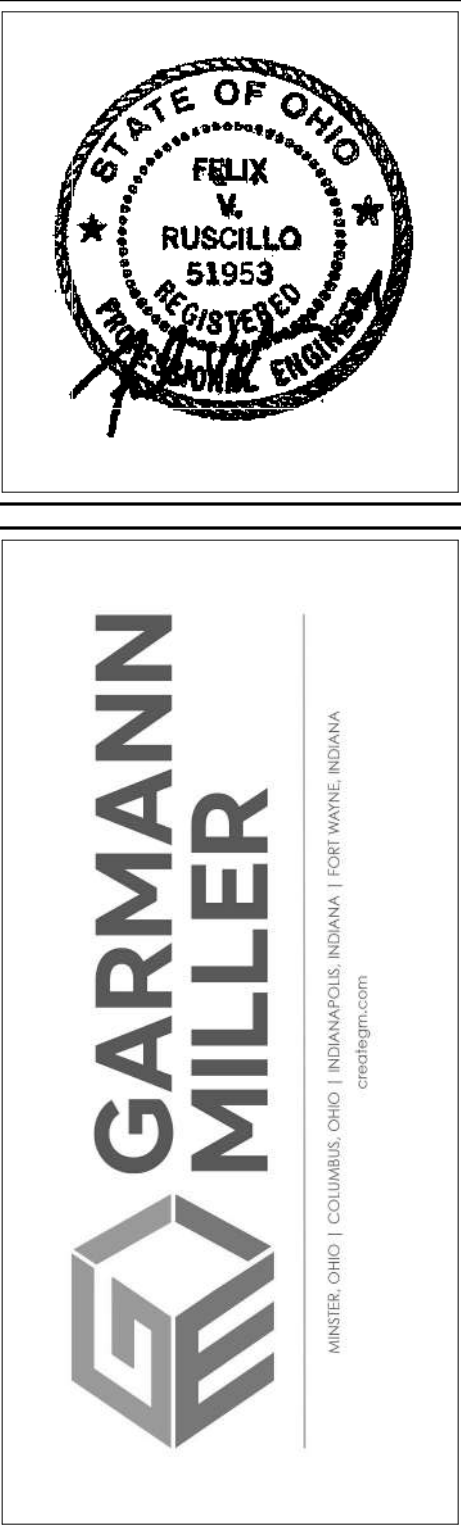
- INSTALL ALL ANCHORS PER THE MANUFACTURER'S PUBLISHED INSTALLATION INSTRUCTIONS (MPI).
- WHERE NOT INDICATED ON THE DRAWINGS, POST-INSTALLED ANCHORS SHALL CONSIST OF THE FOLLOWING ANCHOR TYPES AS PROVIDED BY Hilti, Inc.
- CONCRETE SUBSTRATE - U.N.O. USE 3/4" DIAM. Hilti HIT HAS THREADED RODS OR HIT-Z ANCHOR RODS WITH HIT-HY 200/3 SAFE SET SYSTEM, ICC ESR-4868, MINIMUM EMBEDMENT 0'-6 3/4".
- REINFORCING INTO CONCRETE - U.N.O. USE Hilti HIT-RE 500 V3 EPOXY, ICC ESR-3814, MINIMUM EMBEDMENT INTO CONCRETE 44x BAR DIAMETER U.N.O.
- GRouted CONCRETE MASONRY - INSTALLED IN WALL FACE MIN. 8" GROUT AROUND ALL ANCHORS - U.N.O. USE 3/4" DIAM. Hilti KWIK-BOLT 3 ANCHORS, ICC-ES ESR-1385, MINIMUM EMBEDMENT 0'-4 3/4".
- GRouted CONCRETE MASONRY - INSTALLED VERTICALLY IN TOP COURSE OF WALL) - U.N.O. USE 3/4" DIAM. Hilti KWIK-HUS EZ SCREW ANCHORS, ICC-ES ESR-3056, MINIMUM EMBEDMENT 0'-6 1/4".
- UNGRouted CONCRETE MASONRY - USE THE Hilti HIT-HY 270 ADHESIVE SYSTEM ICC-ES ESR-4144. U.N.O. STEEL ANCHORS SHALL BE 1/2" DIAM. Hilti HAS-E CONTINUOUSLY THREADED ROD x 0'-2" MINIMUM EMBEDMENT. USE TWO APPROPRIATELY SIZED MESH SLEEVES PER ANCHOR.

DIVISION 3 - FOUNDATIONS AND CONCRETE

- ALLOWABLE NET SOIL BEARING CAPACITY = 3,000 PSF REF. SOILS REPORT DATED 11/18/2025 BY BOWERS WORKER
- ALL EXCAVATIONS SHALL BE INSPECTED BY A GEOTECHNICAL ENGINEER PRIOR TO PLACING CONCRETE.
- CONCRETE WORK SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE LATEST "AMERICAN CONCRETE INSTITUTE" INCLUDING THE REQUIREMENTS OF ACI 301, "SPECIFICATION FOR STRUCTURAL CONCRETE BUILDINGS"; CONCRETE MIXES SHALL BE DESIGNED PER ACI 301, USING PORTLAND CEMENT CONFORMING TO ASTM C150 OR C595, AGGREGATE CONFORMING TO ASTM C33, AND ADMIXTURES CONFORMING TO ASTM C494, C1017, C919, C898 AND C260. CONCRETE SHALL BE READY-MIXED IN ACCORDANCE WITH ASTM C94.
- HOT WEATHER CONCRETING SHALL BE IN ACCORDANCE WITH ACI 305. COLD WEATHER CONCRETING SHALL BE IN ACCORDANCE WITH ACI 306.
- CONCRETE SHALL ATTAIN THE FOLLOWING ULTIMATE 28 DAY COMPRESSIVE STRENGTHS: 3,000 P.S.I. FOR FOOTINGS AND 4,000 P.S.I. FOR INT. SLABS ON GRADE, WALLS 4,500 P.S.I. FOR EXT. SLABS ON GRADE; SLUMP SHALL BE 4" ± 1"
- ALL CONCRETE TO BE PERMANENTLY EXPOSED TO WEATHER SHALL BE AIR ENTRAINED (4.5 TO 7.5%) WITH AN ADMIXTURE THAT CONFORMS TO ASTM C260. MAXIMUM W/C RATIO = 0.45
- ALL REINFORCING STEEL SHALL CONFORM TO ASTM A615 OR ASTM A996, GRADE 60.
- TOP OF FOOTING ELEVATIONS SHALL BE AS SHOWN ON THE FOUNDATION PLAN. THESE ELEVATIONS ARE A MAXIMUM AND SHALL BE LOWERED AS REQUIRED TO OBTAIN THE REQUIRED DESIGN BEARING PRESSURE PER THE GEOTECHNICAL ENGINEER'S SPECIFICATION. REFER TO SCHEDULES AND DETAILS FOR MINIMUM FOOTING THICKNESSES.

DIVISION 6 - WOOD

- WOOD FRAMING SHALL BE OF THE FOLLOWING MINIMUM GRADE AND SPECIES, U.N.O.: BUILT-UP STUD COLUMNS AND WALL PLATES SHALL BE No.2 SOUTHERN YELLOW PINE (SPY). THE REMAINDER OF THE STUD FRAMING SHALL BE No.1No.2 SPRUCE-PENE-PIN (SPF).
- DIMENSIONAL LUMBER FLOOR JOISTS AND RAFTERS SHALL BE No.2 SOUTHERN YELLOW PINE.
- OTHER MISCELLANEOUS WOOD FRAMING - No.1No.2 SPF
- ALL NAILING NOT OTHERWISE INDICATED SHALL BE IN ACCORDANCE WITH THE FASTENING SCHEDULE PER OBC TABLE 2304.10.2
- HOLES AND NOTCHES DRILLED OR CUT INTO THE WALL STUD FRAMING SHALL NOT EXCEED THE RESTRICTIONS SET FORTH IN OBC 2308.5.3 AND 2308.5.10
- HOLES AND NOTCHES DRILLED OR CUT INTO JOISTS SHALL NOT EXCEED THE RESTRICTIONS SET FORTH IN OBC 2308.4.2.4
- ALL WOOD SHEATHING CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE LATEST EDITION OF VOLUME PRODUCT STANDARDS PS1, PS2, OR APA PRP-108 PERFORMANCE STANDARDS.
- APA RATED SHEATHING APPLIES TO PLYWOOD OR ORIENTED STRAND BOARD (OSB), UNLESS SPECIFICALLY NOTED. EITHER MAY BE USED.
- ALL ROOF PANELS SHALL BE 1932 APA RATED SHEATHING, EXPOSURE 1 ("CDX"), U.N.O. SUITABLE EDGE SUPPORT SHALL BE PROVIDED BY USE OF PANEL CLIPS OR BLOCKING BETWEEN FRAMING, AS RECOMMENDED BY APA, WHEN TONGUE & GROOVE ROOF SHEATHING IS NOT PROVIDED. CONNECT ROOF SHEATHING WITH 40 COMMON NAILS (D=0.131", L=2-1/2") AT 6" o.c. AT SUPPORTED PANEL EDGES AND 12" o.c. AT INTERMEDIATE SUPPORTS, U.N.O.
- ALL FLOOR PANELS SHALL BE 3/4 APA RATED STURD-FLOOR SHEATHING, EXPOSURE 1, WITH TONGUE AND GROOVE EDGES. INSTALL SMOOTH SIDE UP. GLUE AND NAIL FLOOR SHEATHING TO JOISTS AND EACH OTHER WITH 8D RING OR SCREW-SHANK NAILS (D= 0.131", L=2-1/2") AT 6" o.c. AT SUPPORTED EDGES AND 12" o.c. AT INTERMEDIATE SUPPORTS, U.N.O.
- FIELD-GLUE FLOOR SHEATHING USING ADHESIVES MEETING APA SPECIFICATIONS AP-6-01 OR ASTM D3488, AND APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- UNLESS NOTED OTHERWISE AS A SHEARWALL, ALL WALL PANELS SHALL BE 1932 APA RATED SHEATHING, EXPOSURE 1 ("CDX"). CONNECT WALL SHEATHING WITH 8D COMMON NAILS (D=0.131", L=2-1/2") AT 6" o.c. AT SUPPORTED PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS, U.N.O.
- PRE-ENGINEERED WOOD TRUSSES
- WOOD TRUSSES SHALL BE DESIGNED BY THE MANUFACTURER IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF THE OHIO BUILDING CODE (2024), ASCE 7-16 "MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES", ANSI/APA 1-2014 "NATIONAL DESIGN STANDARD FOR METAL PLATE CONNECTED WOOD TRUSSES", AND THE LATEST EDITION OF THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION.
- REFER TO ROOF FRAMING PLANS FOR DRAG STRUT LOADS (WIND LOAD DURATION) REQUIRED TO BE TRANSFERRED FROM ROOF DIAPHRAGM, THROUGH THE TRUSS ELEMENTS, AND INTO THE STRUCTURE BELOW. TRUSS DESIGNER TO DESIGN TRUSS FOR THIS LOAD TRANSFER.
- WOOD TRUSSES SHALL BE INSTALLED IN ACCORDANCE WITH THE TRUSS MANUFACTURER'S REQUIREMENTS AND THE GUIDELINES SET FORTH IN THE LATEST WTCATP1 JOINT PUBLICATION OF BCSI "GUIDE TO GOOD PRACTICE FOR HANDLING, INSTALLING, RESTRAINING AND BRACING OF METAL PLATE CONNECTED WOOD TRUSSES" AS A MINIMUM REQUIREMENT. THE TRUSS SUPPLIER SHALL HAND DELIVER A COPY OF THIS DOCUMENT TO THE TRUSS INSTALLER AT THE SITE BEFORE TRUSSES ARE ERECTED.
- WOOD TRUSSES SHALL BE DESIGNED BY THE TRUSS MFR. TO SUPPORT THE FOLLOWING LOADS:
- TOP CHORD LIVE LOAD: 25 PSF (SNOW LOAD DURATION);
- SEE PLAN FOR SNOW DRIFT LOADS;
- CHECK EAVES AND OVERHANGS FOR 2"pl PER ASCE 7 (Section 7.4.5) ;
- TOP CHORD DEAD LOAD: 10 PSF;
- ADD ADDITIONAL 4 PSF DEAD LOAD ON TRUSSES BELOW BUILT-UP FRAMING OR VALLEY SET AREAS.
- BOTTOM CHORD LIVE LOAD: USE MINIMUM PER TRUSS MFR.
- BOTTOM CHORD DEAD LOAD: 15 PSF
- SPRINKLER LOCATIONS, IF APPLICABLE, TO BE PROVIDED BY G.C. PRIOR TO TRUSS DESIGN.
- REFER TO PLAN FOR SPECIAL LOADING CONDITIONS



TIPP CITY SENIORS NEW ADDITION

524 NORTHVAULT STREET, TIPP CITY, OH 45371

| SHEET LIST   |                     |
|--------------|---------------------|
| Sheet Number | Sheet Name          |
| S0.1         | STRUCTURAL NOTES    |
| S1.0         | FOUNDATION PLAN     |
| S2.0         | FOUNDATION SECTIONS |
| S3.0         | ROOF FRAMING PLAN   |
| S4.0         | FRAMING SECTIONS    |
| S5.0         | WOOD TRUSS BRACING  |

| ISSUANCES/REVISIONS    |            |  |
|------------------------|------------|--|
| CONSTRUCTION DOCUMENTS | 01/15/2026 |  |

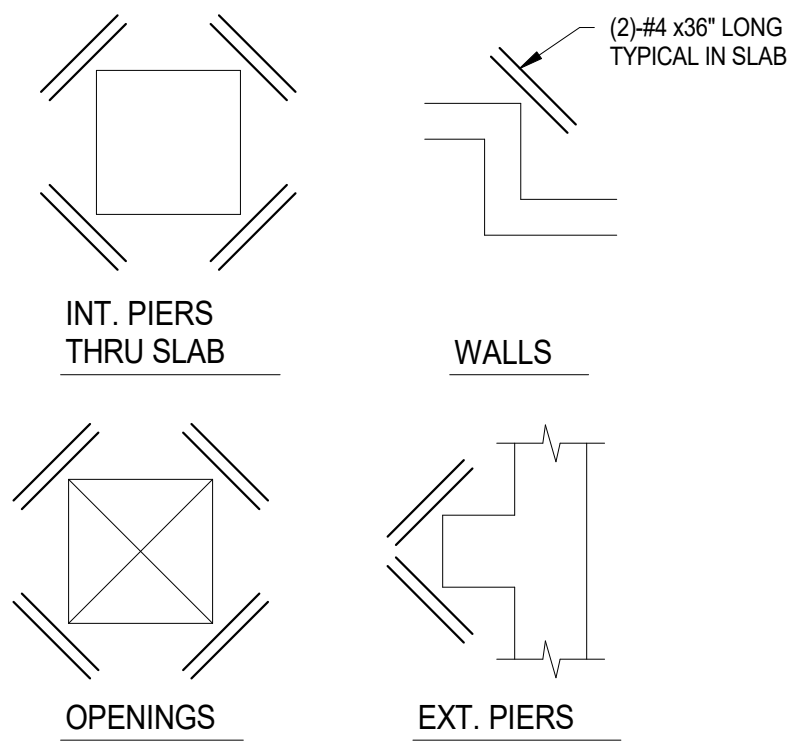
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| PROJECT NUMBER: | DRAWN BY: | CHECKED BY: |
| 250559.00       | YE        | PR          |

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| SHEET TITLE:     |  |
| STRUCTURAL NOTES |  |

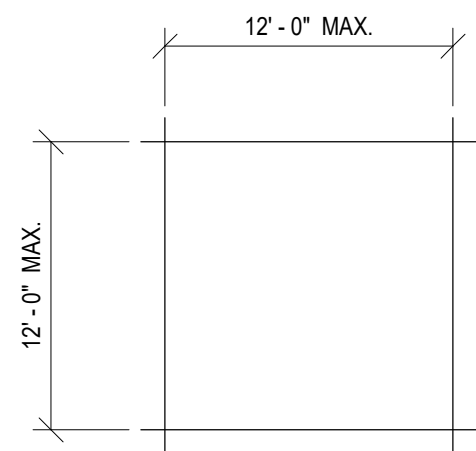
|               |
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| SHEET NUMBER: |
| S0.1          |



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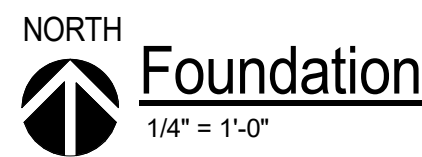
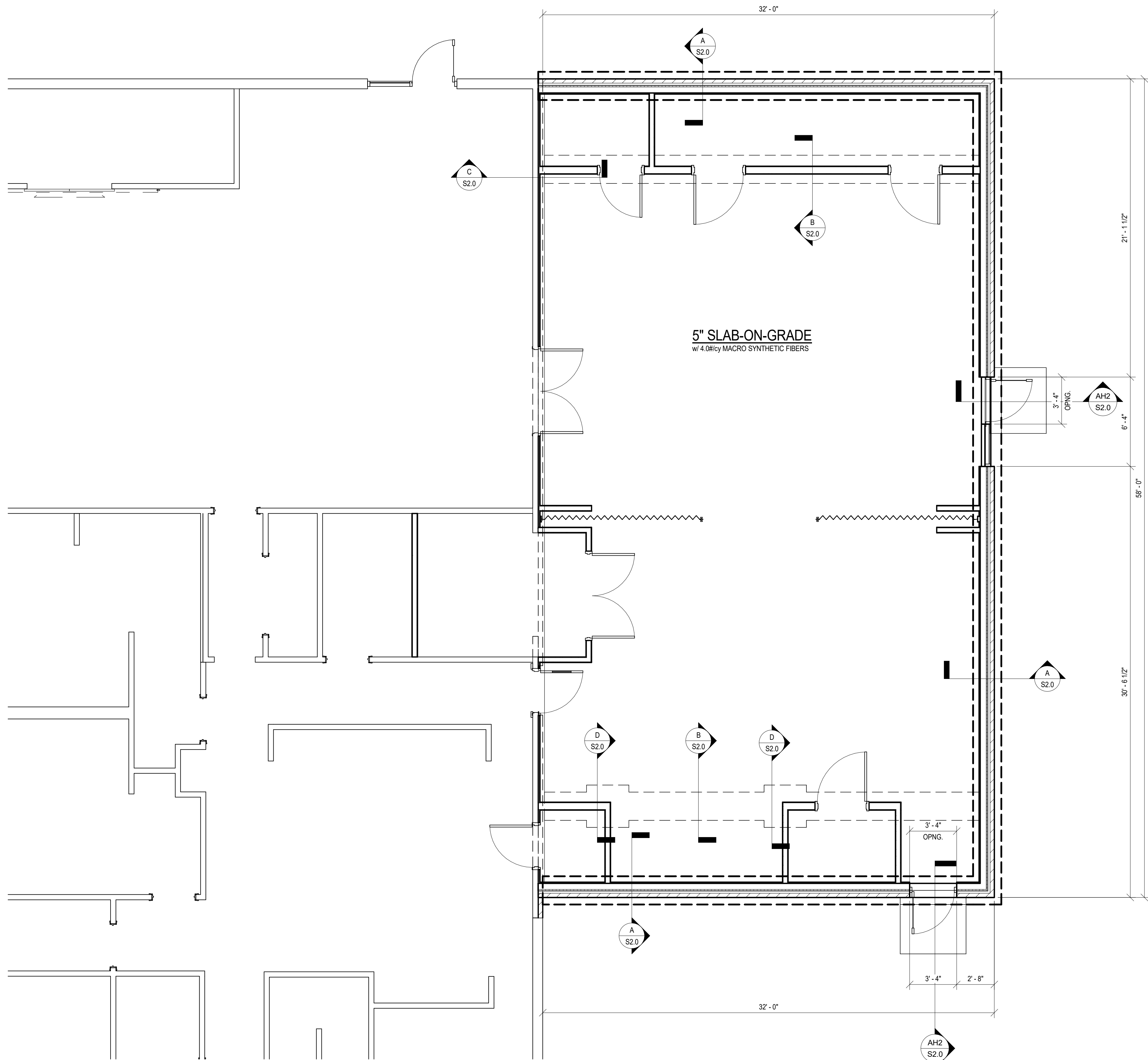


SLAB REINFORCING DETAILS AT REENTRANT CORNERS  
N.T.S.

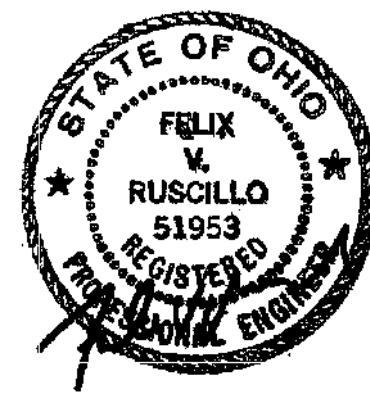


- NOTES:
1. SAW CUT CONTROL JOINTS AT 12'-0" c. MAX. MAINTAIN LENGTH TO WIDTH RATIO OF 1:1. DO NOT EXCEED MORE THAN 1.5:1.
  2. LOCATE AT WALL RE-ENTRANT CORNERS AND ON COLUMNS WHERE POSSIBLE.
  3. CONSTRUCTION JOINTS CAN BE LOCATED AT CONTRACTORS OPTION.
  4. PROVIDE A JOINTING PLAN FOR ARCHITECTURAL REVIEW IN AREAS WHERE CONCRETE WILL BE EXPOSED TO VIEW.

TYPICAL SLAB-ON-GRADE CONTROL JOINTS



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## TIPP CITY SENIORS NEW ADDITION

324 NORTH WATT STREET, TIPP CITY, OH 45371

### ISSUANCES/REVISIONS

|                        |            |
|------------------------|------------|
| CONSTRUCTION DOCUMENTS | 01/13/2025 |
|------------------------|------------|

|                 |           |             |
|-----------------|-----------|-------------|
| PROJECT NUMBER: | DRAWN BY: | CHECKED BY: |
| 250559.00       | YE        | PR          |

SHEET TITLE:

**FOUNDATION  
PLAN**

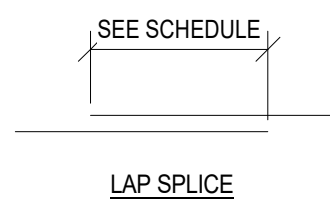
SHEET NUMBER:

**S1.0**

MINIMUM LAP SPLICE SCHEDULE

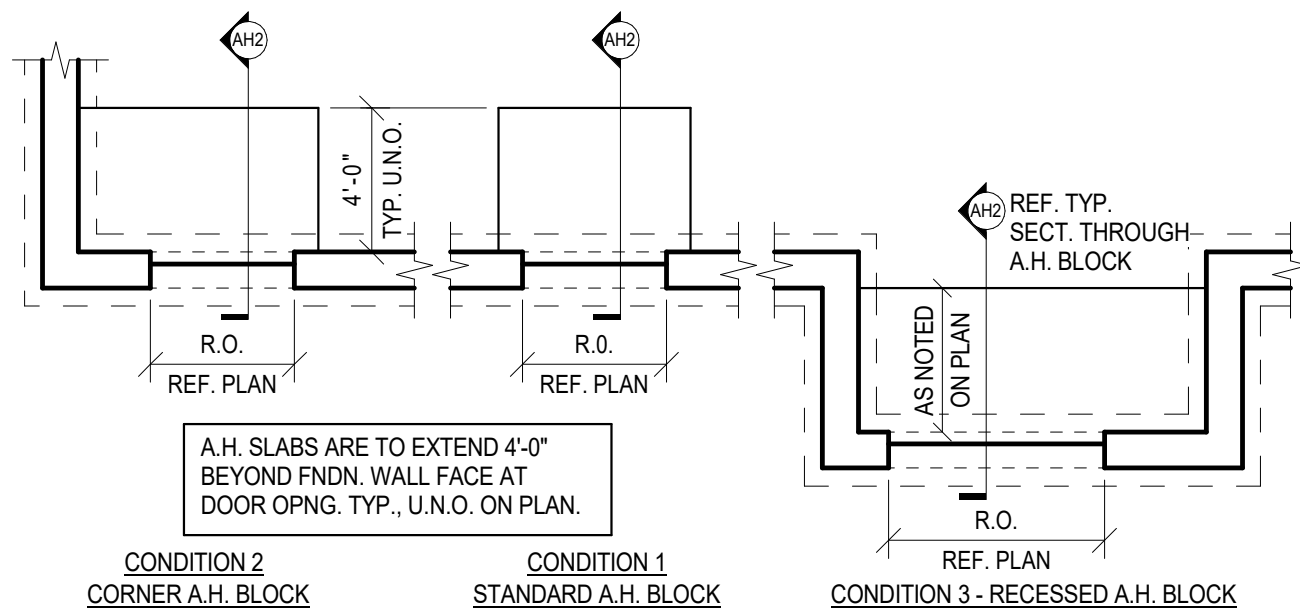
| BAR SIZE | LAP LENGTH <sup>1,2</sup> |
|----------|---------------------------|
| #3       | 24"                       |
| #4       | 32"                       |
| #5       | 40"                       |
| #6       | 48"                       |

1 - Increase Lap Length by 33% for Epoxy Coated Reinforcing or Lightweight Concrete  
2 - Based on minimum  $f_c = 4000$  psi

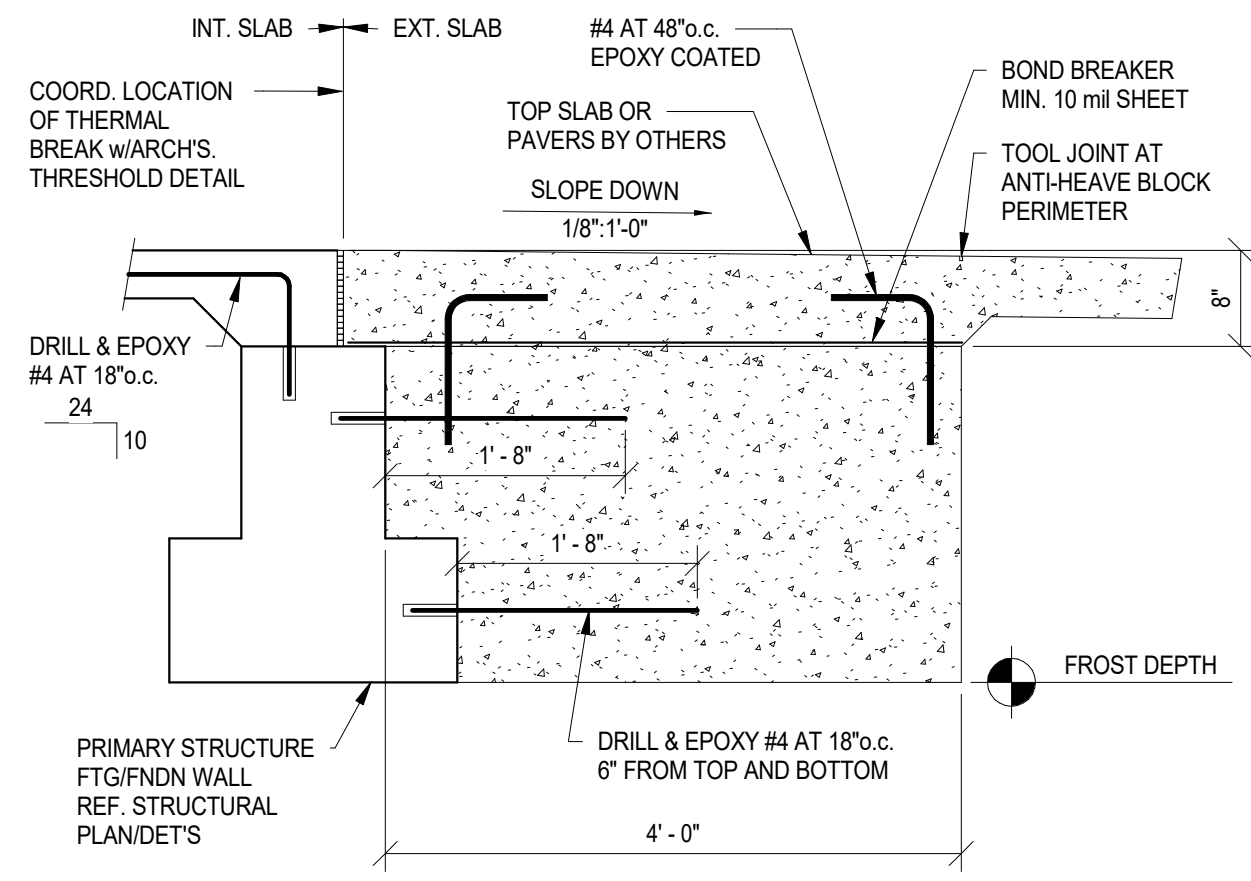


C1 CONCRETE REINFORCEMENT SPLICES  
SCALE: NTS

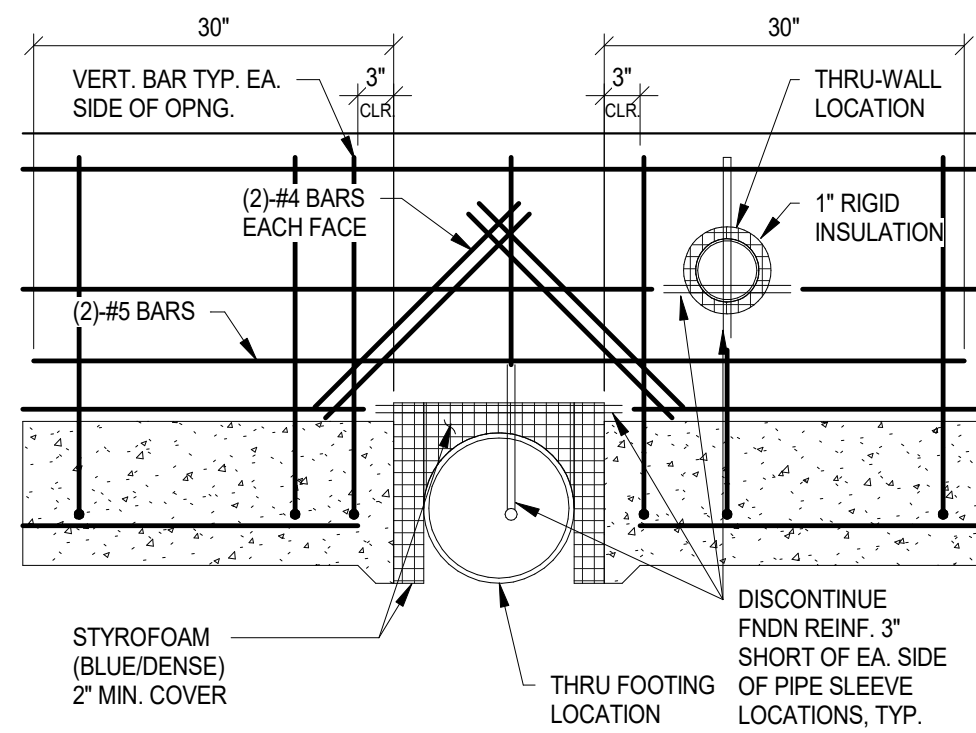
- DETAIL NOTES:
1. ANTI-HEAVE BLOCKS TO BE USED AT ALL PRIMARY ENTRANCES AND EMERGENCY EXITS
  2. REFERENCE ARCHITECTURAL AND SITE DRAWINGS FOR BLOCK WIDTHS
  3. TOP OF ANTI-HEAVE BLOCK MAY BE HELD DOWN 8" MAX. TO ALLOW FOR PAVERS OR OTHER SITE SPECIFIED CONCRETE SLABS
  4. PLACE ANTI-HEAVE SEPARATELY. DRILL & EPOXY ALL HORIZONTAL ANTI-HEAVE FOUNDATION REINFORCING



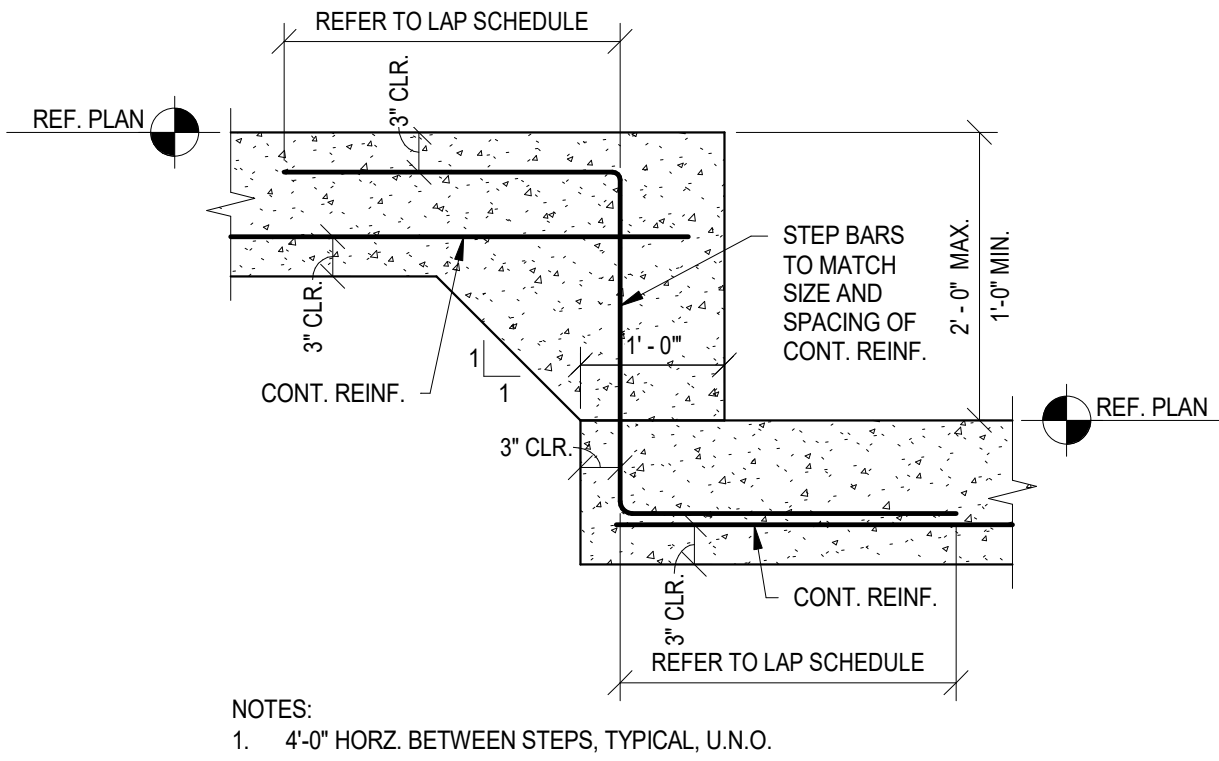
AH TYPICAL ANTI-HEAVE BLOCK TYPES  
SCALE: NTS



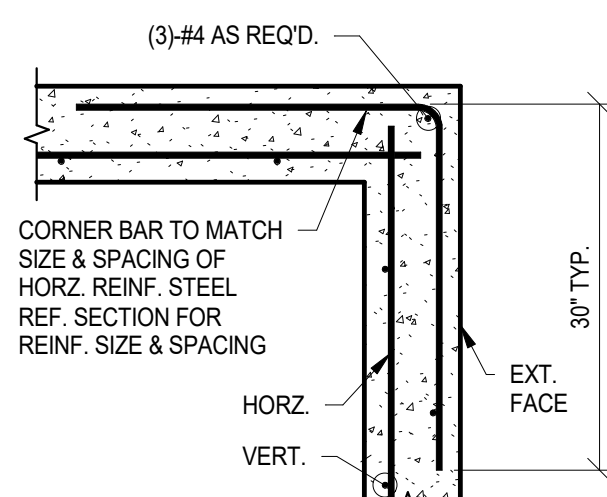
AH2 TYPICAL ANTI-HEAVE BLOCK  
SCALE: 3/4" = 1'-0"



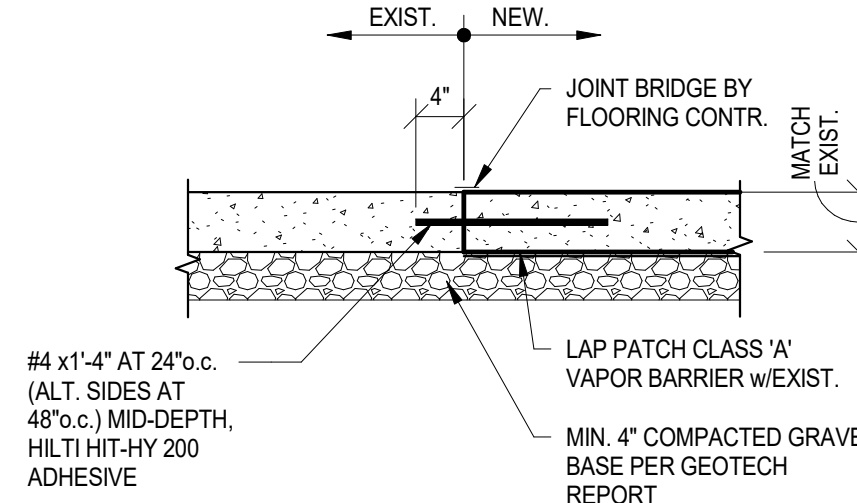
F10 TYPICAL PIPE SLEEVE AT FOUNDATION  
SCALE: NTS



F7 TYPICAL FOOTING STEP DETAILS  
SCALE: NTS



F2 TYPICAL CORNER BAR DETAIL  
SCALE: NTS

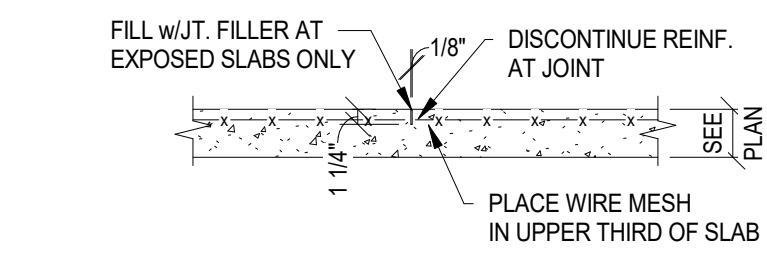


C8 TYPICAL REPLACEMENT SLAB  
SCALE: NTS

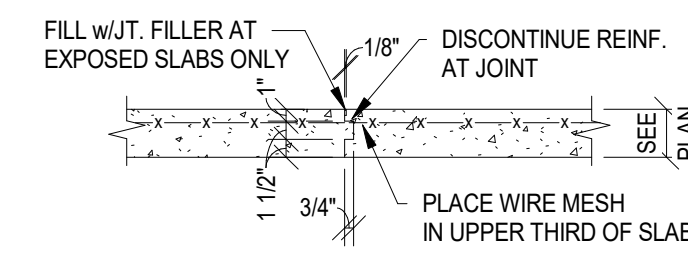
| CASE | LOCATION  | BAR SIZE      | COVER (in.) |
|------|---|---------------|-------------|
| A    | Concrete cast against and permanently exposed to earth <sup>1</sup> | ALL SIZES     | 3"          |
| B    | Concrete exposed to earth or weather                                | #5 & Smaller  | 1 1/2"      |
|      |   | #6 thru #18   | 2"          |
| C    | Concrete NOT exposed to weather or in contact with earth            |               |             |
|      | Walls, Slabs (0, 1, or 1.5 hr)                                      | #11 & Smaller | 3/4"        |

1 - All foundations cast against earth without using formwork shall use CASE 'A' for reinforcement clearances.

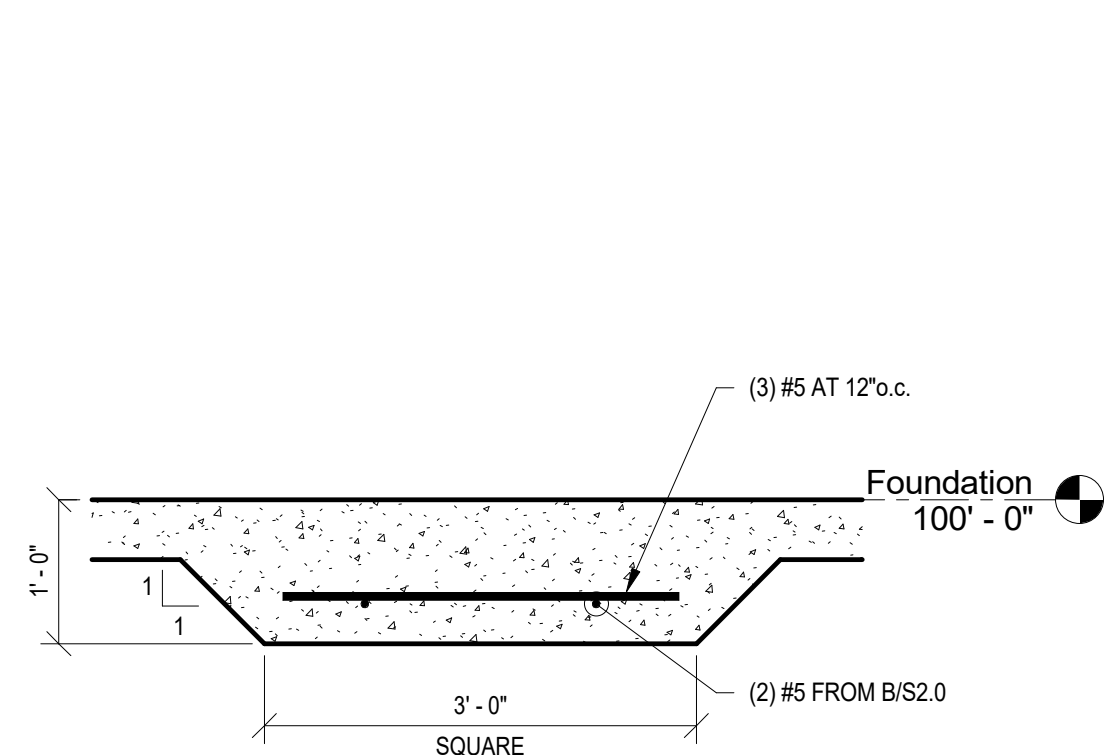
C2 CONCRETE REINFORCING COVER  
SCALE: NTS



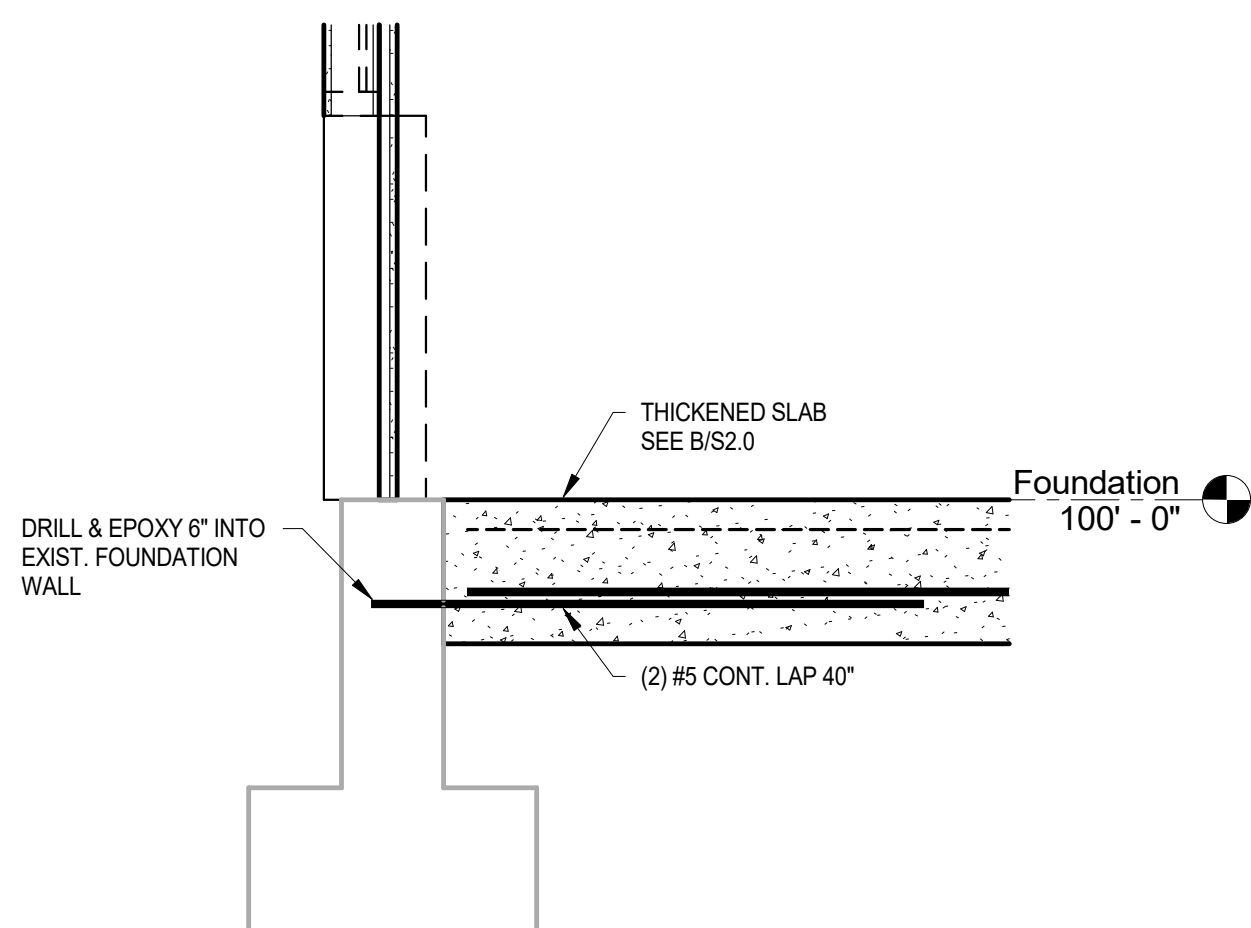
TYPICAL SAWED CONTROL JOINT DETAIL  
NTS.



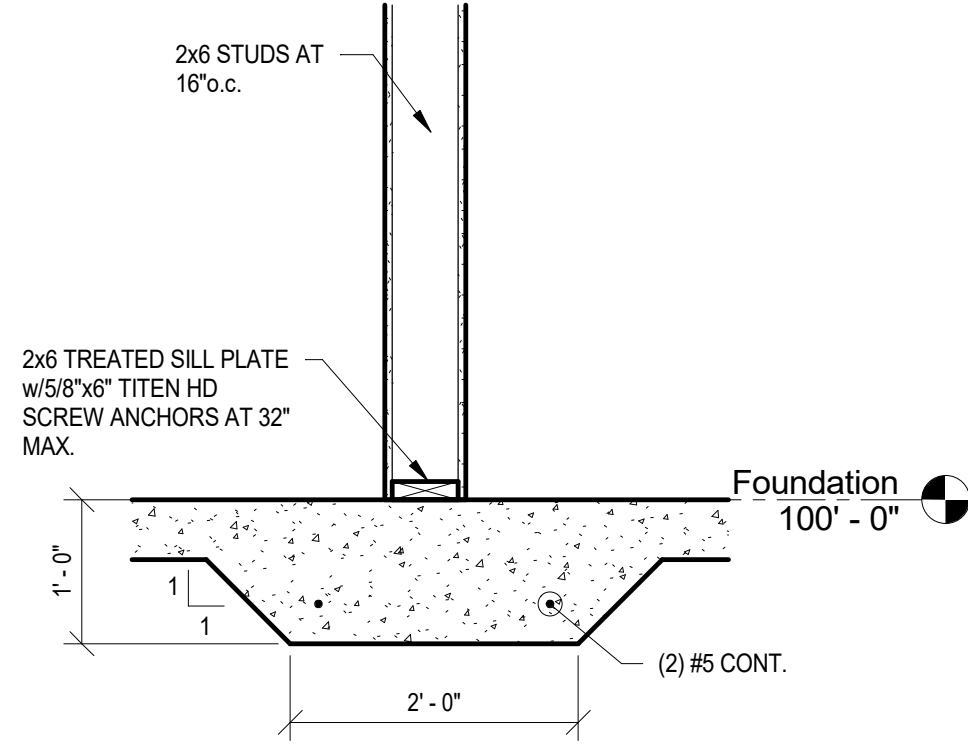
TYPICAL CONSTRUCTION JOINT DETAIL  
NTS.



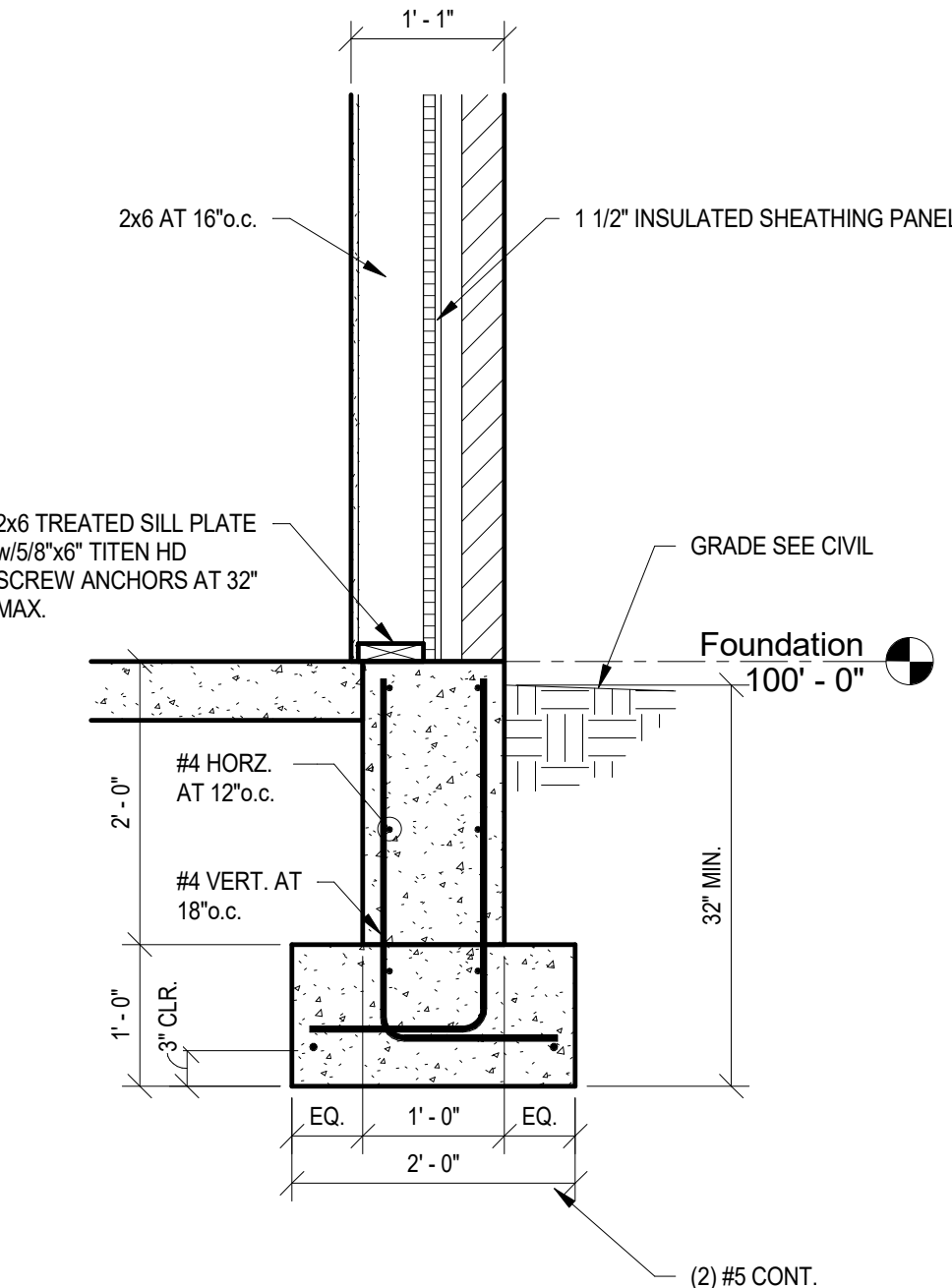
D S2.0  
3/4" = 1'-0"



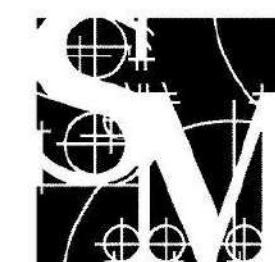
C S2.0  
3/4" = 1'-0"



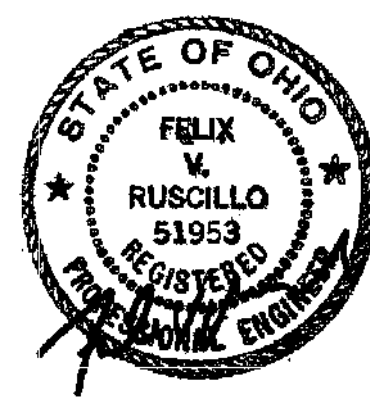
B S2.0  
3/4" = 1'-0"



A S2.0  
3/4" = 1'-0"



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TIPP CITY SENIORS NEW ADDITION

324 NORTH AVENUE STREET, TIPP CITY, OH 45371

| ISSUANCES/REVISIONS    |            |  |
|------------------------|------------|--|
| CONSTRUCTION DOCUMENTS | 01/13/2006 |  |

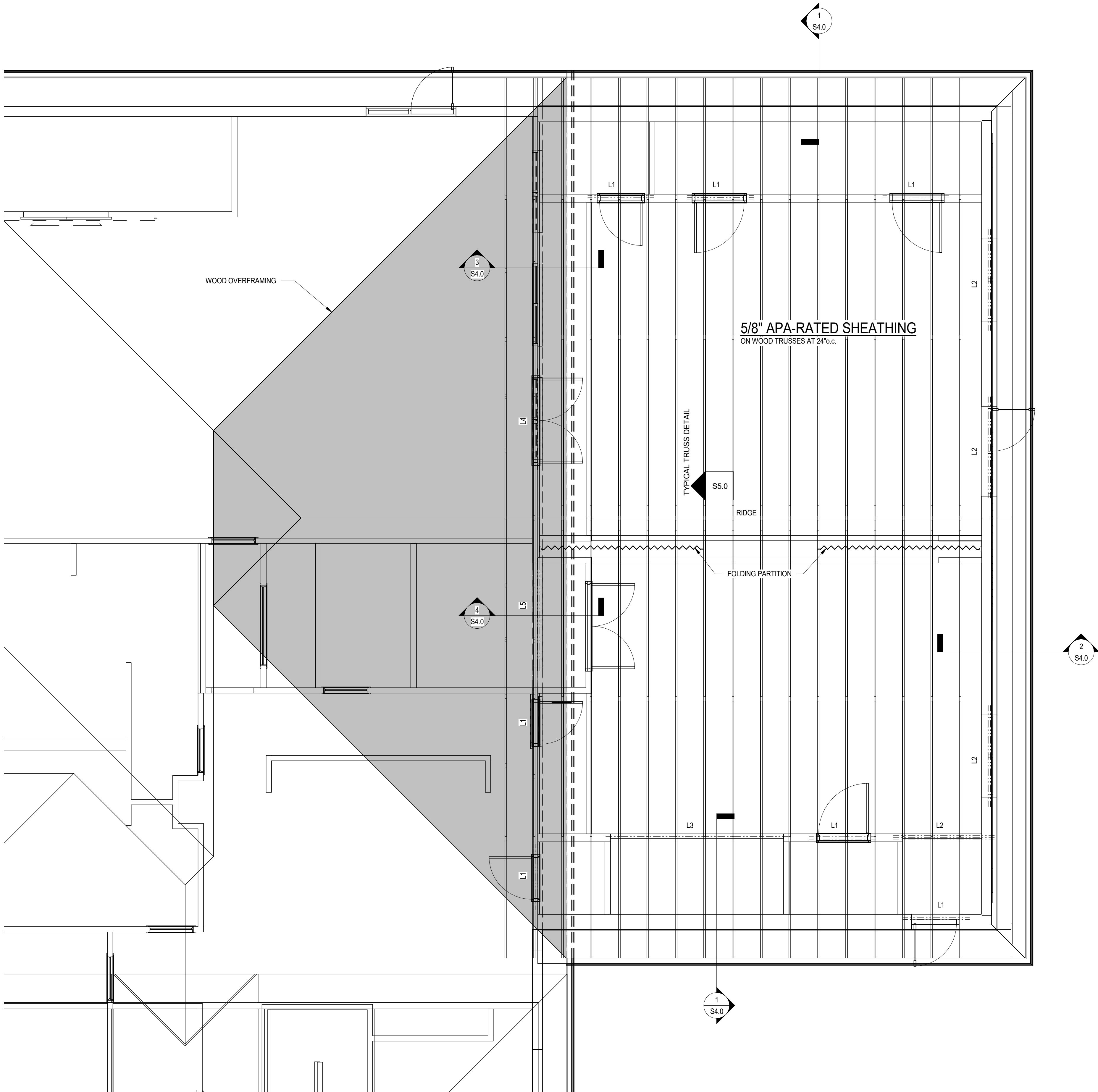
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| PROJECT NUMBER: | DRAWN BY: | CHECKED BY: |
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SHEET TITLE:

FOUNDATION SECTIONS

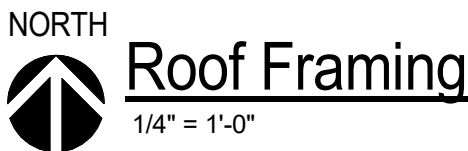
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S2.0

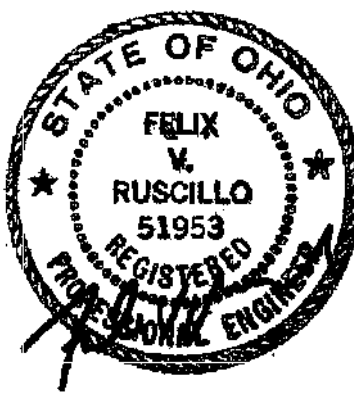


### WOOD LINTELS

| MARK | SIZE                         | NOTES                      |
|------|------------------------------|----------------------------|
| L1   | (3) 2x8                      | (2) BEARING STUDS EACH END |
| L2   | (3) 2x10                     | (2) BEARING STUDS EACH END |
| L3   | 5 1/4"x14" MICROLLAM LVL     | (3) BEARING STUDS EACH END |
| L4   | 3 1/2"x7 1/4" MICROLLAM LVL  | (3) BEARING STUDS EACH END |
| L5   | 3 1/2"x11 1/4" MICROLLAM LVL | (3) BEARING STUDS EACH END |



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## TIPP CITY SENIORS NEW ADDITION

524 NORTHVALE STREET, TIPP CITY, OH 45371

### ISSUANCES/REVISIONS

|                        |            |
|------------------------|------------|
| CONSTRUCTION DOCUMENTS | 01/13/2026 |
|------------------------|------------|

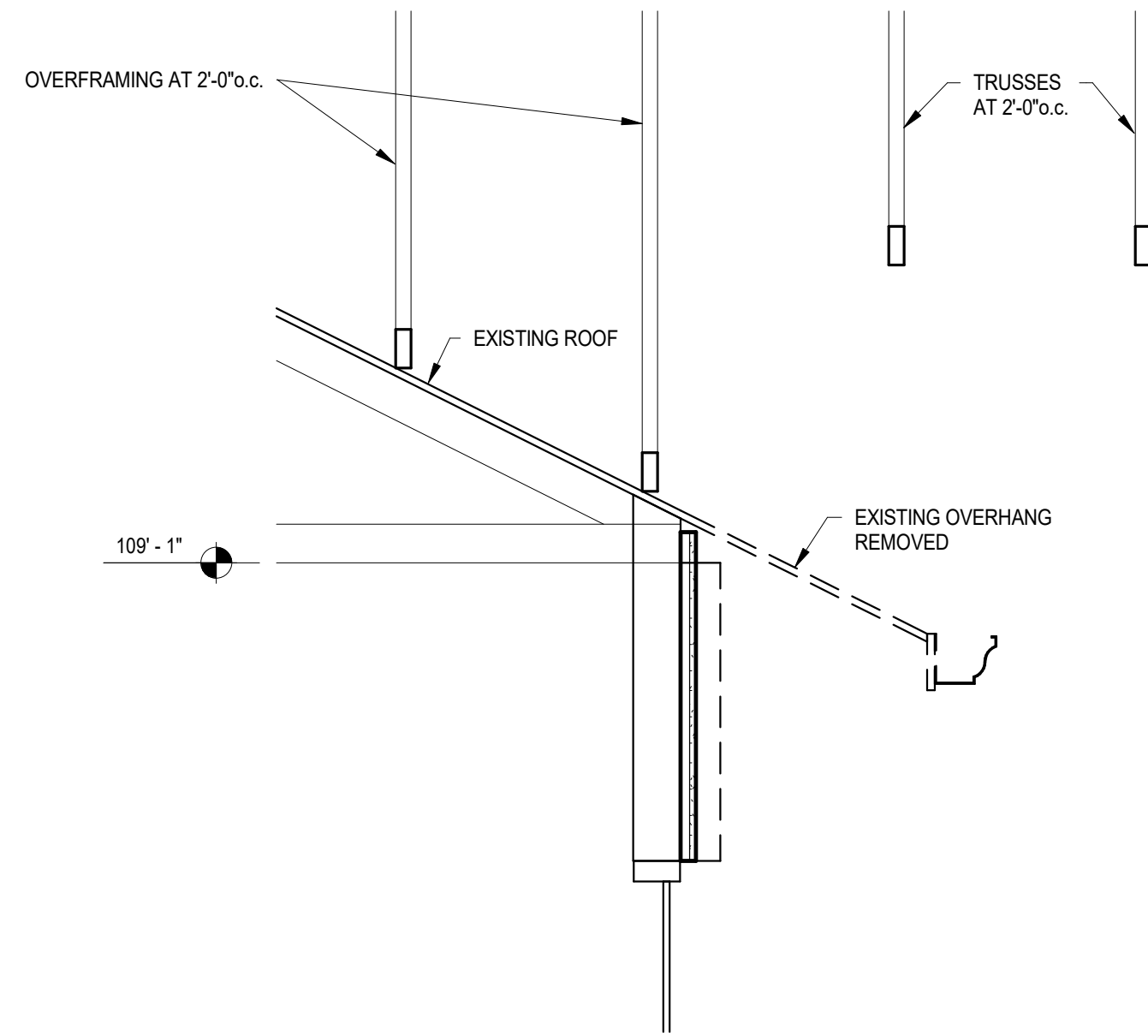
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| PROJECT NUMBER: | DRAWN BY: | CHECKED BY: |
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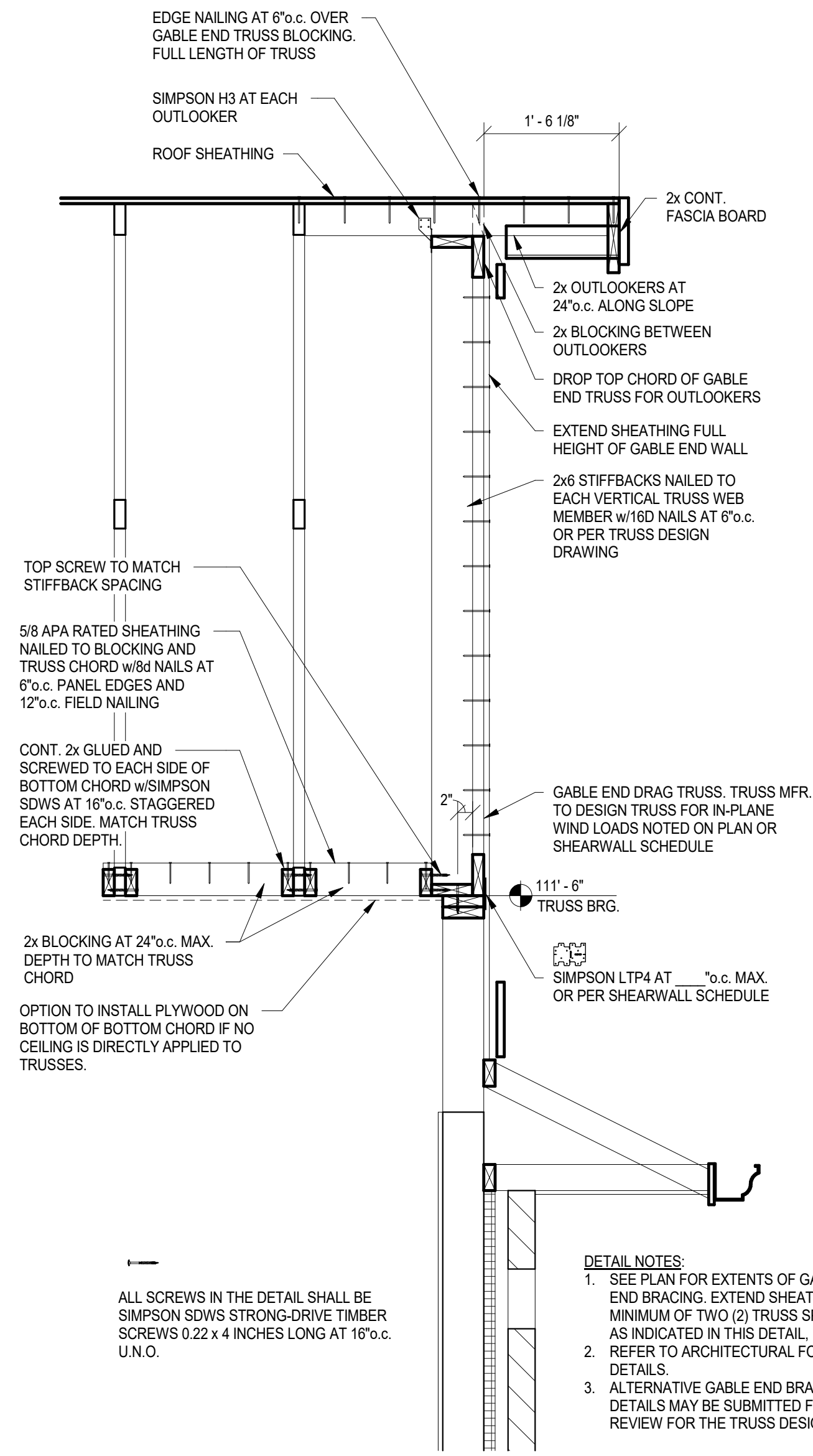
**ROOF FRAMING  
PLAN**

### SHEET NUMBER:

**S3.0**

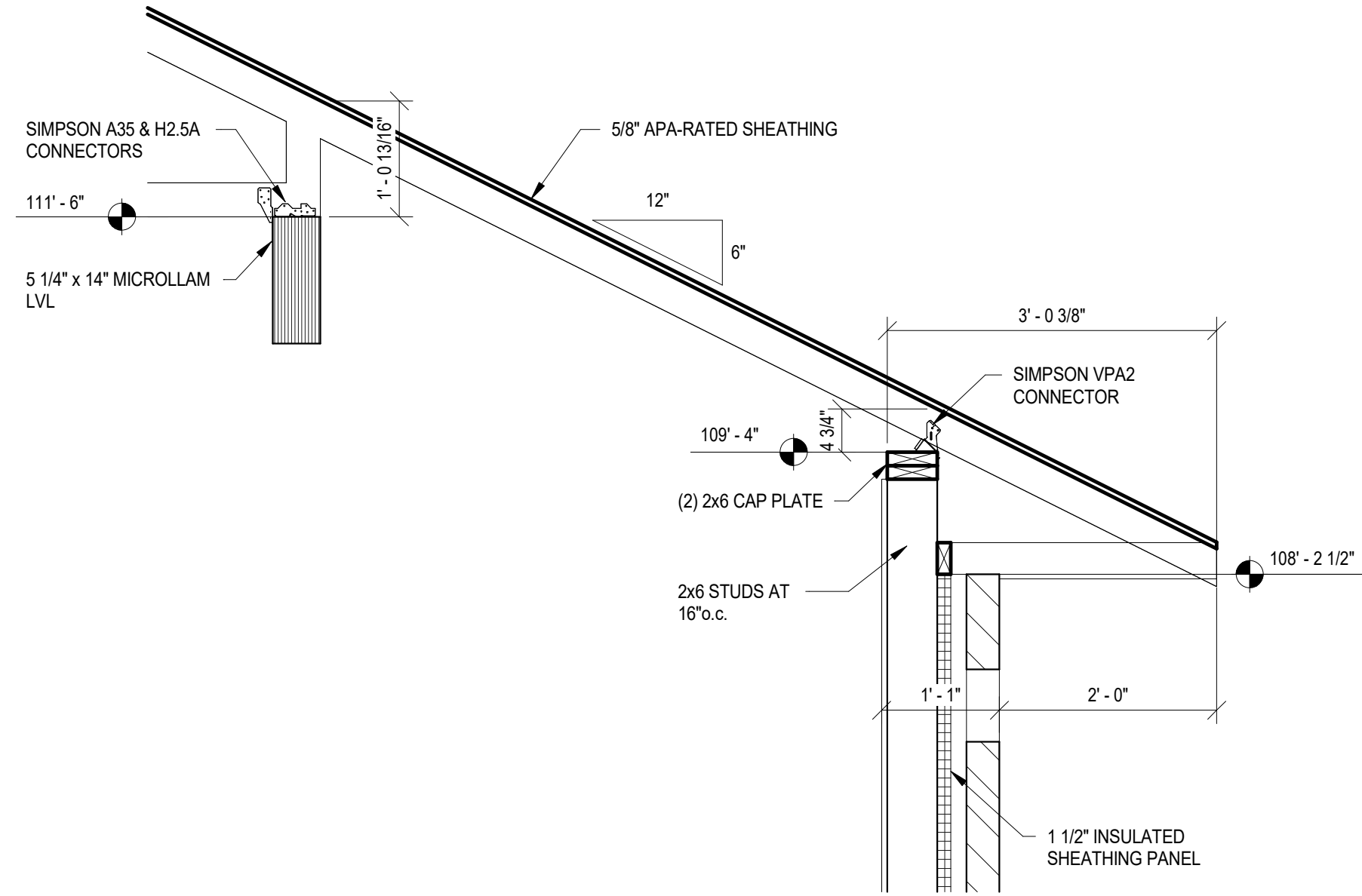


3  
S4.0  
3/4" = 1'-0"

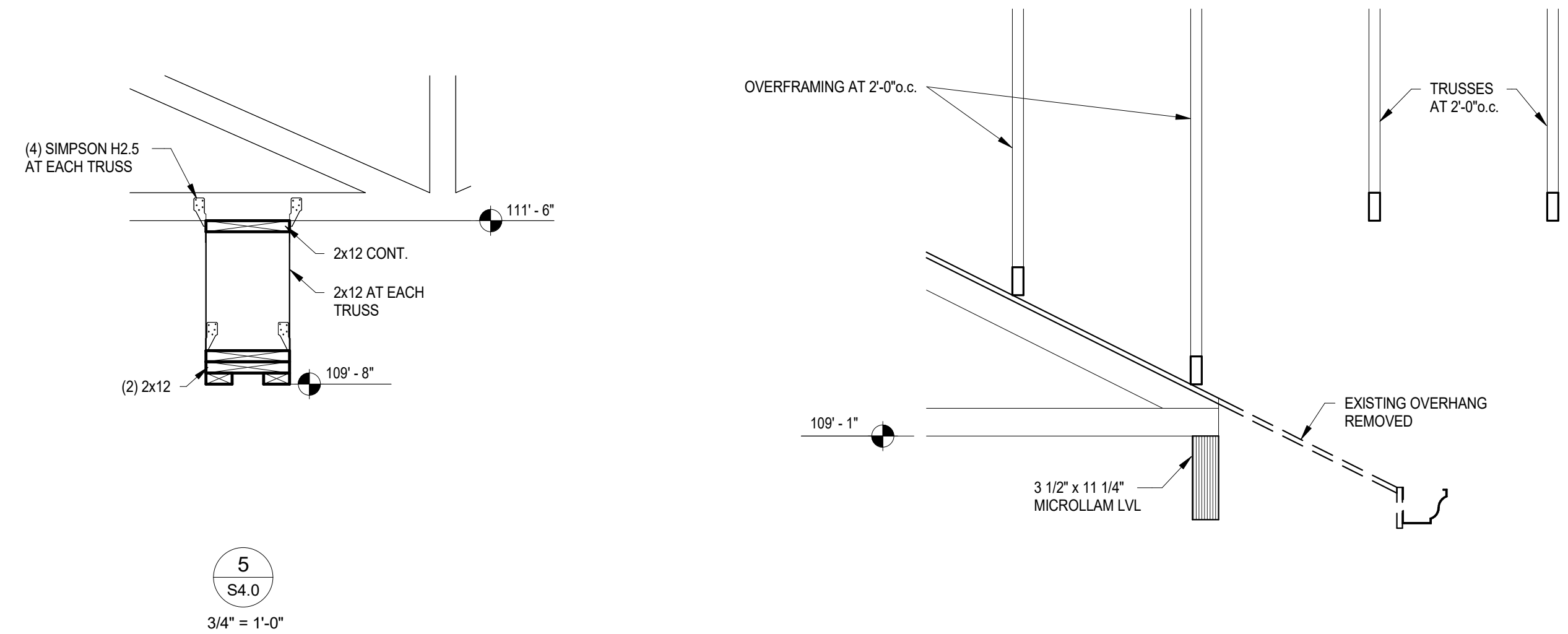


2  
S4.0  
3/4" = 1'-0"

- DETAIL NOTES:
1. SEE PLAN FOR EXTENTS OF GABLE END BRACING. EXTEND SHEATHING A MINIMUM OF TWO (2) TRUSS SPACES AS INDICATED IN THIS DETAIL. U.N.O. REFER TO ARCHITECTURAL FOR EAVE DETAILS.
  2. ALTERNATIVE GABLE END BRACING DETAILS MAY BE SUBMITTED FOR REVIEW FOR THE TRUSS DESIGNER.



1  
S4.0  
3/4" = 1'-0"



5  
S4.0  
3/4" = 1'-0"

4  
S4.0  
3/4" = 1'-0"



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## TIPP CITY SENIORS NEW ADDITION

524 NORTHVALE STREET, TIPP CITY, OH 45371

| ISSUANCES/REVISIONS    |            |  |
|------------------------|------------|--|
| CONSTRUCTION DOCUMENTS | 01/13/2026 |  |

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SHEET TITLE:

FRAMING  
SECTIONS

SHEET NUMBER:  
**S4.0**

NOTE TO CONTRACTOR:  
COST OF TEMPORARY AND PERMANENT BRACING IS USUALLY NOT INCLUDED AS PART OF THE PRE-ENGINEERED TRUSS PACKAGE. ALL BRACING REQUIRED ON THIS SHEET AND THE BCSI GUIDE IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.



### GENERAL TRUSS BRACING NOTES:

1. TEMPORARY BRACING MUST BE APPLIED TO ALL OF THE FOLLOWING PLANES OF THE TRUSSES TO ENSURE STABILITY: TOP CHORD PLANE (Roof Plane), WEB MEMBER PLANE (Sloping or vertical plane perpendicular to trusses), BOTTOM CHORD PLANE (ceiling plane).
2. GROUND BRACING (NOT SHOWN) IS REQUIRED FOR ALL INSTALLATIONS.
3. ALL CONNECTIONS SHALL BE MADE WITH A MINIMUM OF (2) 10d NAILS (Ø= 0.131" L=3.07") GALVANIZED OR COATED. DRIVE NAILS FLUSH OR USE DOUBLE-HEADED (DUPLICATE) NAILS FOR EASE OF REMOVAL.
4. ALL TEMPORARY BRACING SHALL BE NO LESS THAN 2x4 STRESS-GRADED LUMBER.
5. LATERAL BRACING ALONE IS NOT ADEQUATE WITHOUT DIAGONAL BRACING. ALWAYS DIAGONALLY BRACE FOR SAFETY.
6. TRUSS SPACERS ARE FOR SPACING ONLY! NEVER USE THE COMMERCIALLY AVAILABLE LIGHT-GAUGE METAL FOLD-OUT / NON-STRUCTURAL SINGLE UNIT SPACER PRODUCTS FOR TRUSS LATERAL RESTRAINT.
7. BRACING FOR WOOD TRUSSES IS THE RESPONSIBILITY OF THE CONTRACTOR AND THE ERECTOR. TRUSSES SHALL BE BRACED IN ACCORDANCE WITH THE "GUIDE TO GOOD PRACTICE FOR HANDLING, INSTALLING, RESTRAINING & BRACING METAL PLATE CONNECTED WOOD TRUSSES" (BCSI) PUBLISHED BY THE STRUCTURAL BUILDING COMPONENT ASSOCIATION (SBCA). THIS REQUIRED DOCUMENT IS AVAILABLE BY CALLING SBCA AT (808) 274-4849.

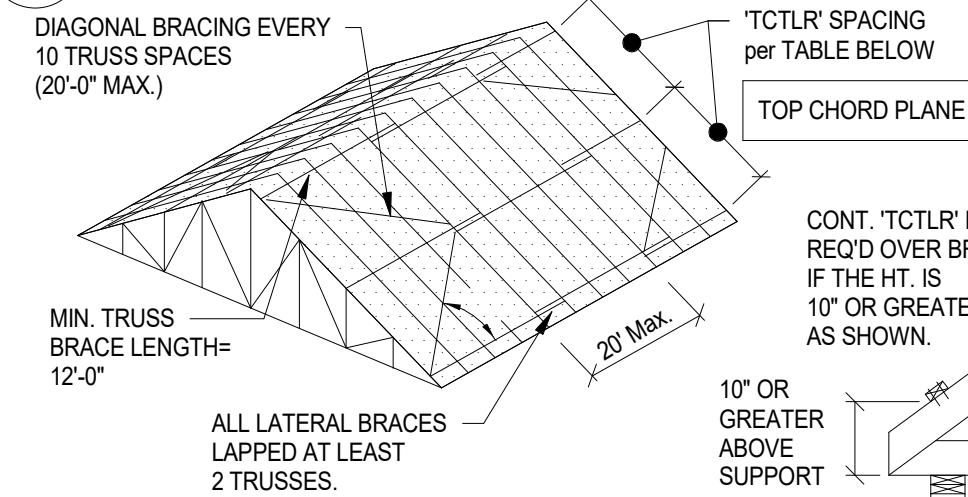
A. A COPY OF THIS DOCUMENT SHALL BE AVAILABLE ON-SITE.



WARNING: FAILURE TO FOLLOW THESE RECOMMENDATIONS AND THOSE OF WTC/ATP COULD RESULT IN SEVERE PERSONAL INJURY OR DAMAGE TO TRUSSES OR BUILDINGS.

### 58 WDT - BCSI General

N.T.S.



VALID FOR:

| TRUSS SPAN | TOP CHORD TEMPORARY LATERAL RESTRAINT (TCTLR) SPACING |
|------------|---|
| UP TO 30'  | 10'-0" ON-CENTER MAXIMUM                              |
| 30'-45'    | 8'-0" ON-CENTER MAXIMUM                               |
| 45'-60'    | 6'-0" ON-CENTER MAXIMUM                               |
| ** 60'-80' | 4'-0" ON-CENTER MAXIMUM                               |

### TOP CHORD BRACING (TCTLR)

1. APPLIES TO ALL SLOPING CHORD TRUSSES, SCISSORS TRUSSES, 2x PARALLEL CHORD TRUSSES AND PIGGYBACK TRUSSES.
2. LOCATE A TCTLR AT EACH PITCH BREAK ALONG THE TOP CHORD.
3. PROVIDE LATERAL BRACING AT TOP CHORD SCISSORS TRUSS SPLICES.
4. INSTALL TCTLR TO THE UNDERSIDE OF TOP CHORD TO ALLOW INSTALLATION OF ROOF SHEATHING.

TOP CHORDS THAT ARE LATERALLY BRACED CAN BUCKLE TOGETHER AND CAUSE COLLAPSE IF THERE IS NO DIAGONAL BRACING. DIAGONAL BRACING SHOULD BE NAILED TO THE UNDERSIDE OF THE TOP CHORD WHEN PURLINS OR SHEATHING ARE ATTACHED TO THE TOPSIDE OF THE TOP CHORD.

\*"LONG SPAN TRUSS NOTE (60' - 80')

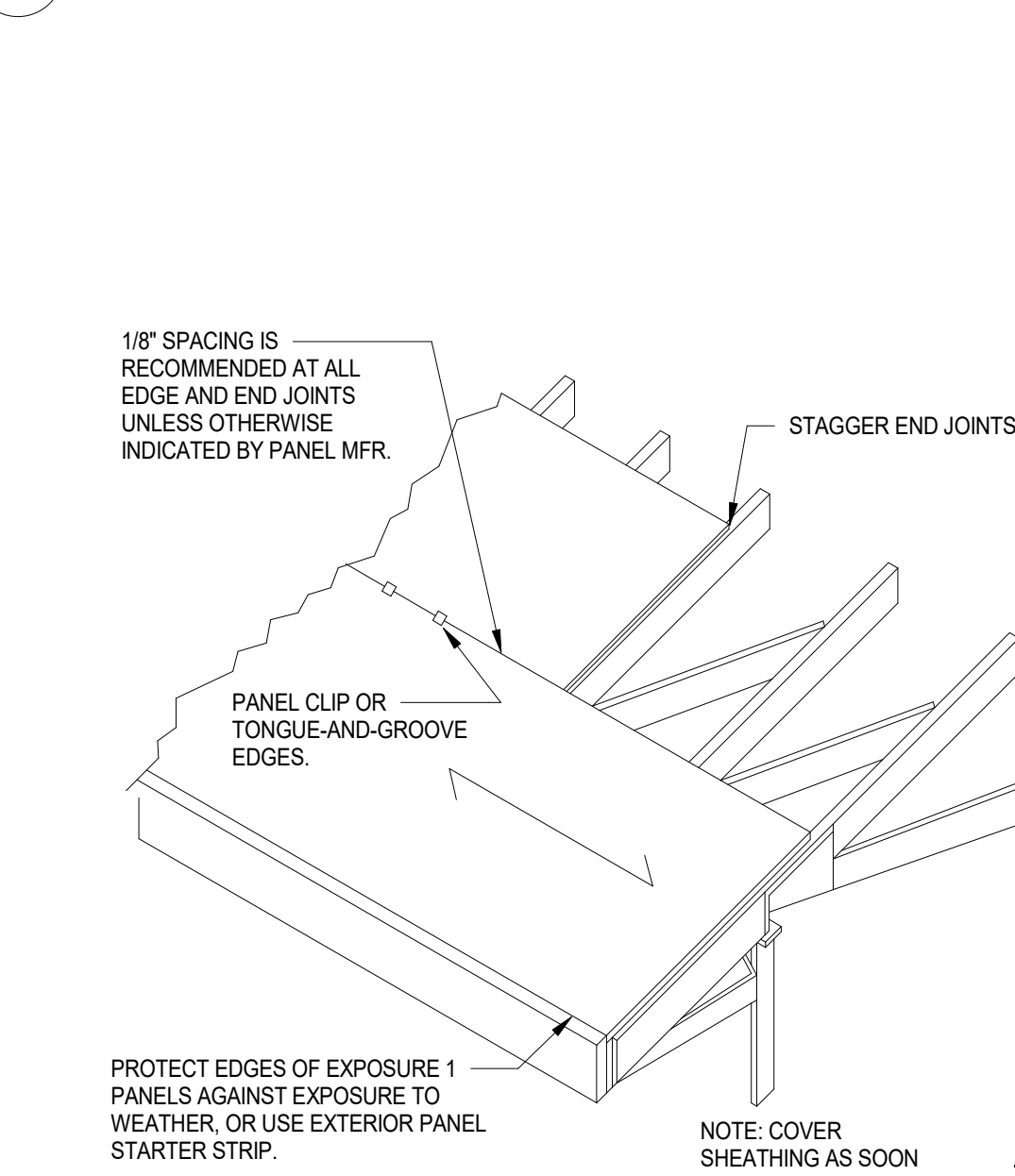
1. ONLY USE INSTALLERS WHO HAVE EXPERIENCE IN INSTALLING LONG SPAN TRUSSES.
2. TRUSSES SPANNING GREATER THAN 60' REQUIRE A PRE-ERECTION MEETING WITH A REPRESENTATIVE OF SHELL + MEYER ASSOCIATES AND THOSE INVOLVED IN THE DIRECTION OF THE LONG-SPAN TRUSSES. PLEASE CONTACT SHELL + MEYER A MINIMUM OF TWO WEEKS PRIOR TO TRUSS ERECTION.
3. ASSEMBLE THE FIRST FIVE TRUSSES WITH ALL RESTRAINT, BRACING AND STRUCTURAL SHEATHING PRIOR TO INSTALLING OTHER TRUSSES. THIS MAY BE DONE ON THE GROUND AND LIFTED INTO PLACE.

### ROOF SHEATHING NAILING PATTERN TYP.

SCALE: NTS

### 65 WD - Sheathing Nailing Pattern (Roof)

N.T.S.



### WEB MEMBER BRACING

1. INSTALL DIAGONAL BRACING ON WEB MEMBERS VERTICAL WEBS WHENEVER POSSIBLE, AT OR NEAR BOTTOM CHORD LATERAL RESTRAINT (SEE BELOW).
2. WEB MEMBERS THAT REQUIRE MORE THAN ONE ROW OF CLR SHALL HAVE THE CLR'S AND DIAGONAL BRACING INSTALLED AS THE TRUSSES ARE INSTALLED.
3. MONO TRUSSES, DEEP FLAT TRUSSES AND OTHER TYPES OF TRUSSES WITH DEEP ENDS ALSO REQUIRE CLR'S AND DIAGONAL BRACING ON THE LONG WEB MEMBERS AT THE DEEP END OF THE TRUSS.
4. REFER TO BCSI-B2 AND BCSI-B3 ADDITIONAL INFORMATION PERTAINING TO WEB MEMBER RESTRAINT AND BRACING.

### 70 WDT - BCSI Web Members

N.T.S.



### 72 WD - APA Roof Sheathing Placement

N.T.S.



NOTE: COVER SHEATHING AS SOON AS POSSIBLE WITH ROOFING FELT FOR EXTRA PROTECTION AGAINST EXCESSIVE MOISTURE PRIOR TO ROOFING APPLICATION.

DETAIL NOTES:

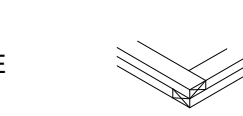
1. GLUE AND NAIL PLATES WITH CONSTRUCTION ADHESIVE
2. LAP INTERSECTING PLATES AT CORNERS
3. BUTT SPLICES MUST ALIGN WITH STUD

### W5 DOUBLE TOP PLATE SPLICE

SCALE: NTS

### 73 WD - Double Top Plate Splice

N.T.S.



CORNERS

BEARING OR EXTERIOR WALL STUDS

PROVIDE SIMPSON RPS STRAP TIES WHERE PLATES ARE CUT FOR PASSAGE OF VERTICAL PIPING.

DBL. 2x SYP TOP PLATE (TYP.)

ALIGN SPLICE WITH STUD

SEE PLAN

4'-0" MINIMUM SPLICE LENGTH

1/2" 3x10 131' NAILS (EA. SIDE OF SPLICE (TYP.) Ref. OBC TABLE 2304.9.1)

STAGGER END JOINTS

PROTECT EDGES OF EXPOSURE 1 PANELS AGAINST EXPOSURE TO WEATHER, OR USE EXTERIOR PANEL STARTER STRIP.

PANEL CLIP OR TONGUE-AND-GROOVE EDGES

CONT. LATERAL WEB BRACING FAR SIDE (CLR.)

REFER TO TRUSS DESIGN DWGS. (TODS) FOR WEBS THAT REQUIRE CONTINUOUS LATERAL RESTRAINT (CLR.)

DIAGONAL BRACE LOCATED AT EACH END AND EVERY 20'-0" (10 TRUSSES) ON WEB MEMBERS REQUIRING CONTINUOUS LATERAL RESTRAINT (CLR.)

20' MAX.

WEB CROSS BRACING REPEATED AT EACH END OF THE BUILDING AND AT 20' INTERVALS IN LINE w/BOTT. CHORD BRACING AND ALSO REQ'D AT CONT. WEB BRACING AS SHOWN ON TRUSS MANUFACTURER'S SHOP DRAWINGS.

WEB MEMBER PLANE

ELEVATION A-A

1/8" 45°

CONT. LATERAL WEB BRACING FAR SIDE (CLR.)

REFER TO TRUSS DESIGN DWGS. (TODS) FOR WEBS THAT REQUIRE CONTINUOUS LATERAL RESTRAINT (CLR.)

MIN. TRUSS BRACE LENGTH- 12'-0"

ALL LATERAL BRACES LAPPED AT LEAST 2 TRUSSES

10" OR GREATER ABOVE SUPPORT

10'-0" ON-CENTER MAXIMUM

8'-0" ON-CENTER MAXIMUM

6'-0" ON-CENTER MAXIMUM

4'-0" ON-CENTER MAXIMUM

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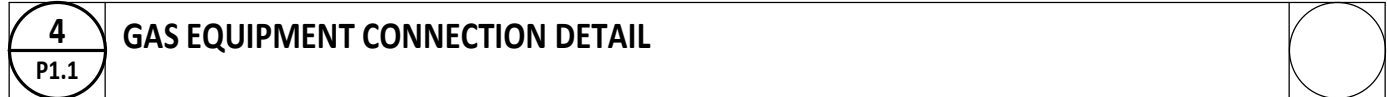
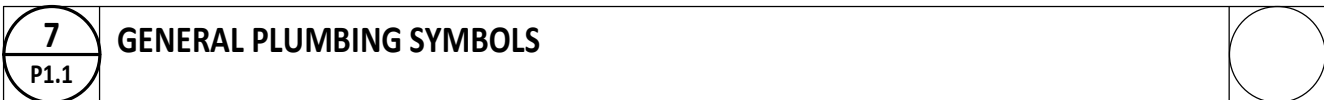
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8'-0" ON-CENTER MAXIMUM

6'-0" ON-CENTER MAXIMUM

## ABBREVIATIONS



**PLUMBING GENERAL NOTES**

**A** FIELD VERIFY INVERT ELEVATIONS ON UNDERGROUND SANITARY AND PIPING. COORDINATE DEPTHS WITH THE BUILDING CONSTRUCTION AND ALL OTHER UTILITIES.

**B** ALL FINAL GAS CONNECTIONS SHALL BE MADE WITH FLEXIBLE STAINLESS STEEL PIPE OR RIDGED PIPE WITH UNION, SHUT-OFF VALVE, AND DIRT LEG. REFERENCE DETAIL FOR ABOVE INFORMATION.

**C** PITCH UNDERFLOOR SANITARY WASTE PIPING 3" AND GREATER AT 1/8" PER FOOT, UNLESS NOTED OTHERWISE. PITCH ALL OTHER WASTE PIPING AT 1/4" PER FOOT UNLESS OTHERWISE NOTED.

**D** FIELD VERIFY LOCATION AND INVERTS OF SITE UTILITIES PRIOR TO INSTALLATION.

**E** COORDINATE WITH G.C. ON THE CUTTING, EXCAVATION, BACKFILL AND PATCHING OF CONCRETE REQUIRED FOR THE DEMO OF OLD AND THE INSTALLATION OF NEW UNDERGROUND SANITARY PIPING.

**F** ALL DOMESTIC WATER PIPING SHALL BE ROUTED ABOVE CEILING BEHIND THE STAPLED INSULATION UNLESS OTHERWISE INDICATED. FIX AND REPAIR ANY INSULATION DAMAGED BY CONSTRUCTION.

**G** WHERE FLOOR DRAINS OCCUR WITHIN THE LIMITS OF CONSTRUCTION, PREVENT CONSTRUCTION DEBRIS FROM ENTERING DRAIN BODY BY SEALING DRAIN OPENING PRIOR TO START OF WORK.

**H** PROVIDE SLEEVES AND/OR OPENINGS TO RUN PIPES THROUGH FOUNDATIONS, FLOORS, WALLS, AND ROOF.

**I** FIELD VERIFY ALL NEW WATER, WASTE, AND WASTE PIPING CONNECTIONS, AND PROVIDE NEW CONNECTIONS AS REQUIRED FOR PROPERLY OPERATING SYSTEMS.

**J** WASTE AND WASTE PIPING BELOW FLOOR AND THROUGH FLOOR SHALL BE 2" MINIMUM.



**GARMANN  
MILLER**

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MINSTER, OHIO | COLUMBUS, OHIO | INDIANAPOLIS, INDIANA  
[creategm.com](http://creategm.com)

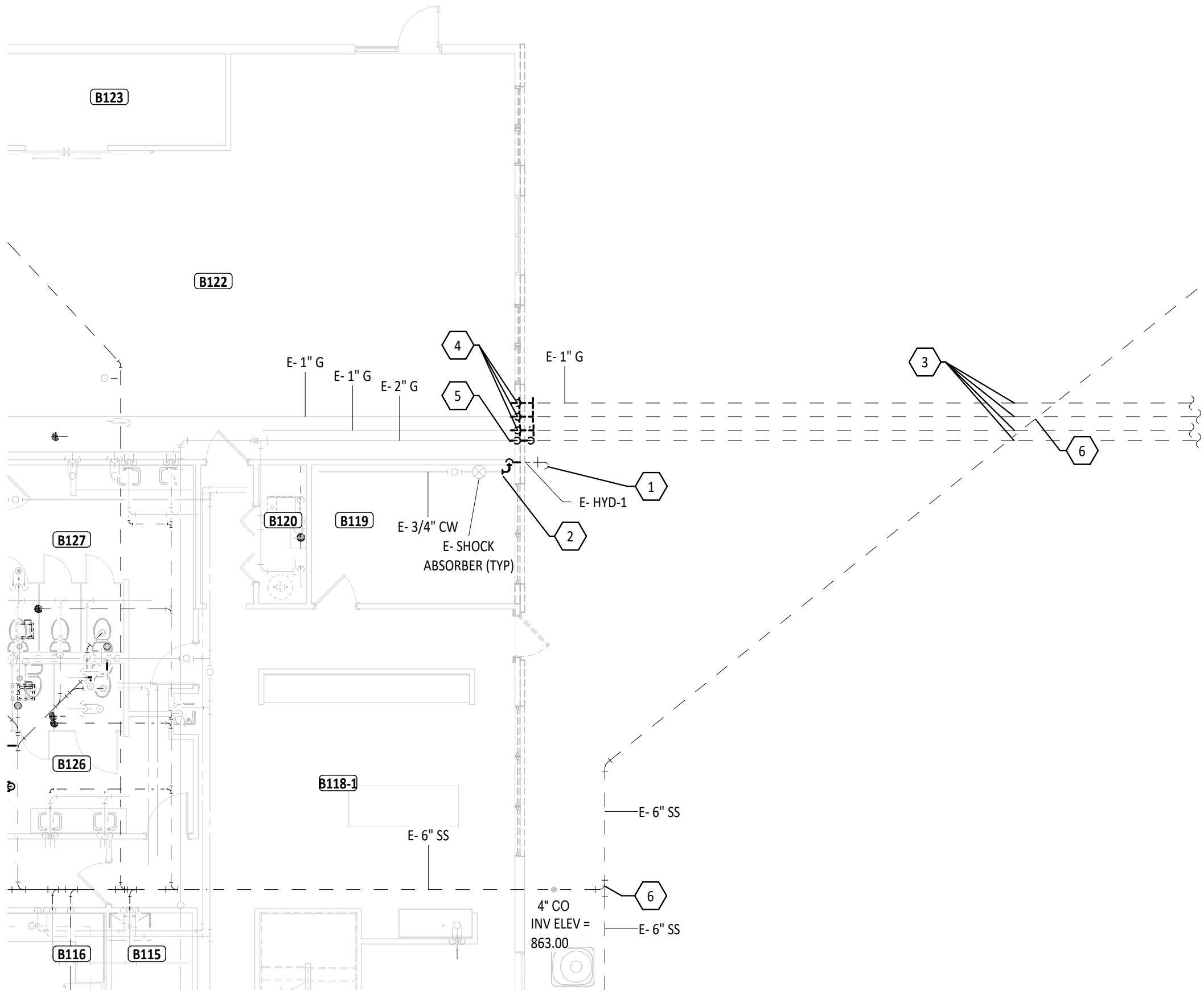
PLEASE TO PRINT YOUR ANSWERS FOR THE QUESTIONS

|                    |           |             |
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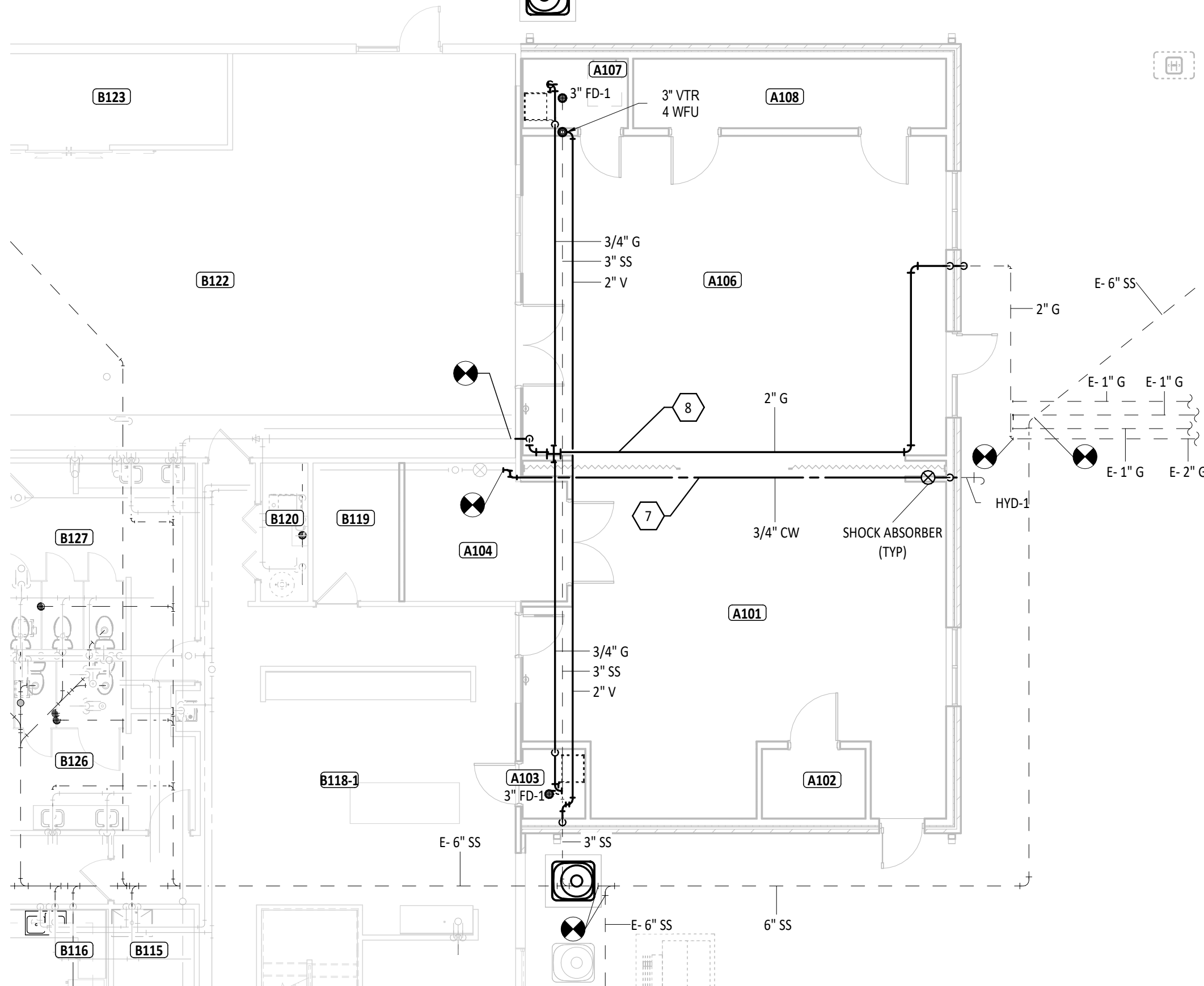
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## P1.1

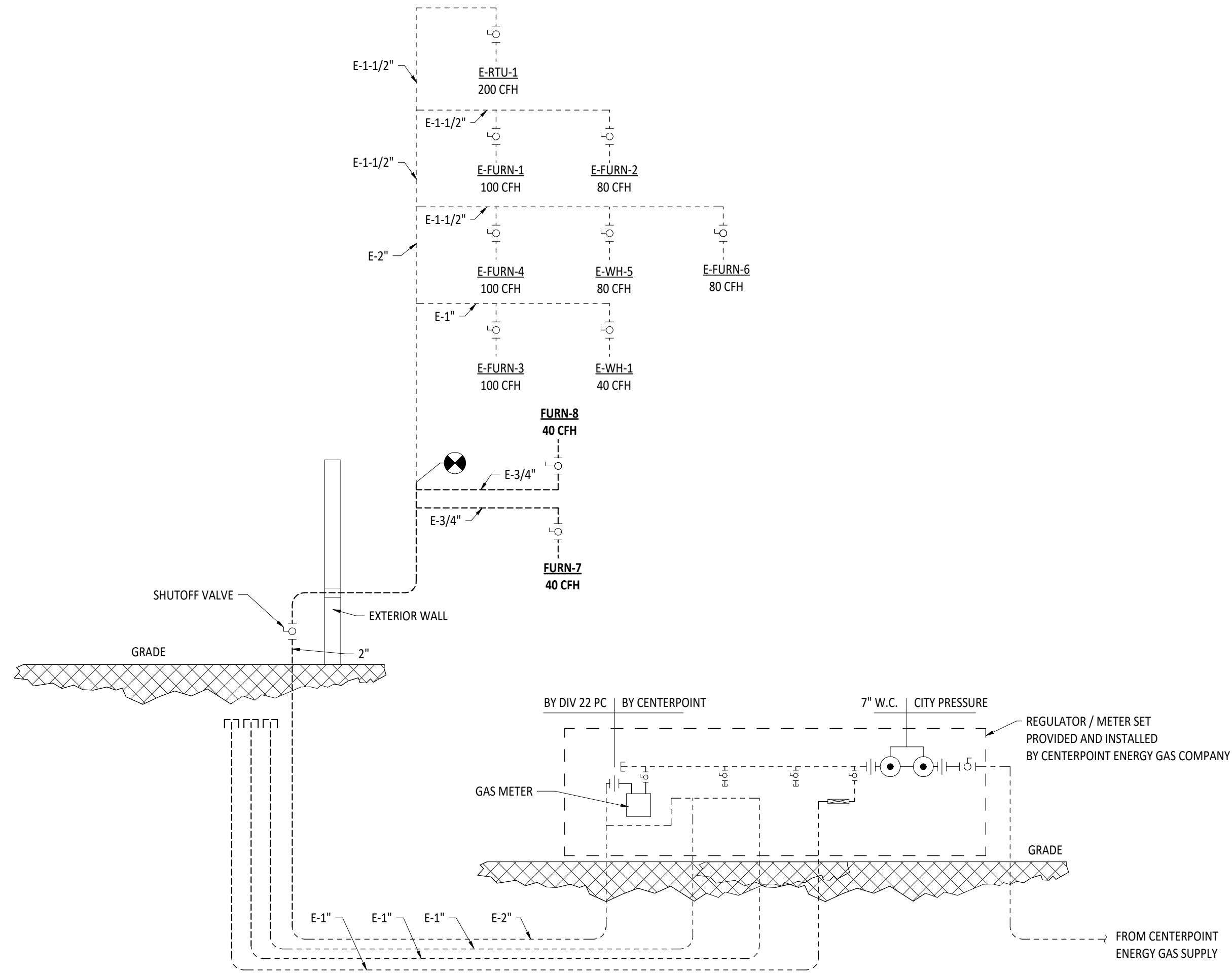
| ID    | DESCRIPTION           | MANUFACTURER | MODEL | QTY | MATERIAL DESCRIPTION | FINISH          | MOUNTING HEIGHT | DEPTH | ADA | TRIM         |       |       |                       | FLOW FIXTURE |                  |                 |                         | FLUSH FIXTURE  |                     | WASTE PIPE SIZE | INDIRECT WASTE PIPE SIZE | VENT PIPE SIZE | COLD WATER ROUGH-IN PIPE SIZE | HOT WATER ROUGH-IN PIPE SIZE  | SPECIFICATION |
|-------|-----------------------|--------------|-------|-----|----------------------|-----------------|-----------------|-------|-----|--------------|-------|-------|-----------------------|--------------|------------------|-----------------|-------------------------|----------------|---------------------|-----------------|--------------------------|----------------|-------------------------------|---|---------------|
|       |                       |              |       |     |                      |                 |                 |       |     | MANUFACTURER | MODEL | TYPE  | MOTION SENSOR CONTROL | WATER FLOW   | COLD WATER TEMP. | HOT WATER TEMP. | WASTE MIXED WATER TEMP. | VOL. PER FLUSH | MIN. VOL. PER FLUSH |                 |                          |                |                               |   |               |
|       |                       |              |       |     |                      |                 |                 |       |     |              |       |       |                       |              |                  |                 |                         |                |                     |                 |                          |                |                               |   |               |
| HYD-1 | EXTERIOR WALL HYDRANT |              |       | 1   | STAINLESS STEEL      | STAINLESS STEEL | 4'-0" AFF       |       |     |              | ZURN  | Z1321 | MANUAL                | No           | 2.50 GPM         | 40 °F           |                         | 40 °F          |                     |                 |                          | 3/4"           |                               | NON-FREEZE TYPE WALL HYDRANT, WITH DOUBLE CHECK BACKFLOW PREVENTER, VALVE ON THE INSIDE OF THE WALL, SPOUT WITH BACKFLOW PREVENTER, AND LOOSE KEY SOCKET ON THE OUTSIDE OF THE WALL. MAKE ARRANGEMENTS WITH THE GENERAL CONTRACTOR TO PROVIDE THE NECESSARY RECESS IN THE WALL. WHERE A RISER TO AN OUTSIDE WALL HYDRANT OCCURS IN AN OUTSIDE WALL THE CONTRACTOR SHALL INSULATE THE CHASE WITH 2" STYROFOAM INSULATION ON ALL SIDES OF THE CHASE, EXCEPT THE INSIDE WALL OF THE CHASE. PROVIDE SHUTOFF VALVE IN ACCESSIBLE LOCATION. MATCH MOUNTING HEIGHT OF OTHER EXISTING EXTERIOR WALL HYDRANTS. |               |



**1** FIRST FLOOR PLUMBING DEMOLITION PLAN - UNIT A  
P2.1 1/8" = 1'-0"

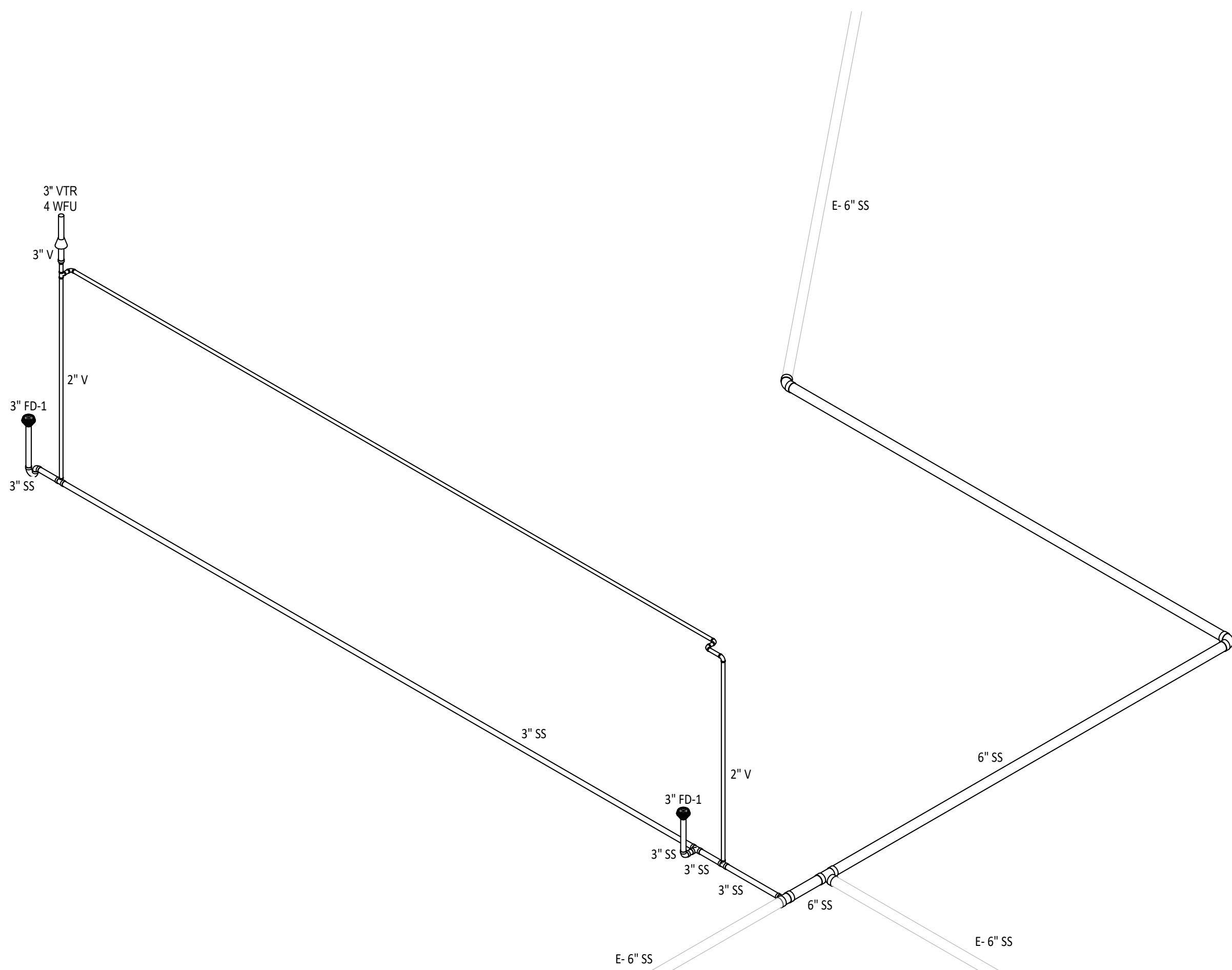


**2** FIRST FLOOR PLUMBING PLAN - UNIT A  
P2.1 1/8" = 1'-0"



**GAS PIPE SIZING**  
THE 24\"/>

**3** NATURAL GAS PIPING DETAIL  
P2.1 NTS



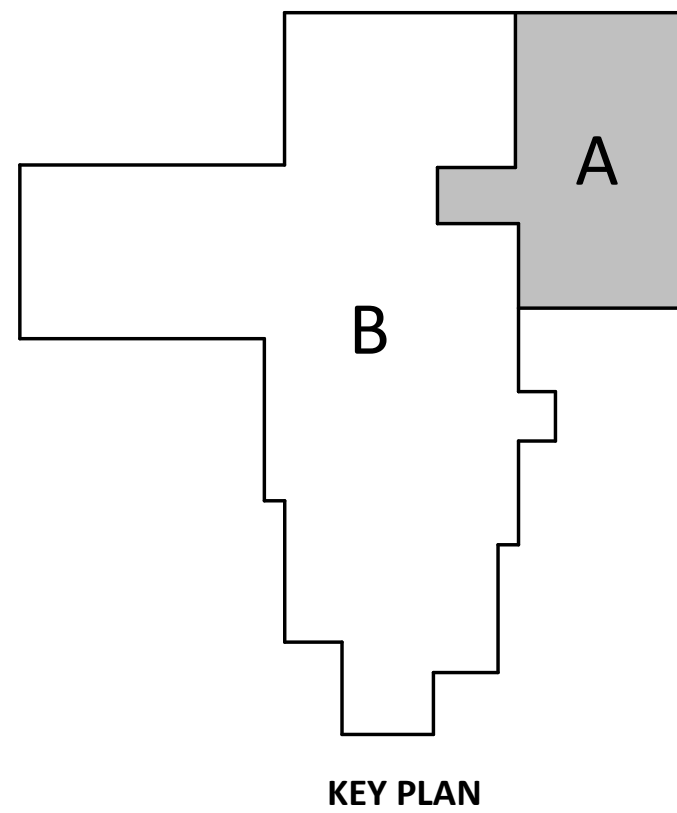
**4** WASTE AND VENT RISER DIAGRAM  
P2.1 NTS

| FIRST FLOOR PLAN ROOM INDEX - UNIT A |                       |        |
|--------------------------------------|-----------------------|--------|
| ROOM NUMBER                          | ROOM NAME             | AREA   |
| A101                                 | FLEX SPACE            | 680 SF |
| A102                                 | TOOL STORAGE          | 39 SF  |
| A103                                 | MECHANICAL            | 24 SF  |
| A104                                 | TABLE & CHAIR STORAGE | 116 SF |
| A106                                 | FLEX SPACE            | 750 SF |
| A107                                 | MECHANICAL            | 39 SF  |
| A108                                 | STORAGE               | 117 SF |

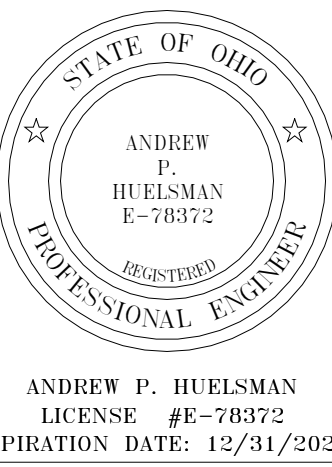
**PLUMBING GENERAL NOTES**

- A FIELD VERIFY INVERT ELEVATIONS ON UNDERGROUND SANITARY AND PIPING. COORDINATE DEPTHS WITH THE BUILDING CONSTRUCTION AND ALL OTHER UTILITIES.
- B ALL FINAL GAS CONNECTIONS SHALL BE MADE WITH FLEXIBLE STAINLESS STEEL PIPE OR RIDGED PIPE WITH UNION, SHUT-OFF VALVE, AND DIRT LEG. REFERENCE DETAIL FOR ADDITIONAL INFORMATION.
- C PITCH UNDERFLOOR SANITARY WASTE PIPING 3" AND GREATER AT 1/8" PER FOOT, UNLESS NOTED OTHERWISE. PITCH ALL OTHER WASTE PIPING AT 1/4" PER FOOT UNLESS OTHERWISE NOTED.
- D FIELD VERIFY LOCATION AND INVERTS OF SITE UTILITIES PRIOR TO INSTALLATION.
- E COORDINATE WITH G.C. ON THE CUTTING, EXCAVATION, BACKFILL AND PATCHING OF CONCRETE REQUIRED FOR THE DEMO OF OLD AND INSTALAIION OF NEW UNDERGROUND SANITARY.
- F ALL DOMESTIC WATER PIPING SHALL BE ROUTED ABOVE CEILING BELOW THE STAPLED INSUALTION UNLESS OTHERWISE INDICATED. FIX AND REPAIR ANY INSUALTION DAMAGED DURING CONSTRUCTION.
- G WHERE FLOOR DRAINS OCCUR WITHIN THE LIMITS OF CONSTRUCTION, PREVENT CONSTRUCTION DEBRIS FROM ENTERING DRAIN BODY BY SEALING DRAIN OPENING PRIOR TO START OF WORK.
- H PROVIDE SLEEVES AND/OR OPENINGS TO RUN PIPES THROUGH FOUNDATIONS, FLOORS, WALLS, AND ROOF.
- I FIELD VERIFY ALL NEW WATER, WASTE, AND VENT PIPING CONNECTIONS AND PROVIDE NEW CONNECTIONS AS REQUIRED FOR PROPERLY OPERATING SYSTEMS.
- J WASTE AND VENT PIPING BELOW FLOOR AND THROUGH FLOOR SHALL BE 2" MINIMUM.

| # | KEYNOTE DESCRIPTION  |
|---|--|
| 1 | REMOVE EXISTING WALL HYDRANT AND DISPOSE OF OFF SITE.  |
| 2 | DISCONNECT 3/4" WATER LINE ABOVE CEILING AND CAP FOR EXTENSION INTO THE ADDITION. REMOVE PIPE IN WALL.   |
| 3 | CUT AND CAP ONE 2" AND THREE 1" GAS PIPES BELOW GROUND 4' BEYOND THE EAST EDGE OF THE NEW ADDITION. REMOVE THE UNDERGROUND PIPES TO THE EXISTING BUILDING. FIELD VERIFY SIZE AND LOCATION OF THESE PIPES.  |
| 4 | REMOVE THREE 1" PIPES IN THE WALL FROM THE GROUND TO THE CEILING AS PRACTICAL.   |
| 5 | REMOVE 2" GAS PIPE IN THE WALL FROM THE GROUND TO THE CEILING. CAP THE PIPE ABOVE THE CEILING FOR EXTENSION THROUGH THE ADDITION.  |
| 6 | REMOVE 6" SANITARY TEE AND PIPE TO 5' BEYOND NEW ADDITION.   |
| 7 | EXTEND 3/4" WATER LINE ABOVE CEILING TO EAST WALL AND INSIDE WALL TO HYD-1 AS SHOWN.   |
| 8 | EXTEND 2" GAS PIPING ABOVE CEILING TO EAST WALL, INSIDE WALL TO 6" ABOVE FLOOR, OUT WALL, DROP BELOW GRADE, AND CONNECT TO EXISTING UNDERGROUND GAS PIPE AS SHOWN. COORDINATE UNDERGROUND PIPING WITH GENERAL CONTRACTOR TO AVOID THE SIDEWALK. FIELD VERIFY SIZE, DEPTH, AND LOCATION OF THIS PIPE. |



KEY PLAN



**TIPP SENIORS NEW ADDITION**

528 NORTH WRIGHT ST. TIPP CITY, OH 45371

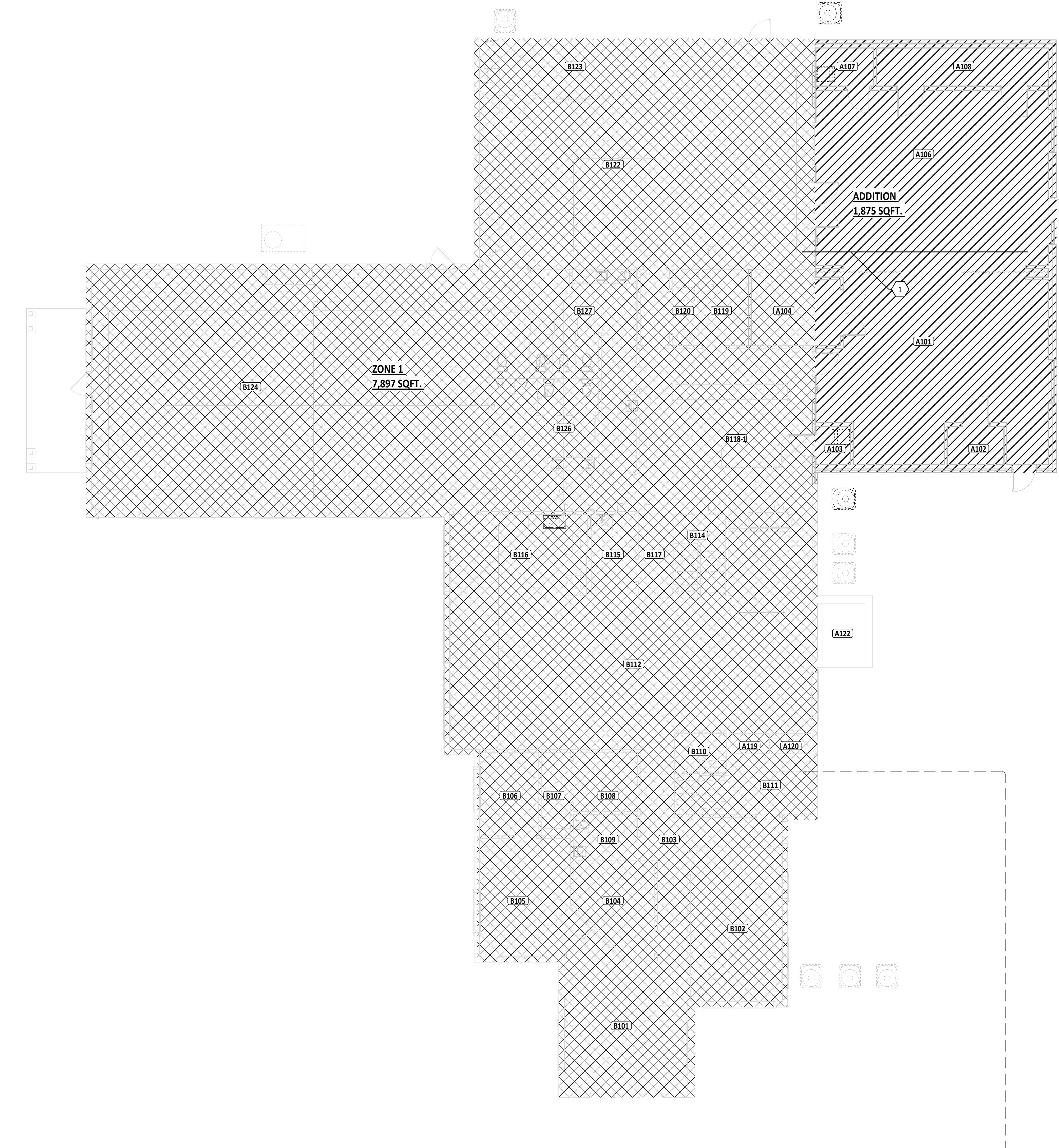
**ISSUANCES/REVISIONS**

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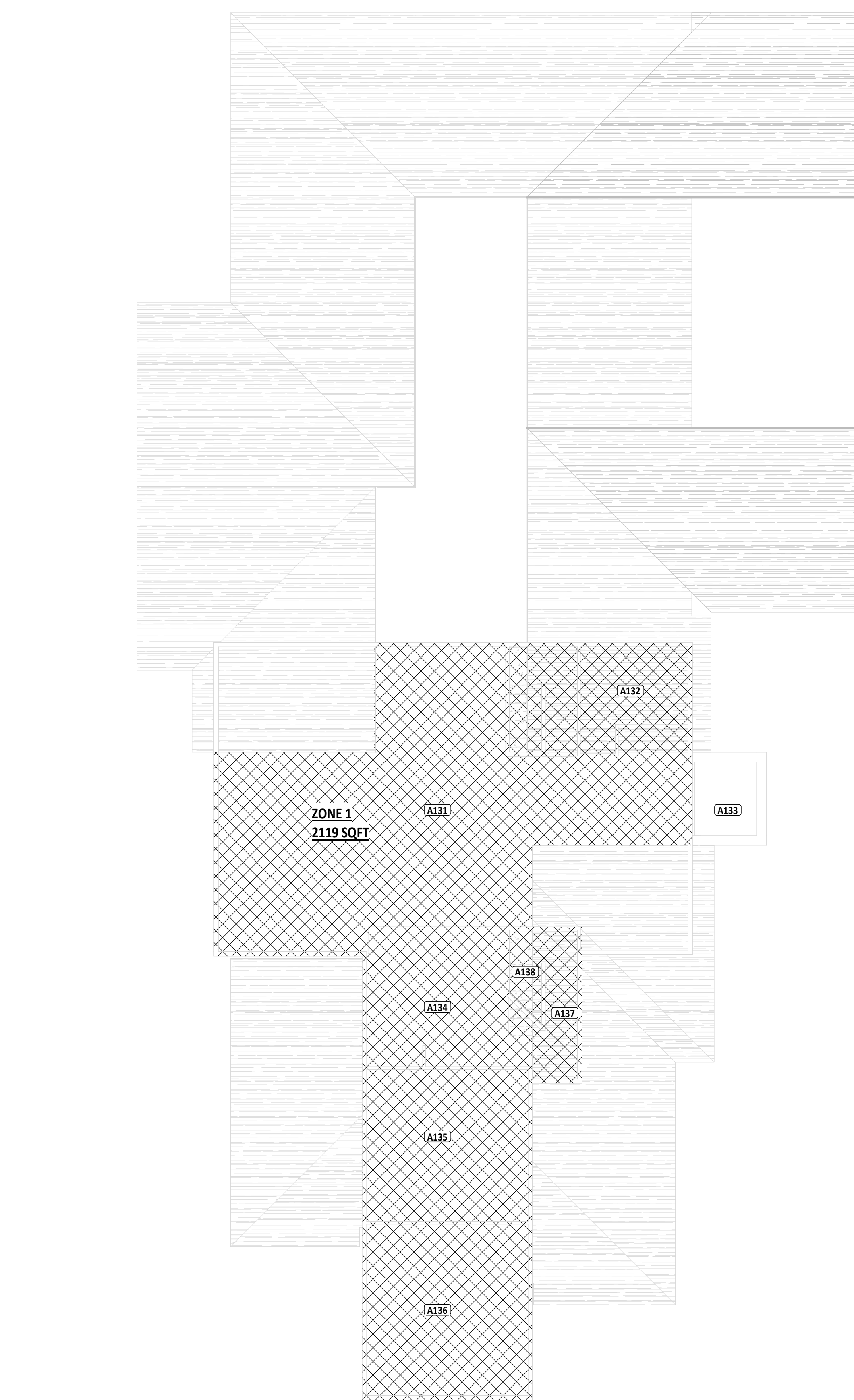
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SHEET TITLE:  
**FIRST FLOOR  
PLUMBING PLAN -  
UNIT A**

SHEET NUMBER:  
**P2.1**



1 FIRST FLOOR FIRE PROTECTION PLAN  
1/8" = 1'-0"



2 SECOND FLOOR FIRE PROTECTION PLAN  
1/8" = 1'-0"

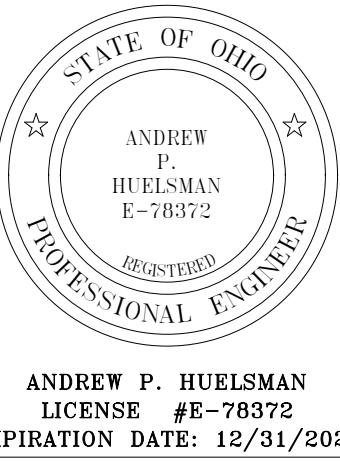


| AUTOMATIC SPRINKLER SYSTEM DESIGN CRITERIA |                                    |                         |             |
|--|------------------------------------|-------------------------|-------------|
| SYMBOL                                     | OCCUPANCY HAZARD CLASSIFICATION    | DESIGN DENSITY (GPM/SF) | DESIGN AREA |
| R  | RESIDENTIAL (DWELLING) OCCUPANCY   | 0.05                    | 400 SF      |
| LH   | LIGHT HAZARD OCCUPANCY             | 0.10                    | 1500 SF     |
| OH1  | ORDINARY HAZARD, GROUP 1 OCCUPANCY | 0.15                    | 1500 SF     |
| OH2  | ORDINARY HAZARD, GROUP 2 OCCUPANCY | 0.20                    | 1500 SF     |
| EH1  | EXTRA HAZARD, GROUP 1 OCCUPANCY    | 0.30                    | 2500 SF     |
| EH2  | EXTRA HAZARD, GROUP 2 OCCUPANCY    | 0.40                    | 2500 SF     |
| S  | SPECIAL HAZARD OCCUPANCY           |                         |             |

| FIRST FLOOR PLAN ROOM INDEX - UNIT A |                       |        |
|--------------------------------------|-----------------------|--------|
| ROOM NUMBER                          | ROOM NAME             | AREA   |
| A101                                 | FLEX SPACE            | 680 SF |
| A102                                 | TOOL STORAGE          | 39 SF  |
| A103                                 | MECHANICAL            | 24 SF  |
| A104                                 | TABLE & CHAIR STORAGE | 116 SF |
| A106                                 | FLEX SPACE            | 750 SF |
| A107                                 | MECHANICAL            | 39 SF  |
| A108                                 | STORAGE               | 117 SF |

| FIRST FLOOR PLAN ROOM INDEX - UNIT B |                  |          |
|--------------------------------------|------------------|----------|
| ROOM NUMBER                          | ROOM NAME        | AREA     |
| B101                                 | LOBBY            | 310 SF   |
| B102                                 | CONFERENCE ROOM  | 250 SF   |
| B103                                 | CORRIDOR         | 180 SF   |
| B104                                 | COAT ROOM        | 113 SF   |
| B105                                 | OFFICE           | 204 SF   |
| B106                                 | FILE STORAGE     | 89 SF    |
| B107                                 | MECHANICAL       | 34 SF    |
| B108                                 | OFFICE           | 68 SF    |
| B109                                 | RESTROOM         | 53 SF    |
| B110                                 | STAIR            | 55 SF    |
| B111                                 | STORAGE          | 107 SF   |
| B112                                 | SOCIAL AREA      | 934 SF   |
| B113                                 | KITCHEN STORAGE  | 98 SF    |
| B114                                 | STAIR            | 75 SF    |
| B115                                 | CUSTODIAL        | 65 SF    |
| B116                                 | CATERING KITCHEN | 204 SF   |
| B117                                 | CORRIDOR         | 49 SF    |
| B118                                 | KITCHEN          | 563 SF   |
| B119                                 | KITCHEN STORAGE  | 64 SF    |
| B120                                 | MECHANICAL       | 35 SF    |
| B121                                 | CORRIDOR         | 41 SF    |
| B122                                 | RECREATION ROOM  | 1,156 SF |
| B123                                 | STORAGE          | 157 SF   |
| B124                                 | EVENT SPACE      | 1,739 SF |
| B125                                 | CORRIDOR         | 68 SF    |
| B126                                 | MEN'S RESTROOM   | 218 SF   |
| B127                                 | WOMEN'S RESTROOM | 252 SF   |

| FIRE PROTECTION GENERAL NOTES |  |
|-------------------------------|--|
| A                             | EXTEND THE EXISTING DRY TYPE FIRE PROTECTION SYSTEM AS REQUIRED TO ACCOMMODATE THE FLOOR PLAN AND CEILING TYPES INCLUDING MAINS, BRANCHES, HEADS, VALVES, AND ACCESSORIES AS REQUIRED. THE SYSTEM SHALL BE INSTALLED ACCORDING TO RECOMMENDATIONS OF THE STATE BUILDING CODE, LOCAL FIRE DEPARTMENT, AND ALL FEDERAL, STATE, AND LOCAL AUTHORITIES, NFPA, AND FACTORY MUTUAL.  |
| B                             | PROVIDE SEMI-RECESSED HEADS IN ALL AREAS TO MATCH THE EXISTING BUILDING.   |
| C                             | COORDINATE THE LOCATION OF SPRINKLER HEADS AND PIPING WITH BUILDING CONSTRUCTION, DUCTWORK, AND MECHANICAL PIPING. ROUTE SPRINKLER PIPING CONCEALED. DO NOT SUPPORT SPRINKLER PIPING FROM DUCTWORK OR EQUIPMENT.   |
| D                             | THE SPRINKLER SYSTEM SHALL BE DESIGNED BASED UPON ACTUAL WATER FLOW TEST DATA OBTAINED AT OR NEAR THE JOB SITE.  |
| E                             | DIVISION 21 CONTRACTOR SHALL COORDINATE WITH THE ELECTRICAL CONTRACTOR FOR PROPER INSTALLATION OF THE FIRE PROTECTION SYSTEMS ALARM DEVICES INVOLVED WITH FIRE SPRINKLER SYSTEM.   |
| F                             | ALL SPRINKLER SYSTEM PIPING SHALL BE CONCEALED ABOVE THE SUSPENDED/DRYWALL CEILING SYSTEMS, UNLESS NOTED OTHERWISE. WRITTEN AUTHORIZATION SHALL BE OBTAINED FROM THE ARCHITECT PRIOR TO EXPOSING ANY PIPING IN ANY ROOM.   |
| G                             | SHOW ALL ROOM NUMBERS ON SHOP DRAWING PLANS.   |
| H                             | PROVIDE ALTERATIONS TO THE EXISTING FIRE PROTECTION SYSTEM AS REQUIRED TO ACCOMMODATE THE NEW FLOOR PLAN AND NEW CEILING TYPES. PROVIDE A COMPLETE DRY TYPE SYSTEM INCLUDING NEW MAINS, BRANCHES, HEADS, VALVES, AND ACCESSORIES AS REQUIRED. REUSE EXISTING SYSTEM EQUIPMENT WHERE APPLICABLE. THE SYSTEM SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS AND AS PER REQUIREMENTS OF THE STATE BUILDING CODE, LOCAL FIRE DEPARTMENT, AND ALL FEDERAL, STATE, AND LOCAL AUTHORITIES, NFPA, AND FACTORY MUTUAL. THE EXISTING DRY SYSTEM PIPING MAINS ARE SHOWN ON THE PLAN FOR REFERENCE, BASED ON EXISTING AS-BUILT DRAWINGS. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING PIPE SIZES AND LOCATIONS. |
| I                             | THE BUILDINGS COMPLETE OPERATIONAL FIRE PROTECTION SYSTEMS SHALL REMAIN IN PLACE. THIS CONTRACTOR SHALL REPAIR ANY DAMAGE TO THIS SYSTEM CREATED BY THE REMOVAL OF ANY OTHER MECHANICAL SYSTEMS OR COMPONENTS.   |
| J                             | THIS CONTRACTOR SHALL COORDINATE PHASING OF SPRINKLER WORK WITH ALL OTHER CONTRACTORS PRIOR TO STARTING WORK.  |
| K                             | THIS CONTRACTOR SHALL PREPARE HYDRAULIC CALCULATIONS BASED UPON THE CONFIGURATION OF THE ACTUAL SYSTEM DESIGN AS SHOWN ON THIS CONTRACTOR'S SHOP DRAWINGS.   |
| #                             | KEYNOTE DESCRIPTION  |
| 1                             | FIRE PROTECTION CONTRACTOR SHALL EXTEND WET AND DRY SYSTEM PIPING INTO THE ADDITION AND PROVIDE NEW SPRINKLER HEADS WITHIN NEW ATTIC AND CEILING AS REQUIRED FOR THE NEW SPACES. MODIFY EXISTING SPRINKLER SYSTEM PIPING AS REQUIRED. COORDINATE PIPE ROUTING AND SPRINKLER HEAD LOCATIONS WITH THE MECHANICAL AND ELECTRICAL CONTRACTORS. VERIFY ALL WORK IS PER NFPA 13 REQUIREMENTS.  |



TIPP SENIORS NEW ADDITION

SUN NORTH/INVEST ST. DIRE. CITY, OH 43021

| ISSUANCES/REVISIONS    |            |
|------------------------|------------|
| CONSTRUCTION DOCUMENTS | 01/13/2006 |

|                 |           |             |
|-----------------|-----------|-------------|
| PROJECT NUMBER: | DRAWN BY: | CHECKED BY: |
| 25059.00        | RAG       | APH         |

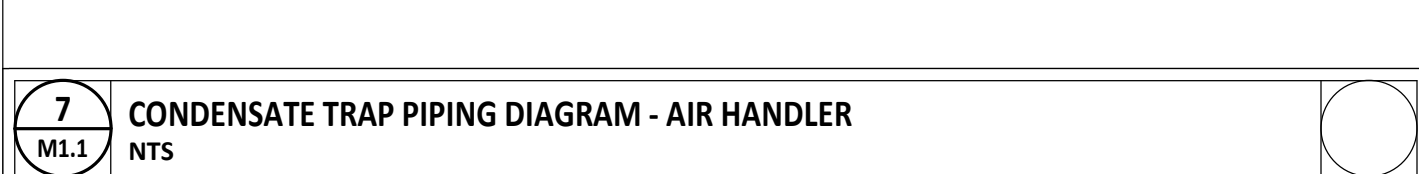
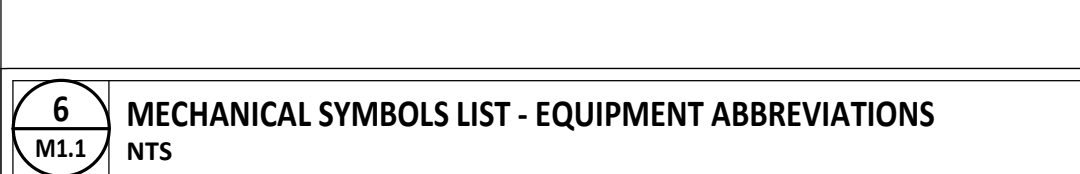
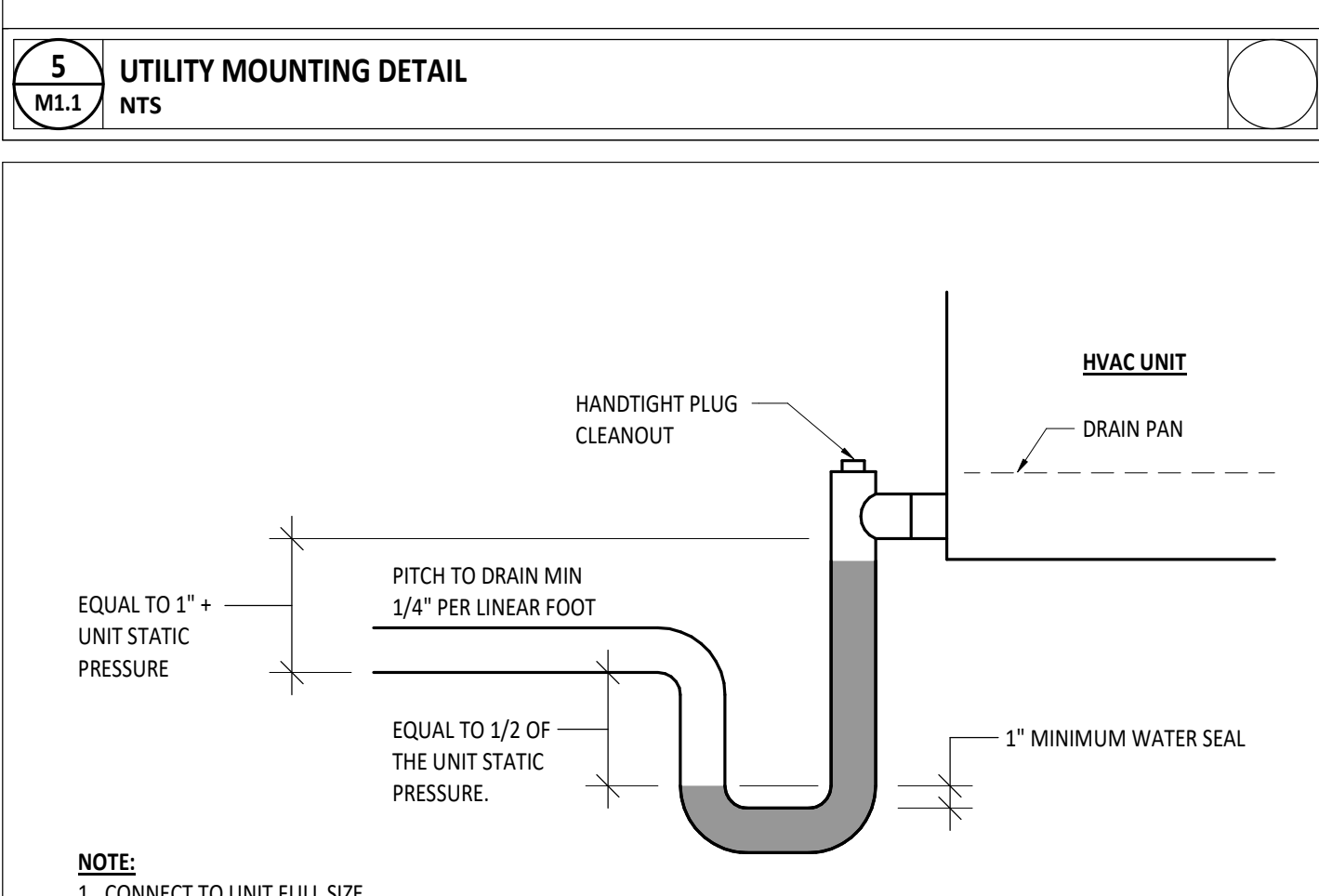
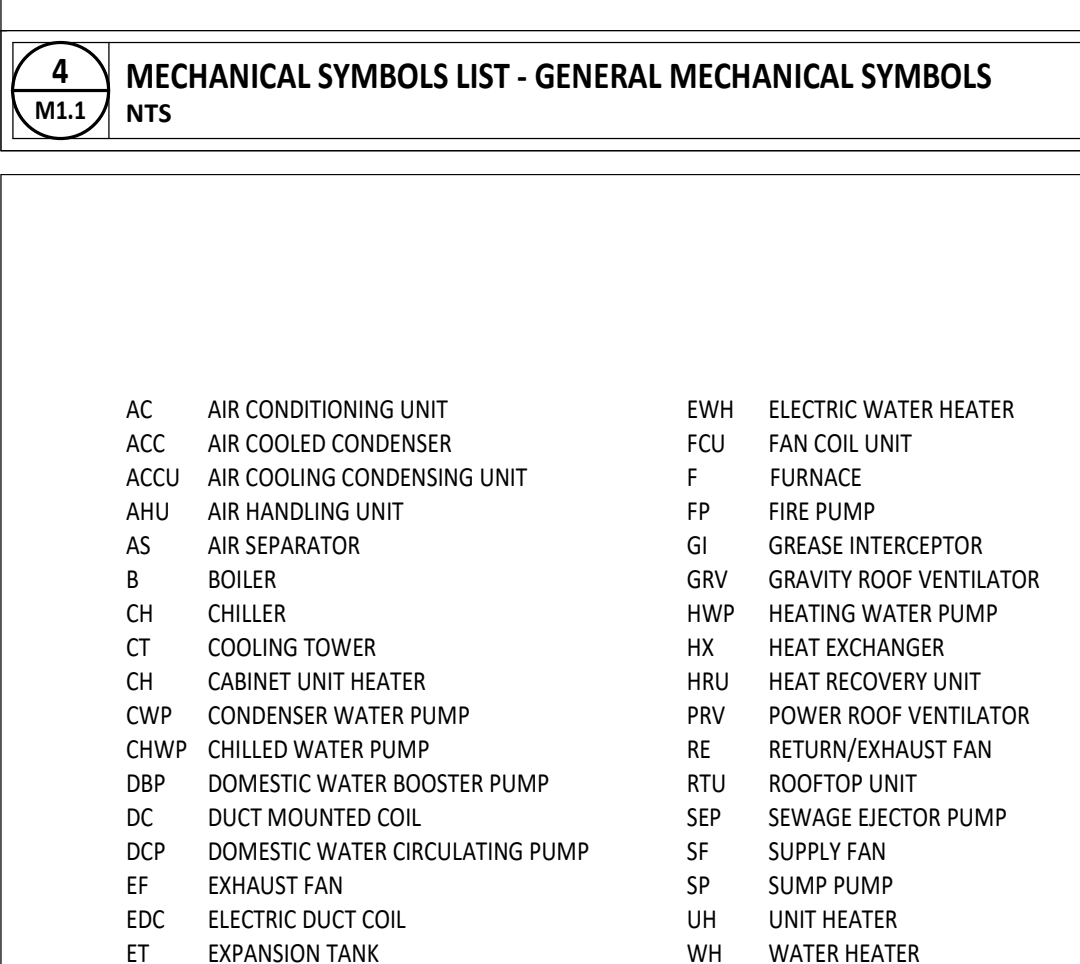
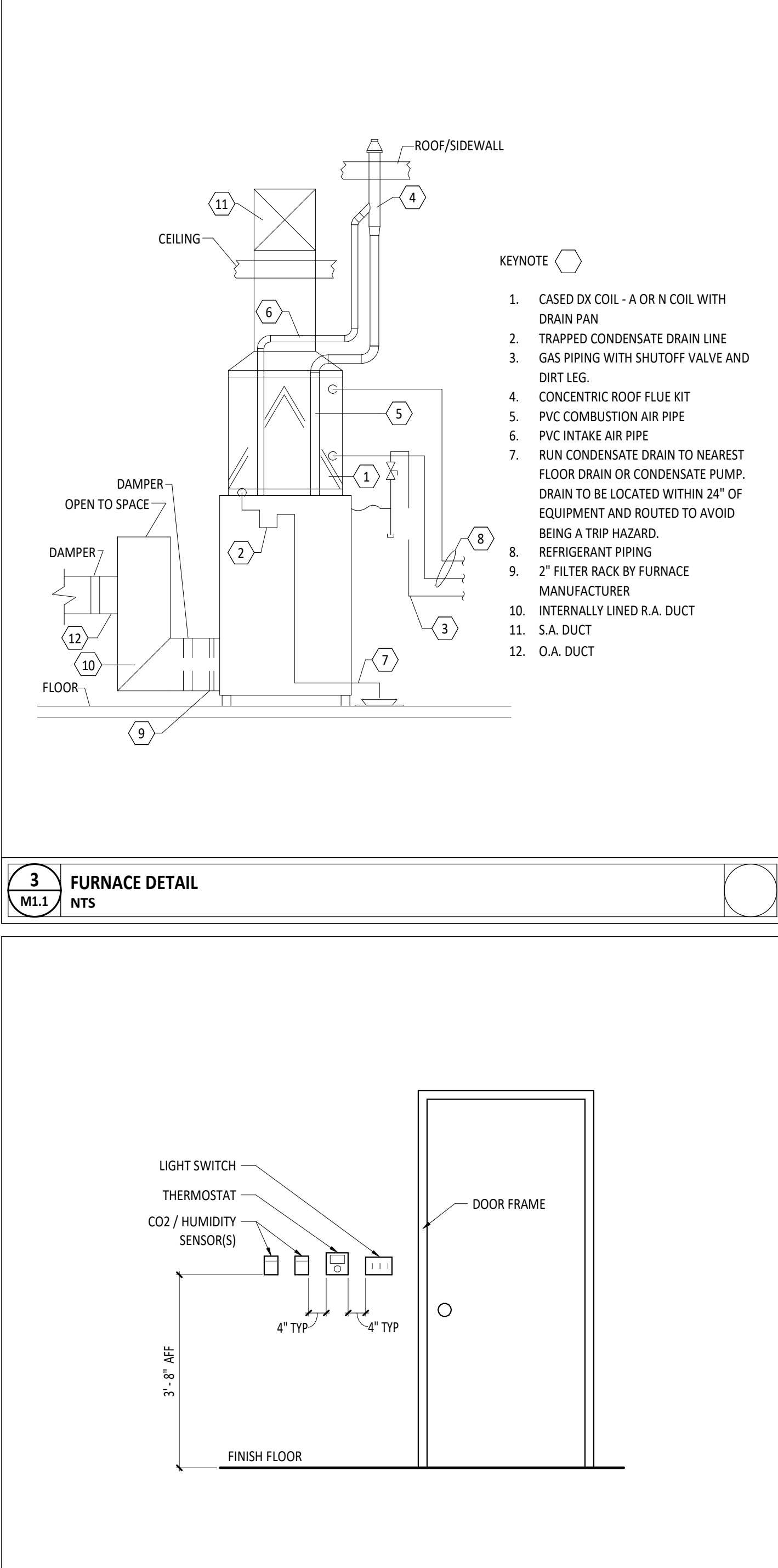
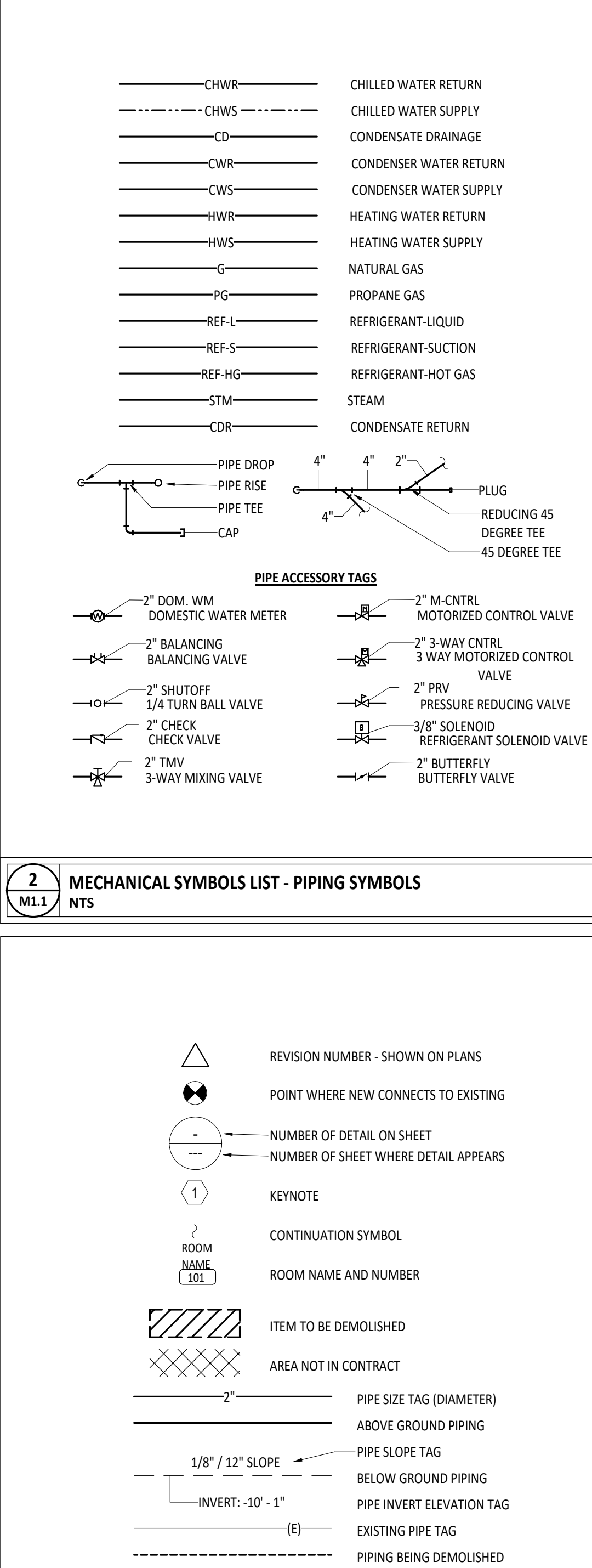
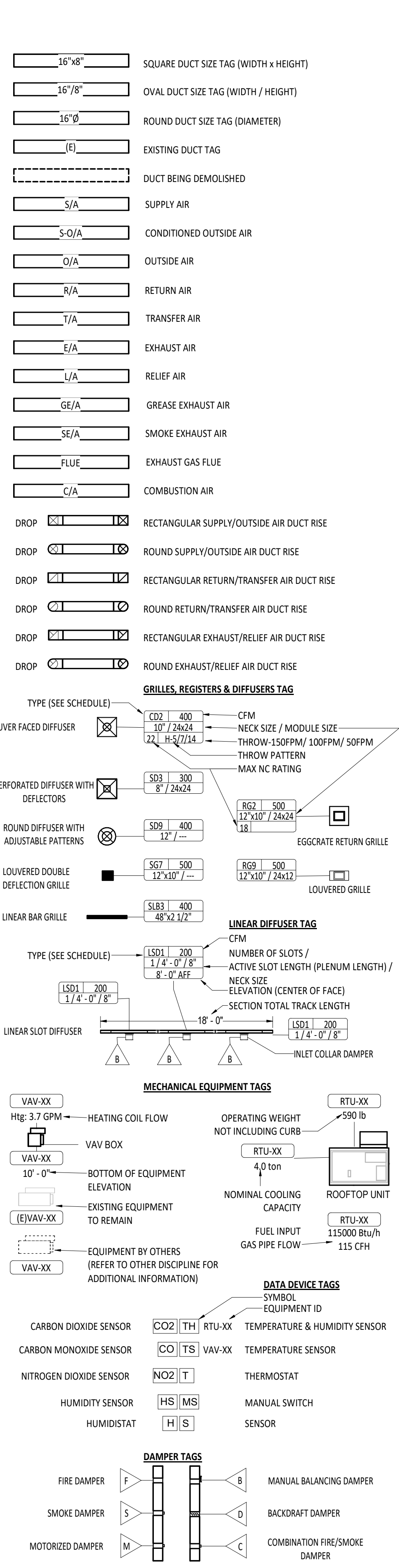
SHEET TITLE:  
**FIRE PROTECTION PLAN**

SHEET NUMBER:  
**FP1.1**

|              |  |
|--------------|--|
| - NOTE:      |  |
|              | ABBREVIATIONS USED ON THE CONTRACT DOCUMENTS, INCLUDE BUT ARE NOT LIMITED TO THOSE LISTED BELOW. |
| - CHARACTERS |  |
| Ø            | AND  |
| Ø            | DIAMETER/ROUND   |
| A            |  |
| A            | AIR  |
| AB           | ABOVE BASE   |
| ABV          | ABOVE  |
| AC           | AIR CONDITIONING   |
| ACOUS        | ACOUSTICAL   |
| AD           | AREA DRAIN   |
| ADD          | ADDENDUM   |
| ADDL         | ADDITIONAL   |
| AF           | ABOVE FINISHED FLOOR   |
| AFUE         | ANNUAL FUEL UTILIZATION EFFICIENCY   |
| AG           | ABOVE GROUND   |
| ALT          | ALTERNATE  |
| AP           | ACCESS PANEL   |
| APPROX       | APPROXIMATE  |
| ARCH         | ARCHITECT/ARCHITECTURAL  |
| AUTO         | AUTOMATIC  |
| AW           | ACID RESISTANT VENT  |
| AW           | ACID RESISTANT WASTE   |
| B            |  |
| BFF          | BELOW FINISHED FLOOR   |
| BLDG         | BUILDING   |
| BLW          | BELOW  |
| BO           | BY OTHER   |
| BOT          | BOTTOM   |
| BSMT         | BASEMENT   |
| BTU          | BRITISH THERMAL UNITS  |
| BTUH         | BRITISH THERMAL UNITS PER HOUR   |
| BTWN         | BETWEEN  |
| C            |  |
| CAP          | CAPACITY   |
| CB           | CATCH BASIN  |
| CCW          | COUNTER CLOCKWISE  |
| CFV          | CONSTANT FLOW CONTROL VALVE  |
| CFM          | CUBIC FEET PER MINUTE  |
| CHW          | CIRCULATING HOT WATER  |
| CI           | CAST IRON  |
| CLG          | CEILING/COOLING  |
| CO           | CLEAN OUT  |
| COL          | COLUMN   |
| COMB         | COMBINATION  |
| CONC         | CONCRETE   |
| COND         | CONDENSATE   |
| CONF         | CONFERENCE   |
| CONN         | CONNECT  |
| CONST        | CONSTRUCTION   |
| CONT         | CONTINUE/CONTINUATION  |
| CONTR        | CONTRACT/CONTRACTOR  |
| COORD        | COORDINATE   |
| CTR          | CENTER   |
| CUFT         | CUBIC FEET   |
| CV           | CHECK VALVE  |
| CW           | COLD WATER   |
| CLW          | CLOCKWISE  |
| D            |  |
| D            | DEGREE   |
| DB           | DRY BULB   |
| DET          | DETAIL   |
| DI           | DEIONIZED WATER  |
| DIA          | DIAMETER   |
| DISCH        | DISCHARGE  |
| DIV          | DIVISION   |
| DMPR         | DAMPER   |
| DN           | DOWN   |
| DW           | DISTILLED WATER  |
| DWS          | DRAWING  |
| E            |  |
| E/A          | EXHAUST AIR  |
| EA           | EACH   |
| EAT          | ENTERING AIR TEMPERATURE   |
| EL           | ELBOW  |
| ELEC         | ELECTRICAL   |
| ELEV         | ELEVATION  |
| EP           | EXPLOSION PROOF  |
| EQ           | EQUAL  |
| EQUIP        | EQUIPMENT  |
| EW           | ELECTRIC WATER COOLER  |
| EWT          | ENTERING WATER TEMPERATURE   |
| EXST         | EXISTING   |
| EXP          | EXPANSION JOINT  |
| EXT          | EXTERIOR   |

|         |                                |
|---------|--------------------------------|
| F       |                                |
| FCO     | FLOOR CLEAN OUT                |
| FD      | FLOOR DRAIN/FIRE DAMPER        |
| FDV     | FIRE DEPARTMENT VALVE          |
| FHC     | FIRE HOSE CABINET              |
| FL      | FLOOR                          |
| FLEX    | FLEXIBLE                       |
| FLG     | FLANGE                         |
| FO      | FUEL OIL                       |
| FOR     | FUEL OIL RETURN                |
| FOS     | FUEL OIL SUPPLY                |
| FOV     | FUEL OIL VALVE                 |
| PPM     | FEET PER MINUTE                |
| FRP     | FIBERGLASS REINFORCED PIPE     |
| FS      | FULL SIZE/FLOOR SINK           |
| FT      | FOOT/FEET                      |
| FTG     | FOOTING                        |
| FTR     | FIN TUBE RADIATION             |
| FLT     | FUTURE                         |
| G       |                                |
| GA      | GAGE/GAUGE                     |
| GAL     | GALLON                         |
| GALV    | GALVANIZED                     |
| GC      | GENERAL CONTRACTOR             |
| GEN     | GENERATOR                      |
| GENL    | GENERAL                        |
| GPM     | GALLONS PER MINUTE             |
| GR      | GRADE                          |
| GW      | GREASE WASTE                   |
| H       |                                |
| HB      | HOSE BIB                       |
| HD      | HEAD                           |
| HORZ    | HORIZONTAL                     |
| HP      | HORSE POWER/HIGH PRESSURE      |
| HTG     | HEATING                        |
| HTR     | HEATER                         |
| HW      | HOT WATER                      |
| HYD     | HYDRANT                        |
| I       |                                |
| ID      | INDIRECT                       |
| IN      | INCH                           |
| INL     | INLET                          |
| INSUL   | INSULATION                     |
| INT     | INTERIOR                       |
| INV     | INVERT                         |
| INWG    | INCHES WATER GAUGE             |
| J       |                                |
| JST SPC | JOIST SPACE                    |
| JT      | JOINT                          |
| L       |                                |
| LAB     | LABORATORY                     |
| LAT     | LEAVING AIR TEMPERATURE        |
| LB      | POUND                          |
| LB/HR   | POUNDS PER HOUR                |
| LF      | LINEAL FOOT                    |
| LP      | LOW PRESSURE                   |
| LPG     | LIQUEFIED PETROLEUM GAS        |
| LR      | LIQUID REFRIGERANT             |
| LVR     | LOUVER                         |
| LWT     | LEAVING WATER TEMPERATURE      |
| M       |                                |
| M/A     | MIXED AIR                      |
| MAN     | MANUAL                         |
| MATL    | MATERIAL                       |
| MAV     | MANUAL AIR VENT                |
| MAX     | MAXIMUM                        |
| MBD     | MOTORIZED BYPASS DAMPER        |
| MBH     | ONE THOUSAND BTU PER HOUR      |
| MCF     | ONE THOUSAND CUBIC FEET        |
| MCW     | MAKE-UP COLD WATER             |
| MD      | MOTORIZED DAMPER               |
| MECH    | MECHANICAL                     |
| MFR     | MANUFACTURER                   |
| MH      | MANHOLE                        |
| MIN     | MOTORIZED BYPASS DAMPER        |
| MISC    | MISCELLANEOUS                  |
| MTR     | MOTOR                          |
| MUA     | MAKE-UP/AIR                    |
| N       |                                |
| N       | NECK                           |
| NC      | NOISE CRITERIA/NORMALLY CLOSED |
| NIC     | NOT IN CONTRACT                |
| NO      | NUMBER/NORMALLY OPEN           |
| NOM     | NOMINAL                        |
| NTS     | NOT TO SCALE                   |

|        |                              |
|--------|------------------------------|
| O      |                              |
| O      | OXYGEN                       |
| O/A    | OUTSIDE AIR                  |
| OC     | ON CENTER                    |
| OF     | OVERFLOW                     |
| OPNG   | OPENING                      |
| ORD    | OVERFLOW ROOF DRAIN          |
| P      |                              |
| PD     | PRESSURE DROP                |
| PIV    | POST INDICATOR VALVE         |
| PLBG   | PLUMBING                     |
| PR     | PAIR                         |
| PREL   | PRELIMINARY                  |
| PRESS  | PRESSURE                     |
| PRIM   | PRIMARY                      |
| PRV    | PRESSURE REDUCING VALVE      |
| PSI    | POUNDS PER SQUARE INCH       |
| PSIG   | POUNDS PER SQUARE INCH GAUGE |
| PW     | POTABLE WATER                |
| PWR    | POWER                        |
| R      |                              |
| R      | DUCT RISER                   |
| R/A    | RETURN AIR                   |
| RCP    | RADIANT CEILING PANEL        |
| RD     | ROOF DRAIN                   |
| REC    | RECESSED                     |
| RED    | REDUCER                      |
| REFR   | REFRIGERATION                |
| REQD   | REQUIRED                     |
| REV    | REVERSE                      |
| RH     | RELATIVE HUMIDITY            |
| RL/A   | RELIEF AIR                   |
| RM     | ROOM                         |
| RPM    | REVOLUTIONS PER MINUTE       |
| RW     | RAIN WATER                   |
| S      |                              |
| S/A    | SUPPLY AIR                   |
| SAN    | SANITARY                     |
| SCHED  | SCHEDULE                     |
| SD     | SMOKE DAMPER                 |
| SECT   | SECTION                      |
| SF     | SQUARE FOOT                  |
| SHT    | SHEET                        |
| SIM    | SIMILAR                      |
| SLV    | SLEEVE                       |
| SM     | SURFACE MOUNT                |
| SP     | STANDPIPE/STATIC PRESSURE    |
| SPEC   | SPECIFICATION                |
| SPS    | STATIC PRESSURE STATION      |
| SQ     | SQUARE                       |
| SR     | SUCTION REFRIGERANT          |
| SS     | STAINLESS STEEL              |
| SSD    | SOIL SUBDRAIN                |
| STD    | STANDARD                     |
| STM    | STEAM                        |
| STRUCT | STRUCTURAL                   |
| SUCT   | SUCTION                      |
| SUSP   | SUSPENDED                    |
| T      |                              |
| T      | THERMOSTAT                   |
| TCP    | TEMPERATURE CONTROL PANEL    |
| TD     | TEMPERATURE DROP             |
| TDR    | TRENCH DRAIN                 |
| TEFC   | TOTALLY ENCLOSED FAN COOLED  |
| TEMP   | TEMPERATURE                  |
| TYP    | TYPICAL                      |
| U      |                              |
| UFD    | UNDER FLOOR DUCT             |
| UG     | UNDERGROUND                  |
| V      |                              |
| V      | VENT                         |
| VAV    | VARIABLE AIR VOLUME          |
| VEL    | VELOCITY                     |
| VENT   | VENTILATION                  |
| VERT   | VERTICAL                     |
| VOL    | VOLUME                       |
| VTR    | VENT THROUGH ROOF            |
| W      |                              |
| W      | WASTE                        |
| WB     | WET BULB                     |
| WCO    | WALL CLEAN OUT               |
| WH     | WALL HYDRANT                 |
| X      |                              |
| X      | WATER                        |



|               |
|---------------|
| ABBREVIATIONS |
|---------------|

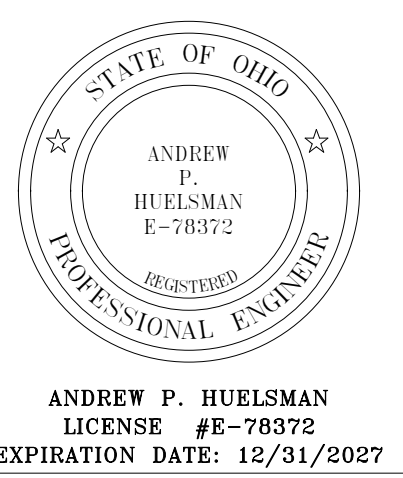
|  |
|--|
| 1 MECHANICAL SYMBOLS LIST - HVAC SYMBOLS |
|--|

|   |
|---|
| 6 MECHANICAL SYMBOLS LIST - EQUIPMENT ABBREVIATIONS |
|---|

|  |
|--|
| 7 CONDENSATE TRAP PIPING DIAGRAM - AIR HANDLER |
|--|

| MECHANICAL SHEET INDEX |   |
|------------------------|---|
| SHEET NUMBER           | SHEET NAME  |
| M1.1                   | GENERAL NOTES, ABBREVIATIONS, LEGENDS, AND SHEET INDEX  |
| M2.1                   | FIRST FLOOR MECHANICAL PLAN   |
| <b>GENERAL NOTES</b>   |   |
| A                      | REMOVE ALL UNUSED PIPING, DUCTWORK, AND ACCESSORIES. DISPOSE OF THESE ITEMS OFF SITE.   |
| B                      | THE MECHANICAL CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING, PRIOR TO FINAL BID, ALL EXISTING CONDITIONS FOR PLUMBING AND MECHANICAL SYSTEMS WITHIN SCOPE AREA AND WITHIN CLOSE PROXIMITY OF THE SCOPE AREA.   |
| C                      | WHERE FLOOR DRAINS OCCUR WITHIN THE LIMITS OF CONSTRUCTION, PREVENT CONSTRUCTION DEBRIS FROM ENTERING DRAIN BODY BY SEALING DRAIN OPENING PRIOR TO START OF WORK. UNSAID DRAINS AT COMPLETION OF CONSTRUCTION.  |
| D                      | COORDINATE INSTALLATION OF PIPING, DUCTWORK, CONDUIT, LIGHTS, CABLE TRAY, STRUCTURE, AND EQUIPMENT TO PREVENT CONFLICTS.  |
| E                      | FINAL PRODUCT SHALL BE A COMPLETE AND FUNCTIONING SYSTEM, AND SHALL CONFORM TO ALL REQUIREMENTS OF APPLICABLE FEDERAL, STATE, AND LOCAL CODES, INCLUDING BUT NOT LIMITED TO THE INTERNATIONAL BUILDING CODE AND INTERNATIONAL MECHANICAL CODE.  |
| F                      | LOCATE DUCTWORK, PIPING, AND MECHANICAL EQUIPMENT AWAY FROM THE SPACE ABOVE ELECTRICAL PANELS, TRANSFORMERS, AND OTHER ELECTRICAL EQUIPMENT.  |
| G                      | PROVIDE SLEEVES AND/OR OPENINGS TO RUN PIPES AND DUCTS THROUGH FOUNDATIONS, FLOORS, WALLS, AND ROOF.  |
| H                      | ADJUST PIPING AND DUCTWORK SIZES TO PROPERLY CONNECT TO MECHANICAL EQUIPMENT.   |
| I                      | DUCT AND PIPE SIZES SHOWN SHALL BE CONTINUED IN THE DIRECTION OF FLOW UNTIL ANOTHER SIZE IS SHOWN.  |
| J                      | INSTALL ALL EQUIPMENT IN ACCORDANCE WITH THE RESPECTIVE MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS, AT A LEVEL OF QUALITY AND WORKMANSHIP CONSISTENT WITH THE SPECIFICATIONS.   |
| K                      | LOCATIONS OF PIPING, DUCTWORK, AND EQUIPMENT AS INDICATED ON THE DRAWING, ARE APPROXIMATE AND SUBJECT TO MINOR ADJUSTMENTS IN THE FIELD. WORK SHALL BE COORDINATED WITH ALL OTHER TRADES TO AVOID INTERFERENCE IN THE FIELD. CONSULT ENGINEER IF MANUFACTURER'S MINIMUM CLEARANCE REQUIRED CAN'T BE MAINTAINED. |

|                             |   |
|-----------------------------|---|
| <b>HVAC GENERAL NOTES</b>   |   |
| A                           | DIVISION 23 MECHANICAL CONTRACTOR IS REQUIRED TO COORDINATE DIFFUSER AND GRILLE LOCATIONS WITH ARCHITECTURAL REFLECTED CEILING PLANS.   |
| B                           | ALL EQUIPMENT LOCATED ABOVE CEILING REQUIRING MAINTENANCE SHALL BE INSTALLED WITHIN (2) FEET OF THE CEILING FOR MAINTENANCE PURPOSES. DO NOT INSTALL UNITS ABOVE LIGHTS AND CEILING SPEAKERS. COORDINATE LOCATION WITH ARCHITECTURAL REFLECTED CEILING PLAN AND GENERAL CONTRACTOR. |
| C                           | ANY BALANCING DAMPERS OR OTHER DEVICES IN DUCTS ABOVE HARD CEILINGS SHALL BE LOCATED ABOVE NEAREST ACCESSIBLE CEILING.  |
| D                           | LOCATE DUCTWORK AND MECHANICAL EQUIPMENT AWAY FROM THE SPACE ABOVE ELECTRICAL PANELS, TRANSFORMERS, AND OTHER ELECTRICAL EQUIPMENT.   |
| E                           | PROVIDE SLEEVES AND/OR OPENINGS TO RUN DUCTS THROUGH FOUNDATIONS, FLOORS, WALLS, AND ROOF.  |
| F                           | CONTRACTOR SHALL LOCATE THERMOSTATS AND TEMPERATURE SENSORS AT 3'-8" AFF, A MINIMUM OF 4" FROM LIGHT SWITCH.  |
| G                           | CONDENSATE DRAINS SHALL BE SUPPLIED FOR ALL COOLING EQUIPMENT. CONTRACTOR SHALL ENSURE PROPER INSTALLATION AND DRAINAGE AS REQUIRED BY FEDERAL, STATE, AND LOCAL CODES. CONDENSATE PIPING SHALL BE TYPE "L" COPPER.   |
| H                           | ALL SUPPLY, RETURN, AND EXHAUST DUCTWORK SHALL BE RATED FOR PRESSURE CLASS OF 2" W.G. UNLESS NOTED OTHERWISE.   |
| I                           | THIS CONTRACTOR SHALL BE REQUIRED TO REPLACE FILTERS ON HVAC EQUIPMENT AFTER ALL DUST PRODUCING CONSTRUCTION HAS BEEN COMPLETED AND PRIOR TO THE SUBSTANTIAL COMPLETION.  |
| <b>PIPING GENERAL NOTES</b> |   |
| A                           | CONDENSATE DRAINS SHALL BE SUPPLIED FOR ALL COOLING EQUIPMENT. CONTRACTOR SHALL ENSURE PROPER INSTALLATION AND DRAINAGE AS REQUIRED BY FEDERAL, STATE, AND LOCAL CODES. CONDENSATE PIPING SHALL BE TYPE "L" COPPER.   |
| B                           | LOCATE PIPING AND MECHANICAL EQUIPMENT AWAY FROM THE SPACE ABOVE ELECTRICAL PANELS, TRANSFORMERS, AND OTHER ELECTRICAL EQUIPMENT.   |
| C                           | PROVIDE SLEEVES AND/OR OPENINGS TO RUN PIPES THROUGH FOUNDATIONS, FLOORS, WALLS, AND ROOF.  |

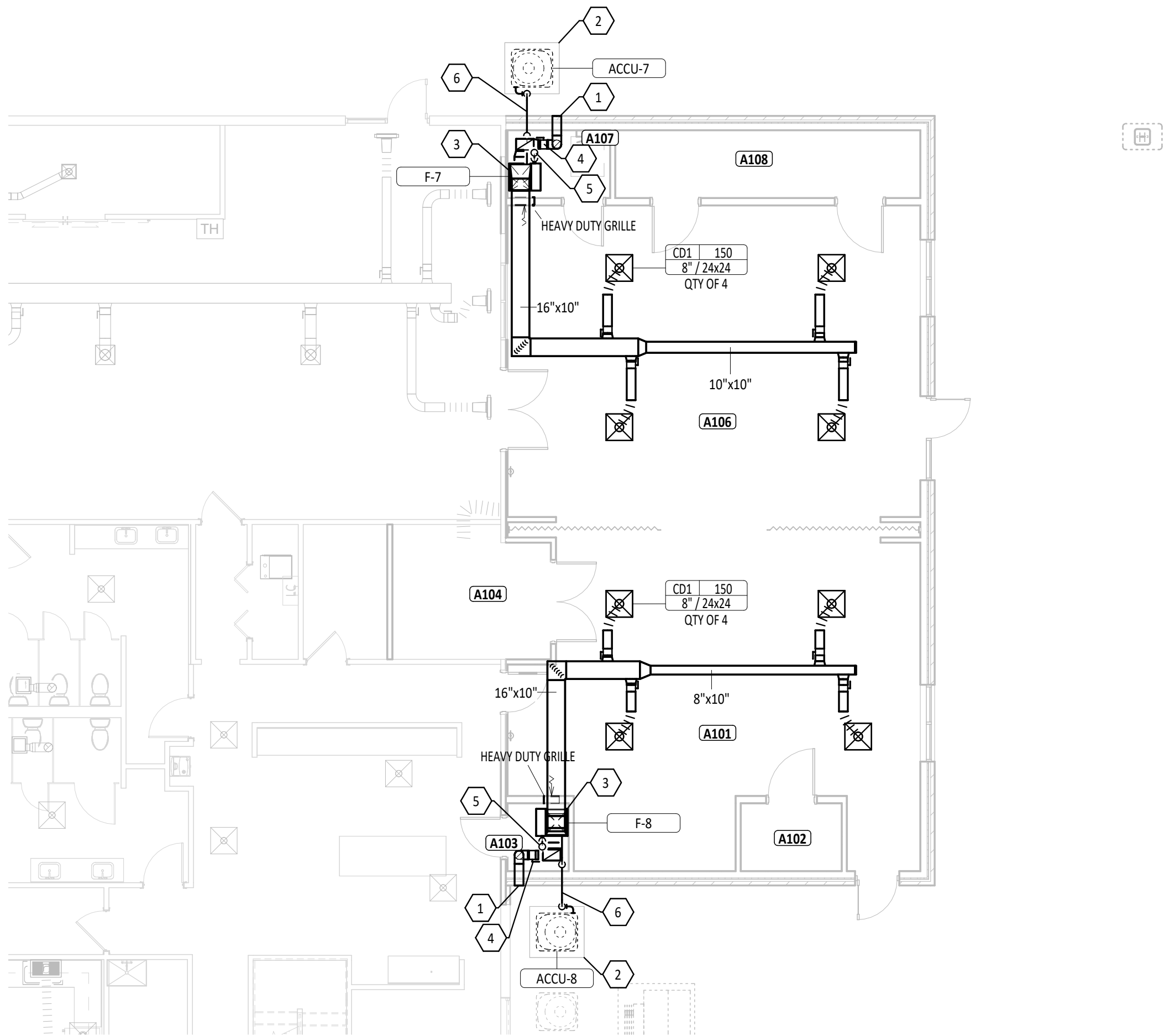


| ISSUANCES/REVISIONS    |            |
|------------------------|------------|
| CONSTRUCTION DOCUMENTS | 01/13/2025 |

|                 |           |             |
|-----------------|-----------|-------------|
| PROJECT NUMBER: | DRAWN BY: | CHECKED BY: |
| 25059.00        | RAG       | APH         |

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| SHEET TITLE:   |  |
| GENERAL NOTES, ABBREVIATIONS, LEGENDS, AND SHEET INDEX |  |

|               |
|---------------|
| SHEET NUMBER: |
| M1.1          |



1 FIRST FLOOR MECHANICAL PLAN - UNIT A  
1/8" = 1'-0"



| FURNACE SCHEDULE |       |                |        |            |                    |                       |       |         |             |                         |             |                              |                       |                      |            |             |         |       |         |   |
|------------------|-------|----------------|--------|------------|--------------------|-----------------------|-------|---------|-------------|-------------------------|-------------|------------------------------|-----------------------|----------------------|------------|-------------|---------|-------|---------|---|
| UNIT NO.         | MFG   | MODEL NO.      | TYPE   | SUPPLY FAN |                    |                       |       |         |             | GAS FIRED HEAT EXCHANGE |             |                              |                       |                      |            | ELECTRICAL  |         |       | REMARKS |   |
|                  |       |                |        | AIRFLOW    | EXT. STATIC PRESS. | DRIVE TYPE            | MOTOR |         | GAS BURNER  |                         |             |                              | AIRSIDE               |                      | EFFICIENCY | UNIT WEIGHT | VOLTAGE | PHASE |         | MCA   |
|                  |       |                |        |            |                    |                       | QTY   | POWER   | INPUT       | OUTPUT                  | FUEL TYPE   | PRESSURE AVAILABLE (IN W.C.) | ENTERING AIR TEMP. DB | LEAVING AIR TEMP. DB |            |             |         |       |         |   |
| FURN-7           | TRANE | SV9V2B040U3PSC | UPFLOW | 600 CFM    | 0.50 in-wg         | DIRECT VARIABLE SPEED | 1     | 0.50 hp | 40000 Btu/h | 38800 Btu/h             | NATURAL GAS | 7.00                         | 51.0 °F               | 110.0 °F             | 97         | 114 lb      | 120 V   | 1     | 8.9     | VARIABLE SPEED FAN; EXTERNAL FILTER CABINET; 2-STAGE BURNER |
| FURN-8           | TRANE | SV9V2B040U3PSC | UPFLOW | 600 CFM    | 0.50 in-wg         | DIRECT VARIABLE SPEED | 1     | 0.50 hp | 40000 Btu/h | 38800 Btu/h             | NATURAL GAS | 7.00                         | 51.0 °F               | 110.0 °F             | 97         | 114 lb      | 120 V   | 1     | 8.9     | VARIABLE SPEED FAN; EXTERNAL FILTER CABINET; 2-STAGE BURNER |

| AIR COOLED CONDENSING UNIT SCHEDULE |       |                    |                            |                            |                           |            |      |         |       |  |
|-------------------------------------|-------|--------------------|----------------------------|----------------------------|---------------------------|------------|------|---------|-------|--|
| MARK                                | MFG   | OUTDOOR UNIT MODEL | COOLING                    |                            |                           | ELECTRICAL |      |         |       | REMARKS  |
|                                     |       |                    | AHRI TOTAL CAPACITY (BTUH) | COOLING EFFICIENCY (SEER2) | COOLING EFFICIENCY (EER2) | MCA        | MOP  | VOLTAGE | PHASE |  |
| ACCU-7                              | TRANE | 5TTR5018A1         | 19000                      | 17                         | 12                        | 9 A        | 20 A | 208 V   | 1     | PROVIDE MATCHING CASSED INDOOR A-COIL. LINE SET: COPPER PER ASTM B280, 1" ELASTOMERIC INSULATION |
| ACCU-8                              | TRANE | 5TTR5018A1         | 19000                      | 17                         | 12                        | 9 A        | 20 A | 208 V   | 1     | PROVIDE MATCHING CASSED INDOOR A-COIL. LINE SET: COPPER PER ASTM B280, 1" ELASTOMERIC INSULATION |

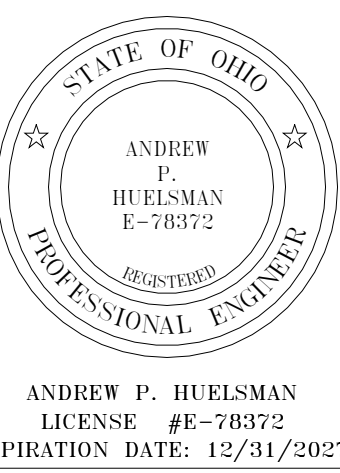
| GRILLES, REGISTERS, AND DIFFUSERS SCHEDULE |                        |              |        |     |           |      |       |              |           |         |                  |              |                  |
|--|------------------------|--------------|--------|-----|-----------|------|-------|--------------|-----------|---------|------------------|--------------|------------------|
| ID   | DESCRIPTION            | MANUFACTURER | MODEL  | QTY | NECK      |      |       | BLADE DESIGN |           |         |                  | INSTALLATION |                  |
|  |                        |              |        |     | FACE SIZE | SIZE | WIDTH | HEIGHT       | THICKNESS | SPACING | DEFLECTION ANGLE | ORIENTATION  | BORDER TYPE      |
|  |                        |              |        |     |           |      |       |              |           |         | SINGLE           | DOUBLE       |                  |
| CD1  | LOUVERED FACE DIFFUSER | TITUS        | TDC-AA | 8   | 24x24     | 8"   |       |              |           |         |                  |              | TYPE 3 (LAY-IN)  |
| HDG-1                                      | HEAVY DUTY GRILLE      | TITUS        | 33RL   | 2   |           | 0"   | 14"   | 18"          |           | 3/8"    | 0.0"             | 0.0"         | TYPE 1 (SURFACE) |

| ASHRAE 62.1 VENTILATION RATE PROCEDURE SUMMARY |                       |                            |                      |                         |                                  |   |  |   |   |   |              |                           |
|--|-----------------------|----------------------------|----------------------|-------------------------|----------------------------------|---|--|---|---|---|--------------|---------------------------|
| ROOM IDENTITY                                  | LOCATION              | Occupancy Category         | Area, A <sub>z</sub> | Selected Supply Airflow | Number of People, P <sub>t</sub> | Outdoor Airflow Rate Per Person, R <sub>p</sub> | Outdoor Airflow Rate Per Unit Area, R <sub>a</sub> | Zone Air Distribution Effectiveness, E <sub>z</sub> | Breathing Zone Outdoor Airflow, V <sub>oz</sub> | Required Outdoor Air Intake Flow, V <sub>ot</sub> | OA Delivered | Specified Exhaust Airflow |
| NO.  | NAME                  |                            |                      |                         |                                  |   |  |   |   |   |              |                           |
| A101   | FLEX SPACE            | Multipurpose assembly      | 680 SF               | 600 CFM                 | 12                               | 5.0 CFM   | 0.06 CFM/SF  | 1   | 101 CFM   | 101 CFM   | 110 CFM      | 0 CFM                     |
| A102   | TOOL STORAGE          | Storage rooms              | 39 SF                |                         |                                  | 0.0 CFM   | 0.12 CFM/SF  |   |   |   |              | 0 CFM                     |
| A103   | MECHANICAL            | Electrical equipment rooms | 24 SF                |                         |                                  | 0.0 CFM   | 0.06 CFM/SF  |   |   |   |              | 0 CFM                     |
| A104   | TABLE & CHAIR STORAGE | Storage rooms              | 116 SF               |                         |                                  | 0.0 CFM   | 0.12 CFM/SF  |   |   |   |              | 0 CFM                     |
| A106   | FLEX SPACE            | Multipurpose assembly      | 750 SF               | 600 CFM                 | 12                               | 5.0 CFM   | 0.06 CFM/SF  | 1   | 105 CFM   | 105 CFM   | 110 CFM      | 0 CFM                     |
| A107   | MECHANICAL            | Electrical equipment rooms | 39 SF                |                         |                                  | 0.0 CFM   | 0.06 CFM/SF  |   |   |   |              | 0 CFM                     |
| A108   | STORAGE               | Storage rooms              | 117 SF               |                         |                                  | 0.0 CFM   | 0.12 CFM/SF  |   |   |   |              | 0 CFM                     |
| Default: 7                                     |                       |                            | 1765 SF              | 1200 CFM                | 24                               |   |  |   | 206 CFM   | 206 CFM   | 220 CFM      | 0 CFM                     |

| FIRST FLOOR PLAN ROOM INDEX - UNIT A |                       |        |
|--------------------------------------|-----------------------|--------|
| ROOM NUMBER                          | ROOM NAME             | AREA   |
| A101                                 | FLEX SPACE            | 680 SF |
| A102                                 | TOOL STORAGE          | 39 SF  |
| A103                                 | MECHANICAL            | 24 SF  |
| A104                                 | TABLE & CHAIR STORAGE | 116 SF |
| A106                                 | FLEX SPACE            | 750 SF |
| A107                                 | MECHANICAL            | 39 SF  |
| A108                                 | STORAGE               | 117 SF |

- HVAC GENERAL NOTES**
- A DIVISION 23 MECHANICAL CONTRACTOR IS REQUIRED TO COORDINATE DIFFUSER AND GRILLE LOCATIONS WITH ARCHITECTURAL REFLECTED CEILING PLANS.
- B ALL EQUIPMENT LOCATED ABOVE CEILING REQUIRING MAINTENANCE SHALL BE INSTALLED WITHIN (2) FEET OF THE CEILING FOR MAINTENANCE PURPOSES. DO NOT INSTALL UNITS ABOVE LIGHTS AND CEILING SPEAKERS. COORDINATE LOCATION WITH ARCHITECTURAL REFLECTED CEILING PLAN AND GENERAL CONTRACTOR.
- C ANY BALANCING DAMPERS OR OTHER DEVICES IN DUCTS ABOVE HARD CEILINGS SHALL BE LOCATED ABOVE NEAREST ACCESSIBLE CEILING.
- D LOCATE DUCTWORK AND MECHANICAL EQUIPMENT AWAY FROM THE SPACE ABOVE ELECTRICAL PANELS, TRANSFORMERS AND OTHER ELECTRICAL EQUIPMENT.
- E PROVIDE SLEEVES AND/OR OPENINGS TO RUN DUCTS THROUGH FOUNDATIONS, FLOORS, WALLS, AND ROOF.
- F CONTRACTOR SHALL LOCATE THERMOSTATS AND TEMPERATURE SENSORS AT 3'-8" AFF, A MINIMUM OF 4" FROM LIGHT SWITCH.
- G CONDENSATE DRAINS SHALL BE SUPPLIED FOR ALL COOLING EQUIPMENT. CONTRACTOR SHALL ENSURE PROPER INSTALLATION AND DRAINAGE AS REQUIRED BY FEDERAL, STATE, AND LOCAL CODES. CONDENSATE PIPING SHALL BE PVC.
- H ALL SUPPLY, RETURN, AND EXHAUST DUCTWORK SHALL BE RATED FOR PRESSURE CLASS OF 2" W.G. UNLESS NOTED OTHERWISE.
- I THIS CONTRACTOR SHALL BE REQUIRED TO REPLACE FILTERS ON HVAC EQUIPMENT AFTER ALL DUST PRODUCING CONSTRUCTION HAS BEEN COMPLETED AND PRIOR TO THE SUBSTANTIAL COMPLETION.

| # | KEYNOTE DESCRIPTION  |
|---|--|
| 1 | PROVIDE ALUMINUM, OUTSIDE AIR WALL CAP WITH 8" DIAMETER DUCT CONNECTION, BIRDSCREEN, AND DAMPER. GREENHECK MODEL WC-8 OR EQUAL. COLOR BY ARCHITECT.  |
| 2 | PROVIDE 3 1/2" CONCRETE HOUSEKEEPING PAD FOR CONDENSING UNIT. CONCRETE PAD SHALL EXTEND A MINIMUM OF 6" BEYOND THE EDGE OF THE EDGE OF THE EQUIPMENT. CONFIRM UNIT DIMENSIONS AND CLEARANCES WITH THE APPROVED MANUFACTURER'S SUBMITTAL. |
| 3 | ROUTE TRAPPED CONDENSATE PIPING FROM EVAPORATOR COIL ON FURNACE TO FLOOR DRAIN IN MECHANICAL CLOSET.   |
| 4 | BALANCE MANUAL OUTSIDE AIR DAMPER TO 110 CFM.  |
| 5 | ROUTE FURNACE COMBUSTION AIR AND FLUE THROUGH THE CEILING AND TERMINATE THROUGH THE ROOF WITH MANUFACTURER'S SUPPLIED CONCENTRIC VENT KIT. SEAL ROOF PENETRATION WATER TIGHT. COORDINATE WITH GENERAL CONTRACTOR.                        |
| 6 | ROUTE REFRIGERANT LINES THROUGH EXTERIOR WALL BETWEEN EVAPORATOR COIL ON FURNACE AND CONDENSING UNIT. SEAL WALL PENETRATION WATER TIGHT.   |



TIPP SENIORS NEW ADDITION

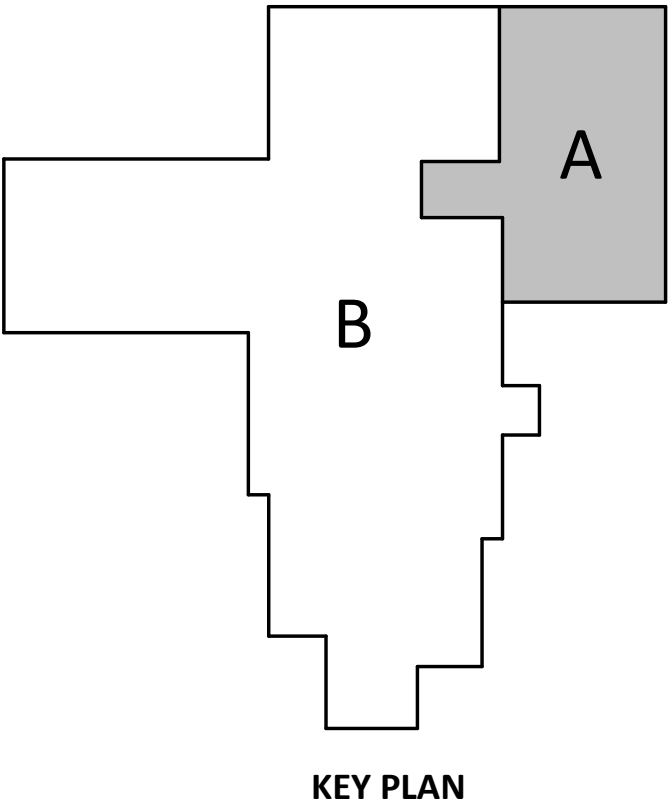
528 NORTH HAVEN ST. TIPP CITY, OH 45371

| ISSUANCES/REVISIONS    |            |
|------------------------|------------|
| CONSTRUCTION DOCUMENTS | 01/13/2026 |

|                 |           |             |
|-----------------|-----------|-------------|
| PROJECT NUMBER: | DRAWN BY: | CHECKED BY: |
| 25059.00        | RAG       | APH         |

|                             |
|-----------------------------|
| SHEET TITLE:                |
| FIRST FLOOR MECHANICAL PLAN |

|               |
|---------------|
| SHEET NUMBER: |
| M2.1          |



|             |   |  |
|-------------|---|--|
| NOTE:       |   | ABBREVIATIONS USED ON THE CONTRACT DOCUMENTS, INCLUDE BUT ARE NOT LIMITED TO THOSE LISTED BELOW. |
| A           |   | AMP, AMPERE, AMPERAGE  |
| AV          | AUDIO/VISUAL  |  |
| AC          | ABOVE COUNTER   |  |
| AL          | ALTERNATING CURRENT   |  |
| ADA         | AMERICANS WITH DISABILITIES ACT                                   |  |
| AF          | ABOVE FINISHED FLOOR  |  |
| AFG         | ABOVE FINISHED GRADE  |  |
| AIC         | AVAILABLE INTERRUPTING CURRENT                                    |  |
| AL          | ALUMINUM  |  |
| ATS         | AUTOMATIC TRANSFER SWITCH   |  |
| AWG         | AMERICAN WIRE GAUGE   |  |
| B           |   | BREAKER  |
| BTM         | BOTTOM  |  |
| C           |   | CONDUIT  |
| CB          | CIRCUIT BREAKER   |  |
| CCTV        | CLOSED CIRCUIT TELEVISION   |  |
| CKT         | CIRCUIT   |  |
| CU          | COPPER  |  |
| D           |   | DIRECT CURRENT   |
| DI          | DIAMETER  |  |
| E           |   | ELECTRICAL CONTRACTOR  |
| EM          | EMERGENCY   |  |
| EMT         | ELECTRICAL METALLIC TUBING  |  |
| EX          | EXISTING  |  |
| F           |   | FIRE ALARM   |
| FAA         | FIRE ALARM ANNUNCIATOR  |  |
| FACP        | FIRE ALARM CONTROL PANEL FOR FEEDER                               |  |
| FLA         | FULL LOAD AMPS  |  |
| FUT         | FUTURE  |  |
| G           |   | GENERATOR  |
| GEN         | GENERATOR   |  |
| GFI OR GFCI | GROUND FAULT CIRCUIT INTERRUPTER                                  |  |
| GFP OR GFPE | GROUND FAULT PROTECTION OF EQUIPMENT                              |  |
| GND         | GROUND  |  |
| H           |   | HAND-OFF-AUTO  |
| HDA         | HORSEPOWER  |  |
| HT          | HEIGHT  |  |
| I           |   | INSTITUTE OF ELECTRICAL AND ELECTRONICS ENGINEERS  |
| IEEE        | INSTITUTE OF ELECTRICAL AND ELECTRONICS ENGINEERS                 |  |
| IG          | ISOLATED GROUND   |  |
| K           |   | THOUSAND CIRCULAR MILS   |
| KCMIL       | THOUSAND CIRCULAR MILS  |  |
| KV          | KILOVOLT  |  |
| KVA         | KILOVOLT AMPS   |  |
| KVAR        | KILOVOLT AMPS REACTIVE  |  |
| KW          | KILOWATT  |  |
| KWH         | KILOWATT HOUR   |  |
| L           |   | LOCATION   |
| LOC         | LOCATION  |  |
| LSIG        | LONG TIME, SHORT TIME, INSTANTANEOUS, AND GROUND FAULT PROTECTION |  |
| M           |   | MILLIAMPS  |
| MAX         | MAXIMUM   |  |
| MCA         | MINIMUM CIRCUIT AMPACITY  |  |
| MCC         | MOTOR CONTROL CENTER  |  |
| MH          | MOUNTING HEIGHT   |  |
| MIN         | MINIMUM   |  |
| MTO         | MOUNTED   |  |
| MTS         | MANUAL TRANSFER SWITCH  |  |
| N           |   | NOT APPLICABLE   |
| N/A         | NOT APPLICABLE  |  |
| NC          | NORMALLY CLOSED   |  |
| NEC         | NATIONAL ELECTRICAL CODE  |  |
| NEMA        | NATIONAL ELECTRICAL MANUFACTURERS ASSOCIATION                     |  |
| NEUT        | NEUTRAL   |  |
| NFPA        | NATIONAL FIRE PROTECTION ASSOCIATION                              |  |
| NIC         | NOT IN CONTRACT   |  |
| NO          | NORMALLY OPEN   |  |
| NTS         | NOT TO SCALE  |  |
| O           |   | OVERHEAD   |
| OH          | OVERHEAD  |  |
| P           |   | POLE   |
| PA          | PUBLIC ADDRESS  |  |
| PC          | PHOTOCELL   |  |
| PH          | PHASE   |  |
| PVC         | POLYVINYL CHLORIDE  |  |
| R           |   | RIGID GALVANIZED STEEL   |
| RGS         | RIGID GALVANIZED STEEL  |  |
| S           |   | SURGE PROTECTION DEVICE  |
| SPD         | SURGE PROTECTION DEVICE   |  |
| SW          | SWITCH  |  |
| T           |   | TEMPORARY  |
| TEMP        | TEMPORARY   |  |
| TV          | TELEVISION  |  |
| TVSS        | TRANSIENT VOLTAGE SURGE SUPPRESSOR                                |  |
| TYP         | TYPICAL   |  |
| U           |   | UNDERGROUND  |
| UG          | UNDERGROUND   |  |
| UL          | UNDERWRITERS' LABORATORIES  |  |
| UNO         | UNLESS NOTED OTHERWISE  |  |
| UPS         | UNINTERRUPTABLE POWER SUPPLY                                      |  |
| V           |   | VOLTS, VOLTAGE   |
| V           | VOLTS, VOLTAGE  |  |
| VFD         | VARIABLE FREQUENCY DRIVE  |  |
| W           |   | WIRE   |
| W           | WIRE  |  |
| WG          | WIRE GUARD  |  |
| WP          | WEATHER PROOF   |  |
| X           |   | TRANSFORMER  |
| XFMR        | TRANSFORMER   |  |

## ABBREVIATIONS

| SYMBOL | DESCRIPTION  | NOTES  |
|--------|--|--|
|        | DASHED SYMBOL INDICATES EXISTING DEVICE OR EQUIPMENT TO BE REMOVED.              | REFER TO DEMOLITION PLANS FOR ADDITIONAL INFORMATION |
|        | SOLID SYMBOL, LIGHTER IN COLOR INDICATES EXISTING DEVICE OR EQUIPMENT TO REMAIN. |  |

| SYMBOL | DESCRIPTION                         |
|--------|-------------------------------------|
|        | KEYED NOTE REFERENCE                |
|        | REVISION NUMBER - SHOWN ON PLANS    |
|        | CONTINUATION SYMBOL                 |
|        | NUMBER OF DETAIL ON SHEET           |
|        | DRAWING NUMBER WHERE DETAIL APPEARS |

NOTE: ALL SYMBOLS OR ABBREVIATIONS MAY NOT BE USED FOR THIS PROJECT AND ARE SUBJECT TO CHANGE ON OTHER DRAWINGS.

## RACEWAY & CONDUCTORS

| SYMBOL | DESCRIPTION  |
|--------|--|
|        | TICK MARKS DENOTING CONDUCTOR IDENTIFICATION. REFER TO 'KEY TO ELECTRICAL CIRCUIT WIRING' DETAIL FOR MORE INFORMATION.   |
|        | CIRCUIT CONCEALED IN CEILING, WALL, OR FLOOR OF NEW CONSTRUCTION. CONCEALED WHEREVER POSSIBLE IN AREAS OF OPEN STRUCTURE OR EXISTING CONSTRUCTION.               |
|        | INDICATES CONCEALED CONDUIT UNDERGROUND/UNDERFLOOR   |
|        | HOME RUN TO PANEL OR LOCATION NOTED  |
|        | SURFACE MOUNT RACEWAY. REFER TO PLANS FOR TYPE.  |
|        | DENOTES HORIZONTALLY MOUNTED RACEWAY   |
|        | DENOTES VERTICALLY MOUNTED RACEWAY   |
|        | CONDUIT SLEEVE(S) ABOVE CEILING FOR TECHNOLOGY CABLING. (H) INDICATES QUANTITY, "H" INDICATES CONDUIT SIZE. REFER TO ARCHITECTURAL SECTIONS FOR CEILING HEIGHTS. |
|        | CONDUIT TURNS  |

## ELECTRICAL EQUIPMENT SYMBOLS

| SYMBOL | DESCRIPTION   | MOUNTING LOC. | HT.        |
|--------|---|---------------|------------|
|        | SURFACE MOUNTED PANELBOARD - CIRCUIT BREAKER TYPE. DASHED LINES ON PLAN INDICATE CLEARANCES. REFER TO PANEL SCHEDULES AND ONE-LINE DIAGRAM. | VARIES        | 78" TO TOP |
|        | FLUSH MOUNTED PANELBOARD - CIRCUIT BREAKER TYPE. DASHED LINES ON PLAN INDICATE CLEARANCES. REFER TO PANEL SCHEDULES AND ONE-LINE DIAGRAM.   | VARIES        | VARIES     |
|        | NON-FUSED DISCONNECT SWITCH.  | VARIES        | VARIES     |
|        | FUSED DISCONNECT SWITCH.  | VARIES        | 77" TO TOP |
|        | ENCLOSED CIRCUIT BREAKER.   | VARIES        | 77" TO TOP |

## WIRING DEVICE SYMBOLS

| SYMBOL  | DESCRIPTION  | MOUNTING LOC.     | HT.               |
|---|--|-------------------|-------------------|
|   | DUPLEX RECEPTACLE, 20A, 125V, NEMA 5-20R, WITH COVERPLATE MOUNTED VERTICALLY.  | WALL, UNO         | 16"               |
|   | DOUBLE DUPLEX RECEPTACLE, 20A, 125V, NEMA 5-20R, WITH COMMON COVERPLATE.   | WALL, UNO         | 44", UNO          |
|   | SPECIAL PURPOSE RECEPTACLE WITH COVERPLATE. REFER TO PLANS FOR TYPE.   | WALL, UNO         | 44", UNO          |
|   | DUPLEX RECEPTACLE, 20A, 125V, NEMA 5-20R, WITH COVERPLATE MOUNTED VERTICALLY.  | WALL, UNO         | 44", UNO          |
|   | DOUBLE DUPLEX RECEPTACLE, 20A, 125V, NEMA 5-20R, WITH COMMON COVERPLATE.   | WALL, UNO         | 44", UNO          |
|   | CEILING MOUNTED DUPLEX RECEPTACLE.   | CEILING           | FLUSH             |
| <b>"X" INDICATES RECEPTACLE TYPE OTHER THAN STANDARD</b>    |  |                   |                   |
| NO DESIGNATOR INDICATES STANDARD POWER DEVICE               |  |                   |                   |
| GFI = GFCI RATED  |  |                   |                   |
| GFI = GFCI RATED AND TAMPER RESISTANT                       |  |                   |                   |
| TR = TAMPER RESISTANT                                       |  |                   |                   |
| IG = ISOLATED GROUND  |  |                   |                   |
| U = USB CHARGING PORTS                                      |  |                   |                   |
| SR = SOUND REINFORCEMENT                                    |  |                   |                   |
| IFP = INTERACTIVE FLAT PANEL                                |  |                   |                   |
| VID = VIDEO OUTLET  |  |                   |                   |
| VP = VIDEO PROJECTOR  |  |                   |                   |
| WC = WATER COOLER   |  |                   |                   |
| WF = WASH FOUNTAIN  |  |                   |                   |
| WP = WEATHER-PROOF AND GFCI RATED (METAL IN-USE COVERPLATE) |  |                   |                   |
| MW = MICROWAVE - COORDINATE WITH CASEWORK INSTALLER         |  |                   |                   |
|   | JUNCTION BOX OR EQUIPMENT CONNECTION.  | VARIES, SEE PLANS | VARIES, SEE PLANS |
|   | JUNCTION BOX OR EQUIPMENT CONNECTION WITH SWITCH FOR MAINTENANCE DISCONNECT. PROVIDE SWITCH RATED FOR VOLTAGE AND LOAD SHOWN ON PLANS. | VARIES, SEE PLANS | VARIES, SEE PLANS |
|   | WALL MOUNTED JUNCTION BOX.   | WALL              | 44", UNO          |
|   | MOTOR CONNECTION.  | N/A               | N/A               |
|   | MOTOR CONNECTION WITH SWITCH FOR MAINTENANCE DISCONNECT. PROVIDE SWITCH RATED FOR VOLTAGE AND LOAD SHOWN ON PLANS.                     | WALL              | 44", UNO          |
|   | 20A, FUSED MOTOR SWITCH, PROVIDE OVERLOADS RATED TO MOTOR.   | WALL              | 44", UNO          |
|   | 6A, 120V FAN SPEED CONTROLLER WITH SLIDE CONTROL. EQUAL TO LUTRON - #NTFS-6E-WH.   | WALL              | 44"               |
|   | 3-BLADE CEILING FAN, STEEL HOUSING, BRUSHED STEEL FINISH, INSTALL FINISHING CAP WITHOUT LIGHT KIT. MONTE CARLO - #R3RULMS2B5D.         | CEILING           | N/A               |

## FIRE ALARM SYMBOLS

| SYMBOL | DESCRIPTION   | MOUNTING LOC. | HT.        |
|--------|---|---------------|------------|
|        | FIRE ALARM CONTROL PANEL. REFER TO SPECIFICATIONS.      | WALL          | 77" TO TOP |
|        | FIRE ALARM ANNUNCIATOR PANEL. REFER TO SPECIFICATIONS.  | WALL          | 48"        |
|        | FIRE ALARM PULL STATION. REFER TO SPECIFICATIONS.       | WALL          | 80", UNO   |
|        | FIRE ALARM HORN DEVICE. REFER TO SPECIFICATIONS.        | WALL          | 80", UNO   |
|        | FIRE ALARM HORN/STROBE DEVICE. REFER TO SPECIFICATIONS. | WALL          | 80", UNO   |

## AUDIO DEVICE SYMBOLS

| SYMBOL | DESCRIPTION  | MOUNTING LOC. | HT. |
|--------|--|---------------|-----|
|        | EXISTING PUBLIC ADDRESS SOUND SYSTEM RACK TO REMAIN.   | FLOOR         | N/A |
|        | SPEAKER FOR PA SYSTEM, UNO. PROVIDE ROUGH-IN AND RACEWAY AS REQUIRED IN HARD CEILINGS. COORDINATE WITH DIVISION 27.            | CEILING       | N/A |
|        | SPEAKER FOR LOCAL SOUND REINFORCEMENT, PROVIDE ROUGH-IN AND RACEWAY AS REQUIRED IN HARD CEILINGS. COORDINATE WITH DIVISION 27. | CEILING       | N/A |

## LIGHTING FIXTURE SYMBOLS

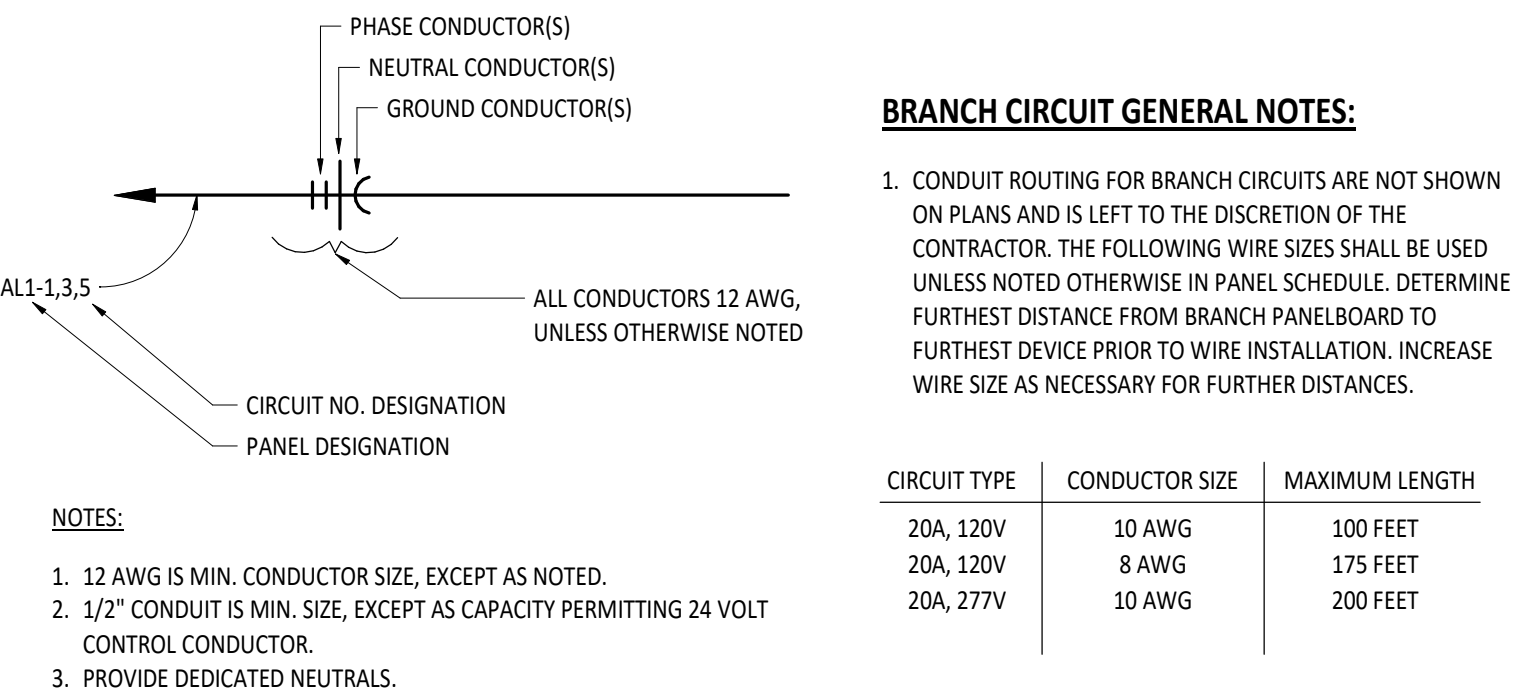
| REFER TO LUMINAIRE SCHEDULE FOR ALL FIXTURE TYPES AND ADDITIONAL INFORMATION. |   | MOUNTING LOC. | HT.    |
|---|---|---------------|--------|
|   | SOLID HATCH INDICATES LIGHT FIXTURE CONNECTED TO EMERGENCY CIRCUIT. HATCH WILL BE MODIFIED FOR EACH FIXTURE TYPE. | VARIES        | VARIES |
|   | CAPITAL LETTER INDICATES FIXTURE TYPE<br>LOWERCASE LETTER INDICATES SWITCHING                                     | VARIES        | VARIES |
|   | RECESSED MOUNTED LUMINAIRE; APPROXIMATE SIZE AS INDICATED ON PLANS.   | VARIES        | VARIES |
|   | SURFACE OR SUSPENDED MOUNT LUMINAIRE; APPROXIMATE SIZE AS INDICATED ON PLANS.                                     | VARIES        | VARIES |
|   | RECESSED MOUNTED DOWNLIGHT LUMINAIRE. DIRECTIONAL ARROW INDICATES AIMABLE FIXTURE TYPE.                           | VARIES        | VARIES |
|   | PENDANT MOUNT LUMINAIRE; APPROXIMATE SIZE AS INDICATED ON PLANS.  | VARIES        | VARIES |
|   | STRIP LIGHT LUMINAIRE.  | VARIES        | VARIES |
|   | PENDANT MOUNTED ROUND OR RING TYPE LUMINAIRE; APPROXIMATE SIZE AS INDICATED ON PLANS.                             | VARIES        | VARIES |
|   | DECORATIVE PENDANT MOUNT LUMINAIRE.   | VARIES        | VARIES |
|   | EXTERIOR WALL PACK LUMINAIRE.   | VARIES        | VARIES |
|   | WALL MOUNTED LUMINAIRE.   | VARIES        | VARIES |
|   | WALL MOUNTED LUMINAIRE.   | VARIES        | VARIES |
|   | EMERGENCY BATTERY PACK LUMINAIRE.   | VARIES        | VARIES |
|   | SINGLE OR DOUBLE (AS INDICATED) EMERGENCY REMOTE HEAD.  | VARIES        | VARIES |
|   | WALL MOUNTED EXIT SIGN, ARROWS AND EMERGENCY LIGHTS AS INDICATED. SHADED AREA INDICATES FACE LOCATION(S).         | VARIES        | VARIES |
|   | CEILING MOUNTED EXIT SIGN, ARROWS AND EMERGENCY LIGHTS AS INDICATED. SHADED AREA INDICATES FACE LOCATION(S).      | VARIES        | VARIES |

## LIGHTING CONTROL SYMBOLS

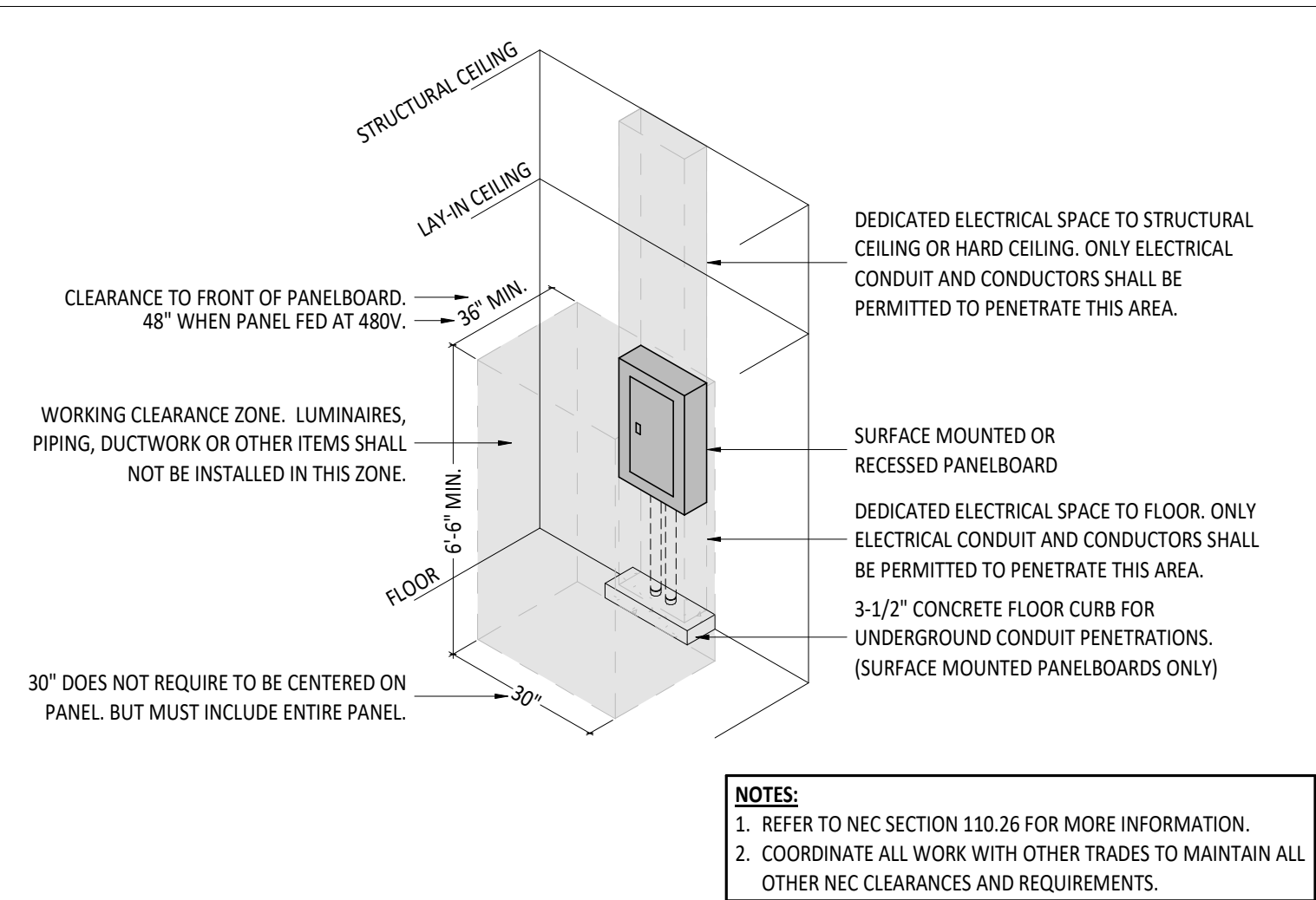
| SYMBOL | DESCRIPTION  | MOUNTING LOC. | HT.        |
|--------|--|---------------|------------|
|        | SINGLE POLE SWITCH, 20A, 120/277V WITH COVERPLATE.   | WALL          | 44", UNO   |
|        | THREE-WAY SWITCH, 20A, 120/277V WITH COVERPLATE.   | WALL          | 44", UNO   |
|        | FOUR-WAY SWITCH, 20A, 120/277V WITH COVERPLATE.  | WALL          | 44", UNO   |
|        | OCCUPANCY SENSOR SWITCH. EQUAL TO SENSORSWITCH - #WSKA PDT WH.   | WALL          | 44", UNO   |
|        | LOW VOLTAGE 2-BUTTON WALL STATION EQUAL TO nLIGHT - #nPDDMA WH.  | WALL          | 44", UNO   |
|        | LOW VOLTAGE 6-BUTTON WALL STATION WITH 'ON/OFF' AND DIMMING CONTROL FOR TWO ZONES. EQUAL TO nLIGHT - #nPDDMA 2P DX WH. | WALL          | 44", UNO   |
|        | IR PHOTOELECTRIC PARTITION SENSOR RECEIVER. EQUAL TO nLIGHT - #nSYA.   | CEILING       | 44", UNO   |
|        | IR PHOTOELECTRIC PARTITION SENSOR TRANSMITTER. EQUAL TO nLIGHT - #nSYA.  | CEILING       | 44", UNO   |
|        | CEILING MOUNTED OCCUPANCY SENSOR. EQUAL TO SENSORSWITCH - #CM PDT S.   | CEILING       | 44", UNO   |
|        | CEILING MOUNTED OCCUPANCY SENSOR. EQUAL TO nLIGHT - #nCM PDT S.  | CEILING       | 44", UNO   |
|        | EXISTING LIGHTING CONTACTOR TO REMAIN.   | WALL          | 77" TO TOP |

## TECHNOLOGY SYMBOLS

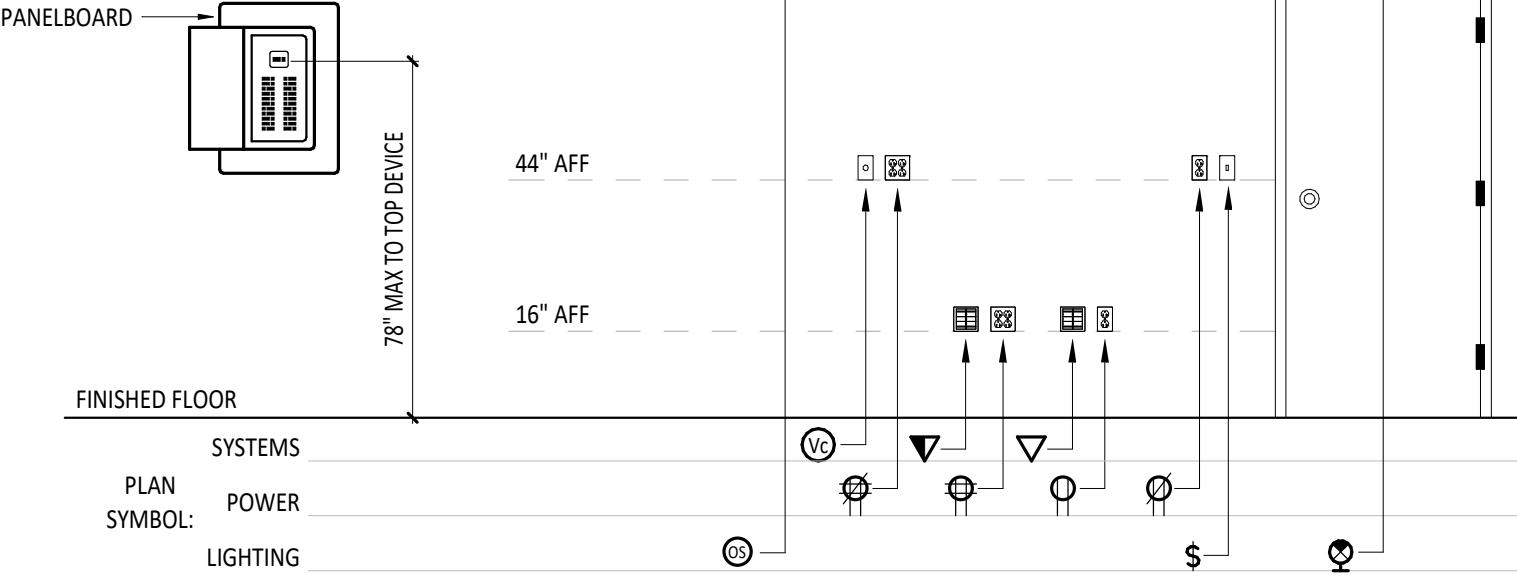
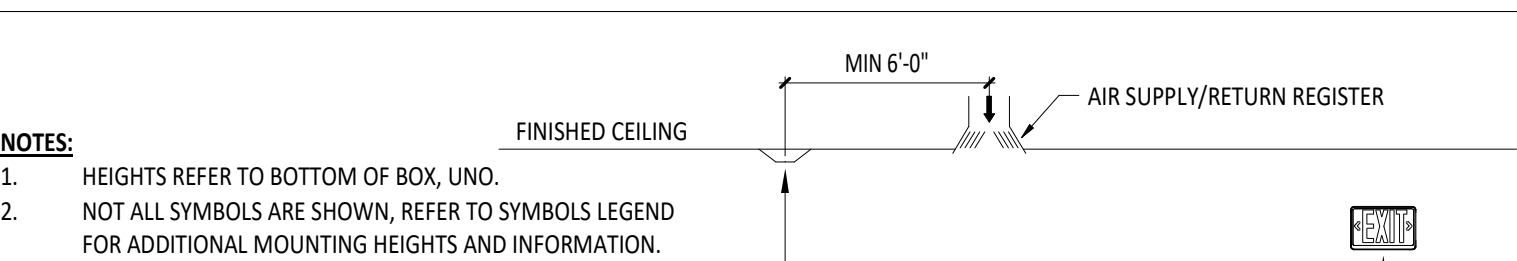
| STUB ALL CONDUITS FOR TECHNOLOGY OUTLETS ABOVE ACCESSIBLE CEILING, UNO. PROVIDE PULL STRING AND PLASTIC BUSHING ON END OF EACH CONDUIT. PROVIDE COVERPLATE FOR UNUSED BOXES. |   |               |          |
|--|---|---------------|----------|
| SYMBOL   | DESCRIPTION   | MOUNTING LOC. | HT.      |
|  | DATA OUTLET, 2-GANG, 3.5" DEEP BOX WITH 2-GANG EXTENSION RING. PROVIDE ONE (1) 1-1/4" CONDUIT.                        | WALL          | 16", UNO |
|  | VOICE & DATA OUTLET, 2-GANG, 3.5" DEEP BOX WITH 2-GANG EXTENSION RING. PROVIDE ONE (1) 1-1/4" CONDUIT.                | WALL          | 16", UNO |
|  | VOICE OUTLET, 2-GANG, 3.5" DEEP BOX WITH 1-GANG EXTENSION RING. PROVIDE ONE (1) 1" CONDUIT.                           | WALL          | 44"      |
|  | LOCAL INPUT OUTLET, 2-GANG, 3.5" DEEP BOX WITH 2-GANG EXTENSION RING. PROVIDE ONE (1) 1-1/4" CONDUIT.                 | WALL          | 16", UNO |
|  | PROJECTOR OUTLET, 2-GANG, 3.5" DEEP BOX WITH 2-GANG EXTENSION RING. PROVIDE TWO (2) 1-1/4" CONDUIT.                   | WALL          | 44"      |
|  | SOUND REINFORCEMENT OUTLET, 4-11/16", 3.5" DEEP BOX WITH 2-GANG EXTENSION RING. PROVIDE TWO (2) 1-1/4" CONDUIT.       | WALL          | 44"      |
|  | VIDEO MONITOR OUTLET, 2-GANG, 3.5" DEEP BOX WITH 2-GANG EXTENSION RING. PROVIDE ONE (1) 1-1/4" CONDUIT.               | WALL          | 96", UNO |
|  | FUTURE WIRELESS ACCESS POINT. PROVIDE OCTAGON BOX FLUSH IN CEILING WITH BLANK COVERPLATE. PROVIDE ONE (1) 1" CONDUIT. | HARD CEILING  | N/A      |
|  | EXISTING TECHNOLOGY RACK TO REMAIN.   | FLOOR         | N/A      |
|  | VIDEO PROJECTOR. REFER TO DRAWINGS.   | CEILING       | N/A      |



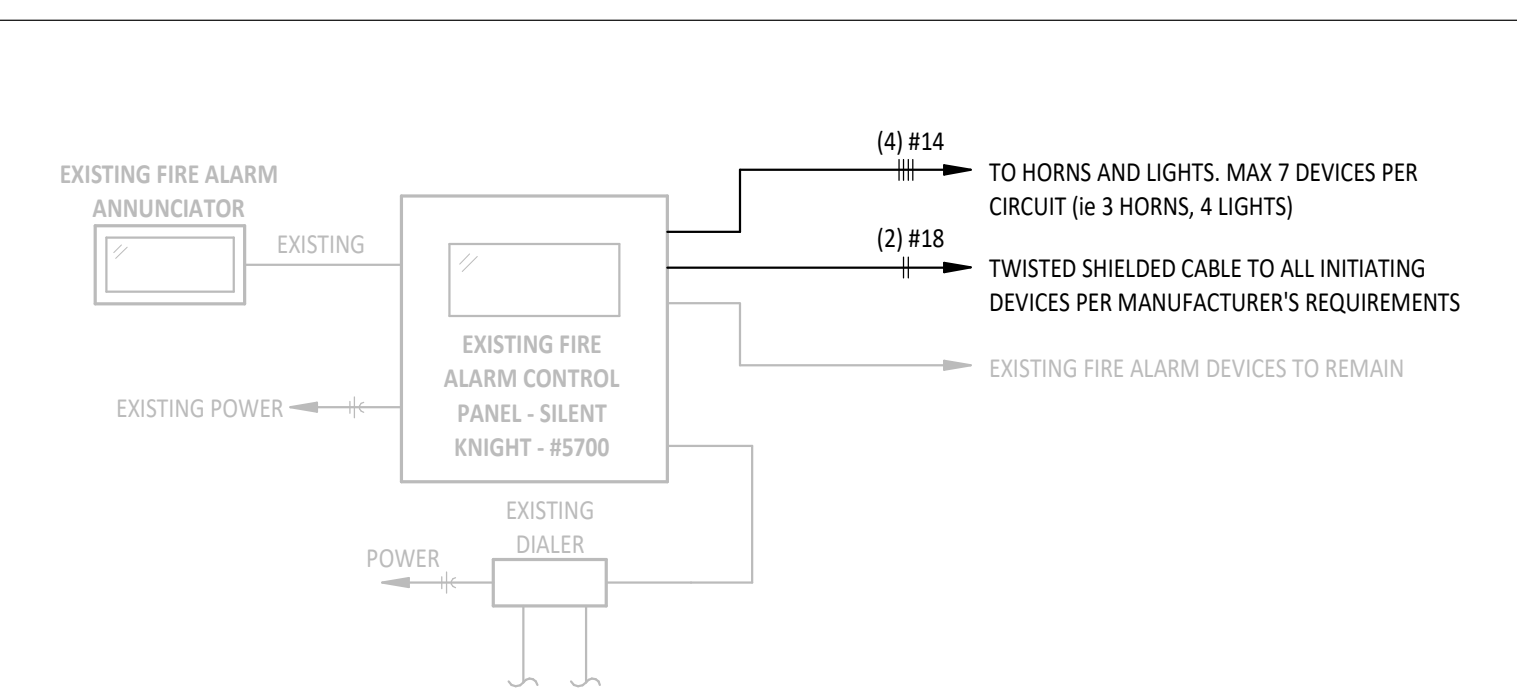
## KEY TO ELECTRICAL CIRCUIT WIRING



## PANELBOARD CLEARANCES



## ELECTRICAL MOUNTING HEIGHT DETAIL



## EXISTING FIRE ALARM RISER DIAGRAM

## ELECTRICAL SHEET INDEX

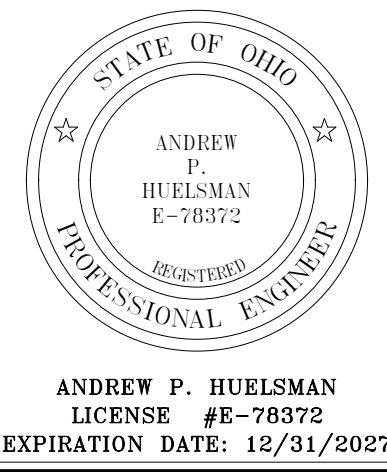
| SHEET NUMBER | SHEET NAME  |
|--------------|---|
| E1.1         | GENERAL NOTES, ABBREVIATIONS, LEGENDS AND DETAILS |
| ED1.1        | ELECTRICAL DEMOLITION PLANS                       |
| E2.1         | ELECTRICAL SITE PLAN                              |
| E3.1         | ELECTRICAL PLANS                                  |
| E4.1         | ELECTRICAL ONE-LINE DIAGRAM AND SCHEDULES         |

## ELECTRICAL GENERAL NOTES

- ALL GENERAL WALL MOUNT WIRING DEVICES TO BE WHITE IN COLOR. COVERPLATES TO BE WHITE, NYLON, UNBREAKABLE TYPE. ALL RECEPTACLES SHALL BE TAMPER RESISTANT.
- ALL MOUNTING HEIGHTS REFER TO THE BOTTOM OF BOX OR DEVICE UNO.
- ALL CONDUIT TO BE CONCEALED.
- TICK MARKS ON LIGHTING PLAN CIRCUITING INDICATE A CHANGE IN SWITCHING.
- ALL WORK SHALL CONFORM TO THE 2023 N.E.C., NATIONAL, STATE, AND LOCAL CODES WHICH APPLY.
- ALL MATERIAL AND EQUIPMENT SHALL CONFORM TO U.L. AND NEMA STANDARDS WHICH APPLY.
- THIS CONTRACTOR SHALL PAY ALL FEES AND OBTAIN ALL PERMITS REQUIRED TO THE EXECUTION OF HIS WORK.
- THIS CONTRACTOR SHALL GUARANTEE HIS ENTIRE ELECTRICAL INSTALLATION AGAINST DEFECTS IN WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE (1) YEAR.
- MINIMUM WIRE SIZE SHALL BE 12 AWG UNO.
- CONDUCTORS SHALL BE TYPE 'THHN/THWN' STRANDED COPPER. CONDUCTORS 6 AWG, AND LARGER, MAY BE COPPER OR ALUMINUM.
- EXPOSED EXTERIOR CONDUIT SHALL BE RIGID GALVANIZED STEEL OR INTERMEDIATE GRADE METAL CONDUIT. INTERIOR CONDUIT MAY BE ELECTRICAL METALLIC TUBING. CONDUIT BURIED BELOW GRADE SHALL BE SCHEDULE 40 PVC WITH APPROPRIATE SIZE GREEN GROUND WIRE UNO.

## ELECTRICAL LIGHTING CONTROL GENERAL NOTES

- ALL SENSOR LOCATIONS ARE APPROXIMATE. REFER TO MANUFACTURER'S INSTALLATION INSTRUCTIONS PRIOR TO INSTALLATION. IF PENDANT FIXTURES ARE PRESENT, LOCATION AND COVERAGE OF SENSORS SHOULD BE REVIEWED.
- ULTRASONIC CEILING MOUNT SENSORS REQUIRE THAT THEY BE LOCATED NO CLOSER THAN 6' TO AIR SUPPLY/RETURN REGISTERS.
- CONTRACTOR IS RESPONSIBLE FOR PROPER SENSITIVITY AND TIME DELAY SETTINGS, VERIFICATION OF MANUFACTURER'S RECOMMENDED PLACEMENT, AND FIELD VERIFICATION OF CIRCUITS WITH RESPECT TO POWER PACK PLACEMENT.
- CONTRACTOR SHALL PROVIDE A LIGHTING CONTROL REPRESENTATIVE/TECHNICIAN FOR INITIAL SET-UP OF LIGHTING CONTROL SYSTEMS. TWO (2) HOURS MINIMUM DEMONSTRATION AND TRAINING SHALL BE PROVIDED FOR EACH TYPE OF LIGHTING CONTROL SYSTEM. THE LIGHTING CONTROL REPRESENTATIVE/TECHNICIAN SHALL BE REQUIRED TO MAKE A SECOND SITE VISIT FOR POST COMMISSIONING REPAIRS AND ADJUSTMENTS.
- CONTRACTOR SHALL PROVIDE ALL REQUIRED SOFTWARE FOR EACH LIGHTING CONTROL SYSTEM. SOFTWARE SHALL BE INSTALLED ON COMPUTER OF OWNER'S CHOICE. COORDINATE WITH OWNER.
- COORDINATE LIGHTING LEVEL SETPOINTS WITH OWNER.
- CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF REQUIRED NUMBER OF POWER PACKS. ONE POWER PACK IS REQUIRED FOR EACH CONTROL/TOGGLE SWITCH. MAXIMUM NUMBER OF SENSORS THAT CAN BE WIRED IN PARALLEL TO A SINGLE POWERPACK IS DEPENDENT ON SENSOR MODEL (SEE INDIVIDUAL DATA SHEETS FOR mA CONSUMPTION).
- EQUALS BY LEVITON, SENSORSWITCH, WATTSOPPER, CRESTRON, NOVITALS, LUTRON, STARFIELD, AND COOPER.



TIPP SENIORS NEW ADDITION

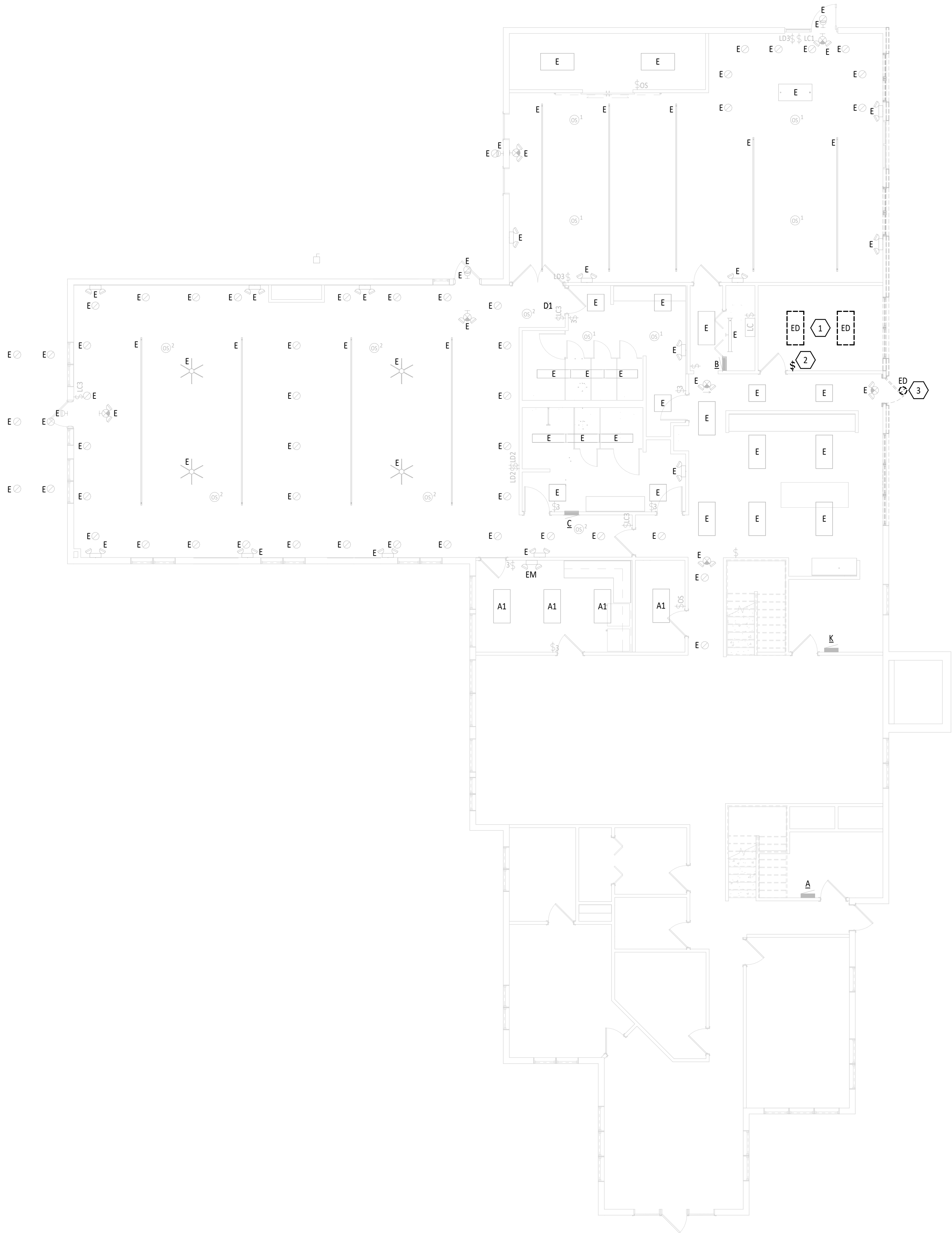
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| 25059.00            | ALM       | HUP         |

SHEET TITLE:  
**GENERAL NOTES, ABBREVIATIONS, LEGENDS AND DETAILS**

SHEET NUMBER:

**E1.1**

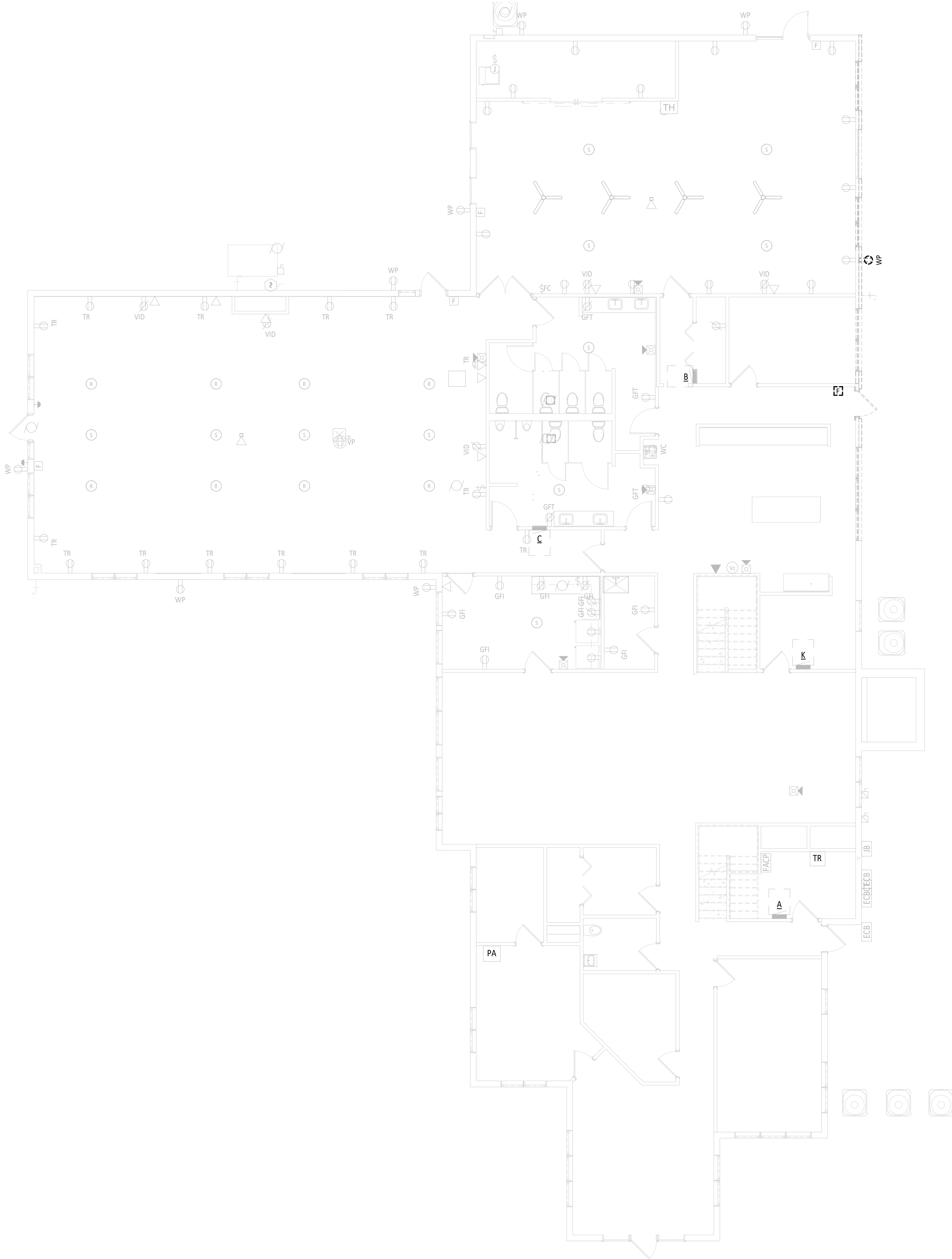
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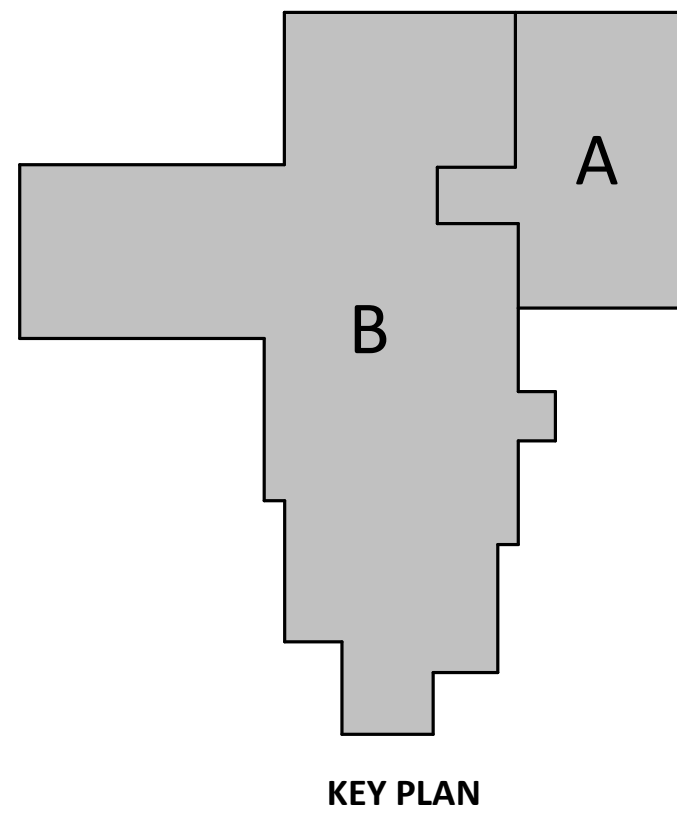
1 LIGHTING DEMOLITION PLAN  
ED1.1  
1/8" = 1'-0"



ALL DEVICES FADED BACK ON THIS DRAWING ARE EXISTING TO REMAIN. ALL DEVICES SHOWN BOLD AND/OR DASHED ON THIS DRAWING ARE TO BE DEMOLISHED UNLESS NOTED OTHERWISE.



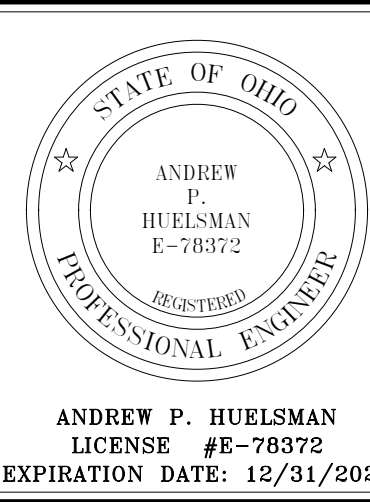
2 POWER AND SYSTEMS DEMOLITION PLAN  
ED1.1  
1/8" = 1'-0"



#### ELECTRICAL DEMOLITION GENERAL NOTES

- FIELD VERIFY ALL DIMENSIONS & CONDITIONS PRIOR TO START OF CONSTRUCTION. NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCY OR SITUATION DISCOVERED THAT DOES NOT CONFORM TO CONSTRUCTION DOCUMENTS.
- ALL WORK PERFORMED IS SUBJECT TO APPROVAL BY THE ARCHITECT AND OWNER. WORK FOUND TO BE UNSATISFACTORY SHALL BE REMOVED AND PROPERLY REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO OWNER.
- ALL ITEMS AND MATERIAL NOTED AS "REMOVE" SHALL BE PROPERLY DISPOSED OF BY THE CONTRACTOR OFF SITE. COORDINATE REMOVAL OF ITEMS WITH OWNER. OWNER HAS THE OPTION TO CLAIM ANY REMOVED ITEMS.
- TEMPORARILY SUPPORT ALL EQUIPMENT, CONDUIT, ETC. AS REQUIRED UNTIL FINAL SUPPORTS ARE IN PLACE.
- CLOSELY COORDINATE ALL WORK WITH THE OWNER AND WITH ALL OTHER CONTRACTORS HIRED BY THE OWNER. CLARIFY IN ADVANCE ANY QUESTIONS AS TO SCOPE OF WORK AND AREAS OF RESPONSIBILITY.
- CONDUITS, BOXES, AND CIRCUIT BREAKERS MAY BE REUSED WHERE POSSIBLE, IF NOT, MODIFY AS NEEDED FOR NEW WORK.
- DIV. 26 SHALL REFER TO ARCHITECTURAL, MECHANICAL, AND PLUMBING DEMOLITION PLANS FOR ELECTRICAL DISCONNECTION OR REMOVAL OF ANY ELECTRICAL EQUIPMENT.
- DIV. 26 SHALL PULL ALL WIRE AND CAP CONDUIT TO ALL CIRCUITS DISCONNECTED AND NOT REUSED.
- ALL ABANDONED WIRING ABOVE CEILING SHALL BE REMOVED PER THE REQUIREMENTS OF THE NEC.

| # | KEYNOTE DESCRIPTION  |
|---|--|
| 1 | REMOVE LIGHT FIXTURES IN THIS ROOM. SALVAGE LIGHTING CIRCUIT FOR NEW WORK. |
| 2 | REMOVE WALL SWITCH, SALVAGE BOX AND WIRING FOR NEW WORK.                   |
| 3 | REMOVE EXTERIOR LIGHT FIXTURE AND SALVAGE LIGHTING CIRCUIT FOR NEW WORK.   |



## TIPP SENIORS NEW ADDITION

528 NORTH WATKINS ST. TIPP CITY, OH 45371

#### ISSUANCES/REVISIONS

| CONSTRUCTION DOCUMENTS | 01/13/2026 |
|------------------------|------------|
|------------------------|------------|

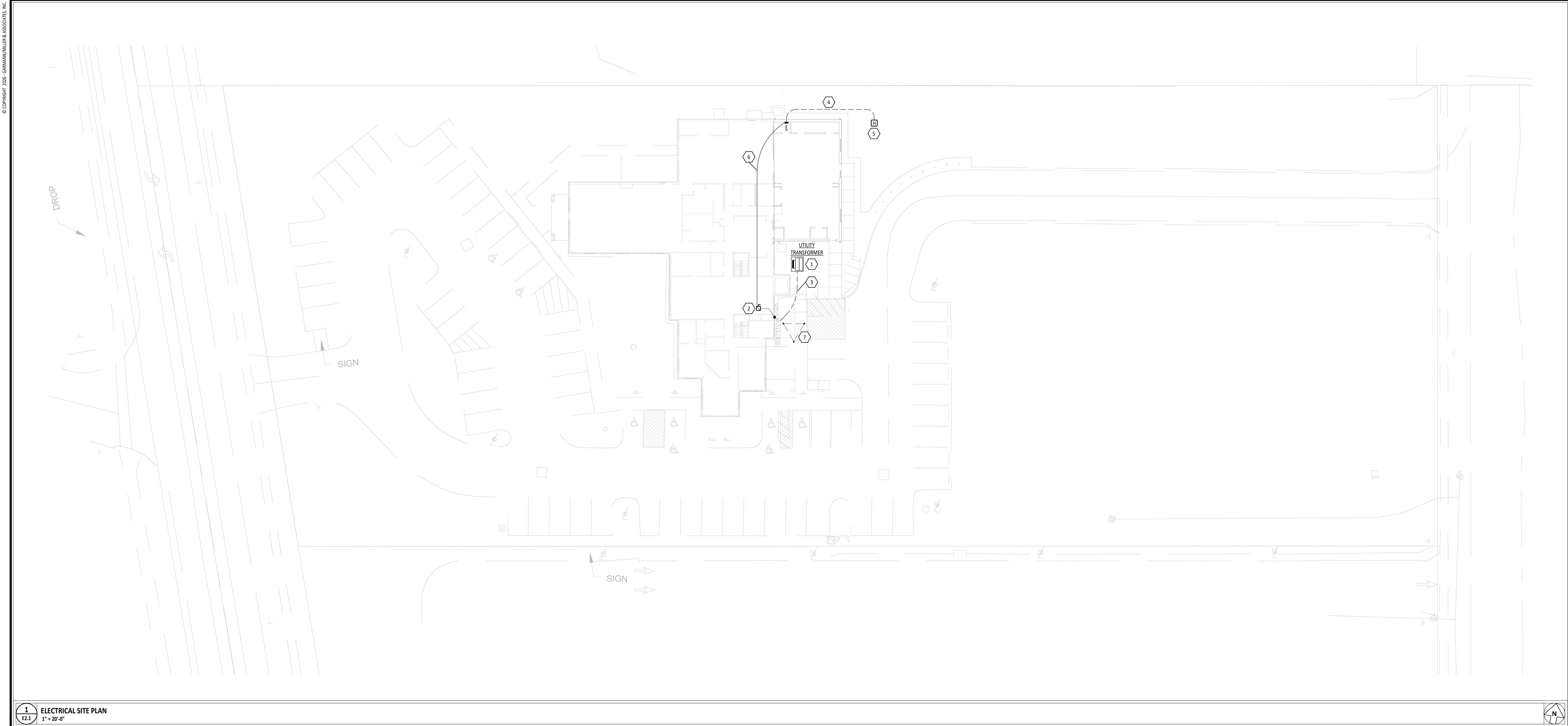
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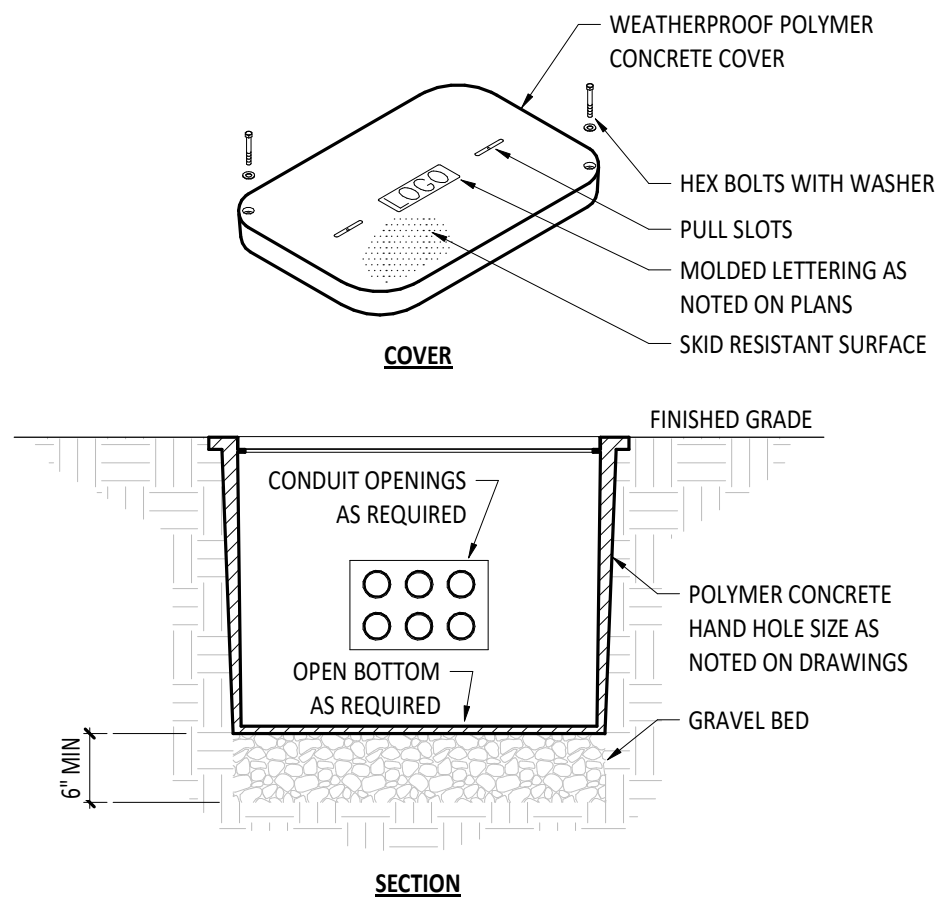
ELECTRICAL  
DEMOLITION  
PLANS

#### SHEET NUMBER:

ED1.1



1 ELECTRICAL SITE PLAN  
E2.1  
1" = 20'-0"



2 IN-GRADE HAND HOLE ENCLOSURE  
E2.1  
NTS

#### UTILITY COMPANY CONTACT

CITY OF TIPP CITY 260 S. GARBER DR., TIPP CITY, OH 45371  
JERRY GEE ELECTRIC SUPERINTENDANT  
(OFFICE) 937.667.0519

#### ELECTRICAL SITE GENERAL NOTES

- A SEE CIVIL SITE PLAN, AND LANDSCAPE SITE PLANS FOR EXACT LOCATION OF OTHER UTILITIES. INSTALLATION OF ELECTRICAL WORK SHALL BE COORDINATED WITH THE OTHER TRADES.
- B PROVIDE PULL WIRES IN ALL EMPTY CONDUITS.
- C ALL UNDERGROUND CONDUIT SHALL BE 1" SCHEDULE 40 PVC, UNLESS NOTED OTHERWISE.
- D COORDINATE CONSTRUCTION WITH THE ELECTRIC UTILITY COMPANY.

| # | KEYNOTE DESCRIPTION   |
|---|---|
| 1 | EXISTING UTILITY TRANSFORMER TO BE REPLACED BY UTILITY COMPANY IN SAME LOCATION. COORDINATE WORK WITH UTILITY COMPANY. COORDINATE SWITCHOVER WITH OWNER.  |
| 2 | PROVIDE NEW 200A, 208V, 3-POLE, 4-WIRE, HEAVY DUTY FUSIBLE SERVICE ENTRANCE RATED DISCONNECT IN NEMA 3R ENCLOSURE ON EXTERIOR BUILDING WALL. MOUNT ABOVE EXISTING JUNCTION BOX. COORDINATE MOUNTING LOCATION WITH EXISTING EQUIPMENT WITHIN AREA. PROVIDE LABEL IDENTIFYING EQUIPMENT SERVED. REFER TO ONE-LINE DIAGRAM FOR ADDITIONAL INFORMATION. |
| 3 | REPLACE UNDERGROUND FEEDER FROM SECONDARY OF UTILITY COMPANY TRANSFORMER TO EXISTING JUNCTION BOX. REFERENCE ONE-LINE DIAGRAM FOR FEEDER INFORMATION. COORDINATE WORK WITH UTILITY COMPANY.   |
| 4 | PROVIDE (2) 2" CONDUITS WITH PULLSTRING FROM PANELBOARD "E" TO HANDHOLE FOR FUTURE SHED POWER.  |
| 5 | PROVIDE 12"X12"X12" DEEP FLUSH IN GRADE HANDHOLE (QUAZITE OREG) FOR FUTURE SHED POWER. REFER TO DETAIL 2 ON THIS SHEET FOR ADDITIONAL INFORMATION.  |
| 6 | PROVIDE OVERHEAD FEEDER FROM SERVICE RATED DISCONNECT TO NEW PANEL "E". COORDINATE EXACT ROUTING IN FIELD. REFER TO ONE-LINE DIAGRAM FOR ADDITIONAL INFORMATION.  |
| 7 | PROVIDE NEW GROUND TRIAD, AND NEW GROUND CONDUCTOR TO WATER MAIN (3/0 CU MIN.), BOND TO EXISTING BUILDING STEEL, ETC. WITH 4 AWG CU MINIMUM. COORDINATE WITH EXISTING CONDITIONS.   |



## TIPP SENIORS NEW ADDITION

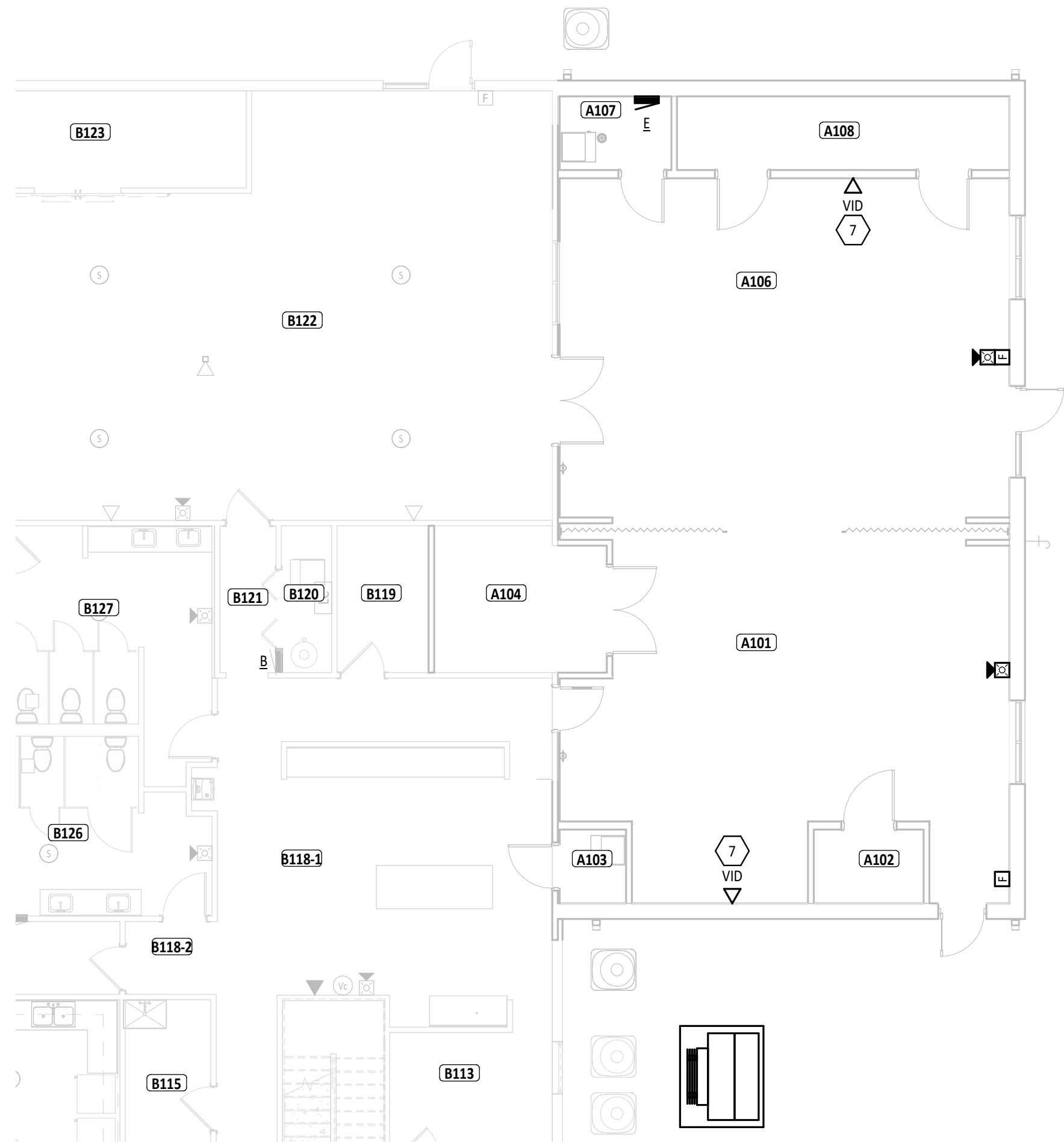
528 NORTH HAVET ST. TIPP CITY, OH 45371

| ISSUANCES/REVISIONS    |            |
|------------------------|------------|
| CONSTRUCTION DOCUMENTS | 02/13/2026 |

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| 250559.00       | AM        | HP          |

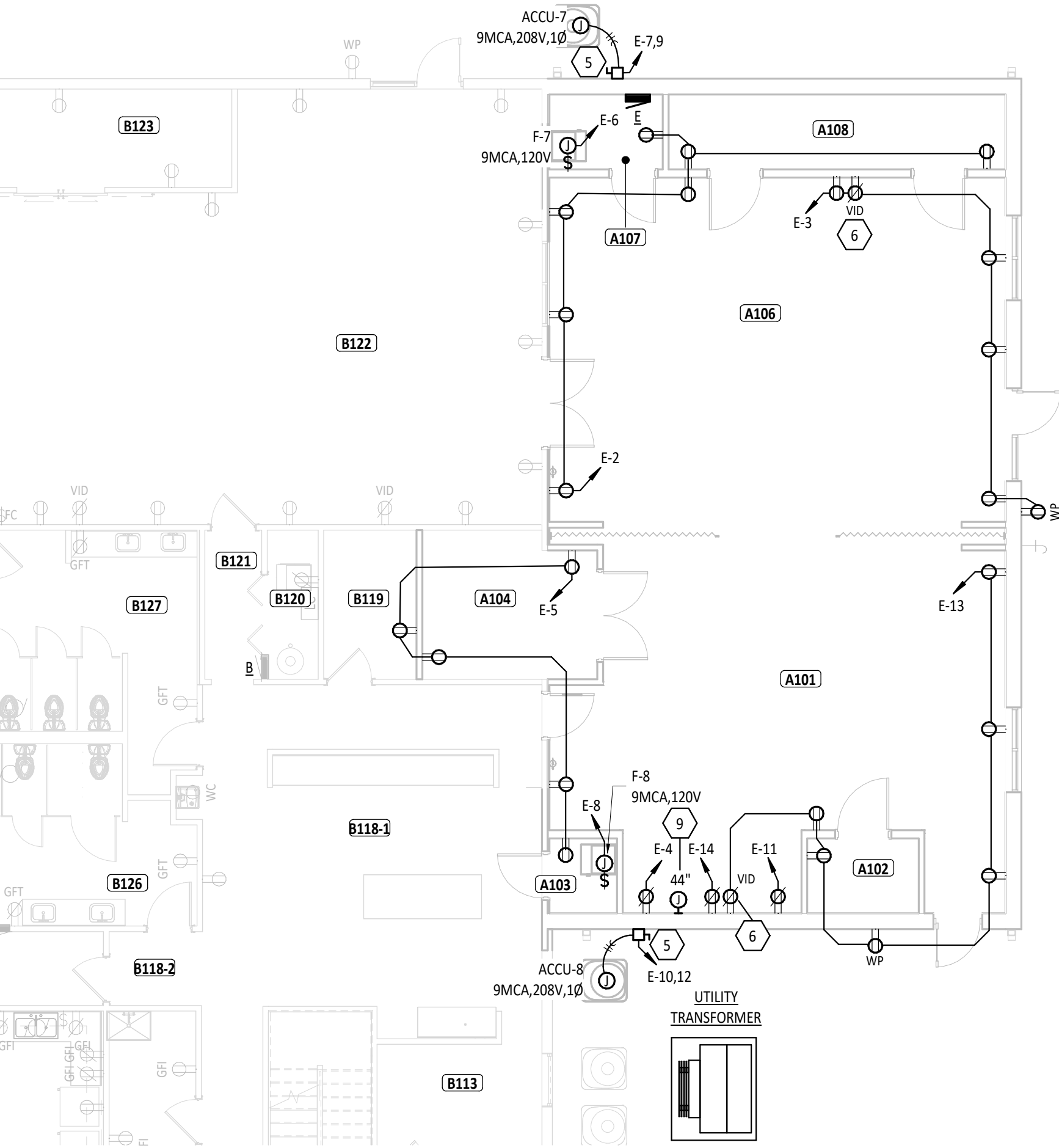
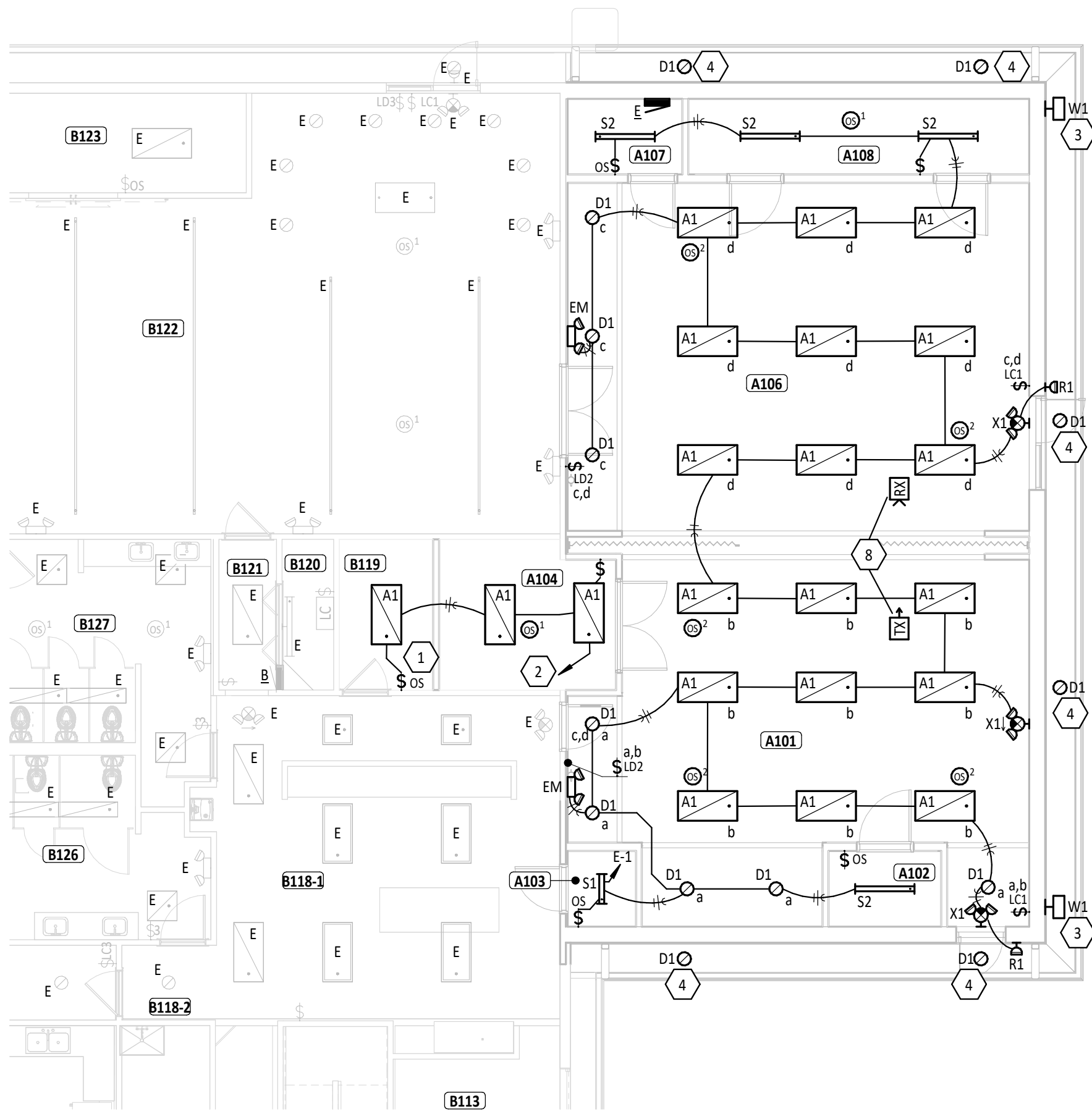
SHEET TITLE:  
**ELECTRICAL SITE PLAN**

SHEET NUMBER:  
**E2.1**



1 FIRST FLOOR SYSTEMS PLAN - UNIT A  
1/8" = 1'-0"

2 FIRST FLOOR LIGHTING PLAN - UNIT A  
1/8" = 1'-0"



3 FIRST FLOOR POWER PLAN - UNIT A  
1/8" = 1'-0"

FIRST FLOOR PLAN ROOM INDEX - UNIT A

| ROOM NUMBER | ROOM NAME             | AREA   |
|-------------|-----------------------|--------|
| A101        | FLEX SPACE            | 680 SF |
| A102        | TOOL STORAGE          | 39 SF  |
| A103        | MECHANICAL            | 24 SF  |
| A104        | TABLE & CHAIR STORAGE | 116 SF |
| A106        | FLEX SPACE            | 750 SF |
| A107        | MECHANICAL            | 39 SF  |
| A108        | STORAGE               | 117 SF |

FIRST FLOOR PLAN ROOM INDEX - UNIT B

| ROOM NUMBER | ROOM NAME        | AREA     |
|-------------|------------------|----------|
| B101        | LOBBY            | 310 SF   |
| B102        | CONFERENCE ROOM  | 250 SF   |
| B103        | CORRIDOR         | 180 SF   |
| B104        | COAT ROOM        | 113 SF   |
| B105        | OFFICE           | 201 SF   |
| B106        | FILE STORAGE     | 89 SF    |
| B107        | MECHANICAL       | 34 SF    |
| B108        | OFFICE           | 68 SF    |
| B109        | RESTROOM         | 53 SF    |
| B110        | STAIR            | 55 SF    |
| B111        | STORAGE          | 107 SF   |
| B112        | SOCIAL AREA      | 934 SF   |
| B113        | KITCHEN STORAGE  | 98 SF    |
| B114        | STAIR            | 75 SF    |
| B115        | CUSTODIAL        | 65 SF    |
| B116        | CATERING KITCHEN | 204 SF   |
| B117        | CORRIDOR         | 49 SF    |
| B118        | KITCHEN          | 563 SF   |
| B119        | KITCHEN STORAGE  | 64 SF    |
| B120        | MECHANICAL       | 35 SF    |
| B121        | CORRIDOR         | 41 SF    |
| B122        | RECREATION ROOM  | 1,156 SF |
| B123        | STORAGE          | 157 SF   |
| B124        | EVENT SPACE      | 1,739 SF |
| B125        | CORRIDOR         | 68 SF    |
| B126        | MEN'S RESTROOM   | 218 SF   |
| B127        | WOMEN'S RESTROOM | 252 SF   |

| # | KEYNOTE DESCRIPTION  |
|---|--|
| 1 | UTILIZE EXISTING BOX, SALVAGED FROM DEMOLITION, FOR NEW WALL SWITCH.   |
| 2 | CONNECT TO EXISTING LIGHTING CIRCUIT PREVIOUSLY SERVING THIS AREA.   |
| 3 | CONNECT LIGHT FIXTURE TO EXISTING EXTERIOR LIGHTING CIRCUIT. SECURITY LIGHT HAS INTEGRAL CONTROLS. MODIFY AND EXTEND CONDUIT AND CABLING AS REQUIRED.  |
| 4 | CONNECT LIGHT FIXTURE TO EXISTING EXTERIOR LIGHTING CIRCUIT AND CONTROLS. MODIFY AND EXTEND CONDUIT AND CABLING AS REQUIRED.   |
| 5 | PROVIDE 30A, 208V, 2-POLE HEAVY DUTY NON-FUSED DISCONNECT IN NEMA 3R ENCLOSURE.  |
| 6 | RECEPTACLE FOR FUTURE VIDEO DISPLAY. COORDINATE EXACT LOCATION WITH OWNER.   |
| 7 | TECHNOLOGY ROUGH-IN FOR FUTURE VIDEO DISPLAY. COORDINATE EXACT LOCATION AND REQUIREMENTS WITH OWNER.   |
| 8 | PROVIDE NIGHT PARTITION KIT FOR INDEPENDENT AND COMBINED LIGHTING CONTROL OF ROOMS BASED ON PARTITION USE. WHEN PARTITION IS CLOSED, CONTROL SHALL BE AS SHOWN ON PLAN. WHEN PARTITION IS OPEN, ZONES 'A' AND 'C' SHALL BE CONTROLLED TOGETHER AND ZONES 'B' AND 'D' SHALL BE CONTROLLED TOGETHER. |
| 9 | PROVIDE JUNCTION BOX FLUSH IN WALL WITH BLANK COVERPLATE FOR FUTURE 208V WOODWORKING EQUIPMENT. PROVIDE (1) 2" CONDUIT FROM PANEL 'E'.   |



ANDREW P. HUELTSMAN  
LICENSE #E-78372  
EXPIRATION DATE: 12/31/2027



MINSTER, OHIO | COLUMBUS, OHIO | INDIANAPOLIS, INDIANA  
carmannmiller.com

TIPP SENIORS NEW ADDITION

528 NORTH WARE ST. TIPP, OH 44871

ISSUANCES/REVISIONS

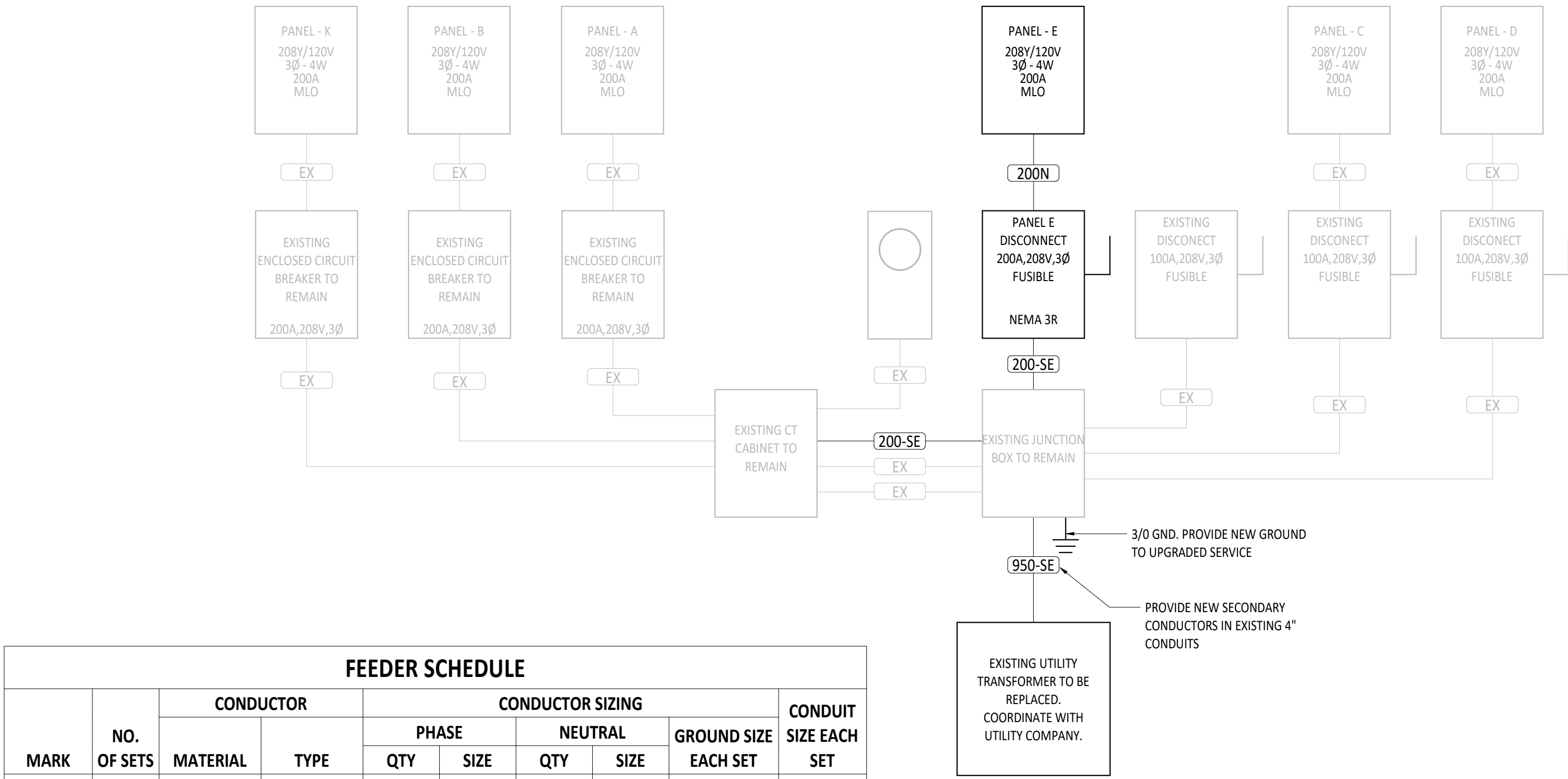
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SHEET TITLE:

ELECTRICAL PLANS

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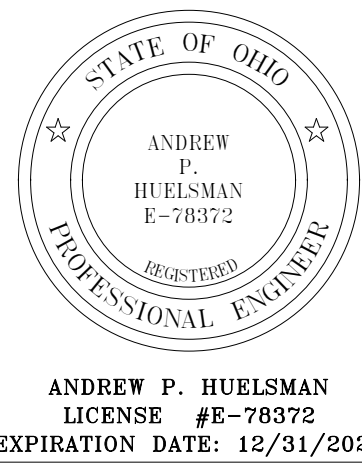
E3.1



1 ELECTRICAL ONE-LINE DIAGRAM  
E&I NTS

| LUMINAIRE SCHEDULE |              |       |             |       |        |                           |                 |             |  |  |  |          |
|--------------------|--------------|-------|-------------|-------|--------|---------------------------|-----------------|-------------|--|--|--|----------|
| MARK               | MOUNTING     | LAMPS |             |       |        | BALLAST/DRIVER            | FIXTURE VOLTAGE | INPUT WATTS | FIXTURE DESCRIPTION  | COMMENTS   | BASIS OF DESIGN & APPROVED MANUFACTURERS                               |          |
|                    |              | TYPE  | MIN. LUMENS | CCT   | CRI    |                           |                 |             |  |  | DESIGNER   | APPROVED |
| A1                 | RECESSED     | LED   | 5000 lm     | 3500K | 80 CRI | 0-10V DIMMING DOWN TO 10% | 0VOLT           | 35 W        | 2'x4' LED RECESSED BACK-LIT FLAT PANEL, ADJUSTABLE LUMENS AND COLOR TEMPERATURE, ALUMINUM FRAME, SATIN WHITE LENS, CSA/U.L. DAMP LOCATION LISTED.  | LUMENS SHALL BE SET TO MEDIUM, COLOR TEMPERATURE SHALL BE SET TO 3500K.                        | LITHONIA   CPX 2X4 ALO8 80CRI SWW7 SWL COLUMBIA   CB724 SERIES         |          |
| D1                 | RECESSED     | LED   | 1300 lm     | 3500K | 90 CRI | 0-10V DIMMING DOWN TO 10% | 120V            | 15 W        | 6" LED RECESSED WAFER DOWNLIGHT, ADJUSTABLE LUMENS AND COLOR TEMPERATURE, ALUMINUM DIE CAST FRAME, REMOTE DRIVER, POLYCARBONATE LENS, WHITE FINISH, CSA/U.L. WET LOCATION LISTED.  | LUMENS SHALL BE SET TO MEDIUM, COLOR TEMPERATURE SHALL BE SET TO 3500K.                        | JUNO   WFS ALO20 SWW5 90CRI 1MW GREEN CREATIVE   MFRGHO SERIES         |          |
| E                  | N/A          | N/A   | N/A         | N/A   | N/A    | N/A                       | N/A             | 0 W         | EXISTING LUMINAIRE TO REMAIN.  | N/A  | N/A  |          |
| ED                 | N/A          | N/A   | N/A         | N/A   | N/A    | N/A                       | N/A             | 0 W         | EXISTING LUMINAIRE TO BE REMOVED.  | N/A  | N/A  |          |
| EM                 | WALL         | LED   | N/A         | N/A   | N/A    | N/A                       | 0VOLT           | 1 W         | LED TYPE EMERGENCY LIGHT FIXTURE, INJECTION MOLDED, FLAME RETARDANT, HIGH IMPACT THERMOPLASTIC HOUSING, PROVIDED WITH TEST SWITCH, STATUS INDICATOR, AND RECHARGEABLE BATTERY, 90 MINUTE BATTERY BACKUP, WHITE HOUSING, U.L. LISTED. | MOUNT 8'-0" AFF. UNDO. CONNECT AHEAD OF LOCAL SWITCHING.                                       | LITHONIA   EU2L COMPASS   CU2 SERIES                                   |          |
| R1                 | WALL         | LED   | N/A         | N/A   | N/A    | N/A                       | 3.6VDC          | 3 W         | LED REMOTE HEAD, GRAY CAST ALUMINUM, SEALED AND GASKETED, U.L. WET LOCATION LISTED.  | MOUNT 8'-0" AFF. UNDO. CONNECT TO EXIT LIGHT 'X1'.   | LITHONIA   ELA QWP L0309 COMPASS   C0RS SERIES                         |          |
| S1                 | SURFACE      | LED   | 2000 lm     | 3500K | 80 CRI | 0-10V DIMMING DOWN TO 10% | 0VOLT           | 16 W        | 2' LED STRIP LIGHT, ADJUSTABLE LUMENS AND COLOR TEMPERATURE, COLD-ROLLED STEEL HOUSING, WHITE HOUSING, CSA/U.L. LISTED.  | LUMENS SHALL BE SET TO MEDIUM, COLOR TEMPERATURE SHALL BE SET TO 3500K.                        | LITHONIA   CSS L24 ALO15 MVOLT MIN10 ZT SWW3 80CRI ILP   VS2-2L SERIES |          |
| S2                 | SURFACE      | LED   | 4000 lm     | 3500K | 80 CRI | 0-10V DIMMING DOWN TO 10% | 0VOLT           | 30 W        | 4' LED STRIP LIGHT, ADJUSTABLE LUMENS AND COLOR TEMPERATURE, COLD-ROLLED STEEL HOUSING, WHITE HOUSING, CSA/U.L. LISTED.  | LUMENS SHALL BE SET TO MEDIUM, COLOR TEMPERATURE SHALL BE SET TO 3500K.                        | LITHONIA   CSS L48 ALO3 MVOLT MIN10 ZT SWW3 80RI ILP   V54-3L SERIES   |          |
| W1                 | WALL         | LED   | 2600 lm     | 4000K | 80 CRI | ELECTRONIC DRIVER         | 120V            | 26 W        | LED EXTERIOR SECURITY FLOOD LIGHT WITH TWO HEADS, DIE CAST ALUMINUM HOUSING, INTEGRAL PHOTOCELL, ADJUSTABLE LUMEN OUTPUT, ADJUSTABLE COLOR TEMPERATURE, INTEGRAL PIR MOTION SENSOR, DARK BRONZE FINISH, U.L. WET LISTED.             | LUMENS SHALL BE SET TO HIGH, COLOR TEMPERATURE SHALL BE SET TO 4000K. WALL MOUNT AT 7'-6" AFF. | LITHONIA   HGK LED 2RH ALO SWW2 120 PIR DOB EXD   ML-2L SERIES         |          |
| X1                 | CEILING/WALL | LED   | N/A         | N/A   | N/A    | N/A                       | 0VOLT           | 3 W         | COMBINATION EXIT/EMERGENCY LIGHT WITH BATTERY BACKUP (90 MINUTES MINIMUM), WHITE THERMOPLASTIC HOUSING WITH TWO ADJUSTABLE EMERGENCY HEADS, RED LETTERING, U.L. LISTED.  | CONNECT AHEAD OF LOCAL SWITCHING. PROVIDE CONNECTIONS TO REMOTE HEAD 'R1' AS NECESSARY.        | LITHONIA   LHQM LED R HO COMPASS   CRRRC SERIES                        |          |

| PANEL E  |                            |                       |      |             |            |             |           |             |      | AIC RATING: 10,000 A<br>VOLTAGE: 208Y/120V 3PH 4W<br>MAINS RATING: 225 A<br>MAINS TYPE: MLO |                            |                |  |  |         |  |  |  |  |  |  |
|--|----------------------------|-----------------------|------|-------------|------------|-------------|-----------|-------------|------|---|----------------------------|----------------|--|--|---------|--|--|--|--|--|--|
| MOUNTING: SURFACE<br>FED FROM: UTILITY TRANSFORMER<br>ENCLOSURE: TYPE 1<br>LOCATION: MECHANICAL A107   |                            |                       |      |             |            |             |           |             |      |   |                            |                |  |  |         |  |  |  |  |  |  |
| PANEL NOTES:<br>PROVIDE PANEL WITH SURGE PROTECTION DEVICE. PROVIDE CIRCUIT BREAKER PER MANUFACTURER RECOMMENDATIONS IF EXTERNAL (MOUNT AS CLOSE AS POSSIBLE TO PANELBOARD). |                            |                       |      |             |            |             |           |             |      |   |                            |                |  |  |         |  |  |  |  |  |  |
| N<br>O<br>T<br>E   | CIRCUIT DESCRIPTION        | P<br>O<br>L<br>E<br>S | AMP  | C<br>K<br>T | A          | B           | C         | C<br>K<br>T | AMP  | P<br>O<br>L<br>E<br>S   | CIRCUIT DESCRIPTION        | O<br>T<br>E    |  |  |         |  |  |  |  |  |  |
|  |                            |                       |      |             |            |             |           |             |      |   |                            |                |  |  |         |  |  |  |  |  |  |
|  | LIGHTING                   | 1                     | 20 A | 1           | 946 / 1260 |             |           | 2           | 20 A | 1   | RECEPTACLE FLEX SPACE A106 |                |  |  |         |  |  |  |  |  |  |
|  | RECEPTACLE FLEX SPACE A106 | 1                     | 20 A | 3           |            | 1080 / 180  |           | 4           | 20 A | 1   | RECEPTACLE WOODWORKING     |                |  |  |         |  |  |  |  |  |  |
|  | RECEPTACLE MECHANICAL A103 | 1                     | 20 A | 5           |            |             | 900 / 864 | 6           | 15 A | 1   | FURNACE F-7                |                |  |  |         |  |  |  |  |  |  |
|  | ACCU-7                     | 2                     | 20 A | 7           | 749 / 864  |             |           | 8           | 15 A | 1   | FURNACE F-8                |                |  |  |         |  |  |  |  |  |  |
|  | RECEPTACLE WOODWORKING     | 1                     | 20 A | 11          |            | 749 / 749   |           | 10          | 20 A | 2   | ACCU-8                     |                |  |  |         |  |  |  |  |  |  |
|  | RECEPTACLE FLEX SPACE A101 | 1                     | 20 A | 13          | 1260 / 180 |             |           | 12          | 20 A | 1   | RECEPTACLE WOODWORKING     |                |  |  |         |  |  |  |  |  |  |
|  | SPARE BREAKER              | 1                     | 20 A | 15          |            | 0 / 0       |           | 16          | 20 A | 1   | SPARE BREAKER              |                |  |  |         |  |  |  |  |  |  |
|  | SPARE BREAKER              | 1                     | 20 A | 17          |            |             | 0 / 0     | 18          | 20 A | 1   | SPARE BREAKER              |                |  |  |         |  |  |  |  |  |  |
|  | SPARE BREAKER              | 1                     | 20 A | 19          | 0 / 0      |             |           | 20          | 20 A | 1   | SPARE BREAKER              |                |  |  |         |  |  |  |  |  |  |
|  | SPARE BREAKER              | 1                     | 20 A | 21          |            | 0 / 0       |           | 22          | 20 A | 1   | SPARE BREAKER              |                |  |  |         |  |  |  |  |  |  |
|  | SPACE ONLY                 | 1                     | --   | 23          |            |             | 0 / 0     | 24          | --   | 1   | SPACE ONLY                 |                |  |  |         |  |  |  |  |  |  |
|  | SPACE ONLY                 | 1                     | --   | 25          | 0 / 0      |             |           | 26          | --   | 1   | SPACE ONLY                 |                |  |  |         |  |  |  |  |  |  |
|  | SPACE ONLY                 | 1                     | --   | 27          |            | 0 / 0       |           | 28          | --   | 1   | SPACE ONLY                 |                |  |  |         |  |  |  |  |  |  |
|  | SPACE ONLY                 | 1                     | --   | 29          |            |             | 0 / 0     | 30          | --   | 1   | SPACE ONLY                 |                |  |  |         |  |  |  |  |  |  |
|  | SPACE ONLY                 | 1                     | --   | 31          | 0 / 0      |             |           | 32          | --   | 1   | SPACE ONLY                 |                |  |  |         |  |  |  |  |  |  |
|  | SPACE ONLY                 | 1                     | --   | 33          |            | 0 / 0       |           | 34          | --   | 1   | SPACE ONLY                 |                |  |  |         |  |  |  |  |  |  |
|  | SPACE ONLY                 | 1                     | --   | 35          |            |             | 0 / 0     | 36          | --   | 1   | SPACE ONLY                 |                |  |  |         |  |  |  |  |  |  |
|  | SPACE ONLY                 | 1                     | --   | 37          | 0 / 0      |             |           | 38          | --   |   |                            |                |  |  |         |  |  |  |  |  |  |
|  | SPACE ONLY                 | 1                     | --   | 39          |            | 0 / 0       |           | 40          | --   | 3   | SPACE FOR SPD              |                |  |  |         |  |  |  |  |  |  |
|  | SPACE ONLY                 | 1                     | --   | 41          |            |             | 0 / 0     | 42          | --   |   |                            |                |  |  |         |  |  |  |  |  |  |
| VA SUBTOTALS:  |                            |                       |      |             | 5220 VA    |             |           |             |      | 2758 VA   |                            |                |  |  | 2693 VA |  |  |  |  |  |  |
| AMP SUBTOTALS:   |                            |                       |      |             | 44 A       |             |           |             |      | 23 A  |                            |                |  |  | 22 A    |  |  |  |  |  |  |
| LOAD TYPE:   | CONNECTED VA               | DEMAND FACTOR         |      | DEMAND VA   |            | DEMAND AMPS |           | SUBTOTAL    |      | PHASE   |                            | CIRCUIT NOTES: |  |  |         |  |  |  |  |  |  |
|  | LIGHTING                   | 946 VA                |      | 125.0%      |            | 1183 VA     |           | 3 A         |      | 5220 VA   |                            |                |  |  |         |  |  |  |  |  |  |
|  | Other                      | 0 VA                  |      | 0.0%        |            | 0 VA        |           | 0 A         |      | 2758 VA   |                            |                |  |  |         |  |  |  |  |  |  |
|  | Power                      | 4723 VA               |      | 70.0%       |            | 3306 VA     |           | 9 A         |      | 2693 VA   |                            |                |  |  |         |  |  |  |  |  |  |
|  | RECEPTACLE                 | 5040 VA               |      | 100.0%      |            | 5040 VA     |           | 14 A        |      | PANEL TOTALS  |                            |                |  |  |         |  |  |  |  |  |  |
|  |                            |                       |      |             |            |             |           |             |      | 10666 VA  |                            | CONNECTED      |  |  |         |  |  |  |  |  |  |
|  |                            |                       |      |             |            |             |           |             |      | 9477 VA   |                            | DEMAND         |  |  |         |  |  |  |  |  |  |
|  |                            |                       |      |             |            |             |           |             |      | 30 A  |                            | CONNECTED      |  |  |         |  |  |  |  |  |  |
|  |                            |                       |      |             |            |             |           |             |      | 26 A  |                            | DEMAND         |  |  |         |  |  |  |  |  |  |
| 25059.00 - TIPP SENIORS NEW ADDITION   |                            |                       |      |             |            |             |           |             |      |   |                            |                |  |  |         |  |  |  |  |  |  |



TIPP SENIORS NEW ADDITION

528 NORTHVALE ST. TIPP CITY, OH 45371

| ISSUANCES/REVISIONS    |            |  |
|------------------------|------------|--|
| CONSTRUCTION DOCUMENTS | 01/13/2025 |  |

|                 |           |             |
|-----------------|-----------|-------------|
| PROJECT NUMBER: | DRAWN BY: | CHECKED BY: |
| 25059.00        | ALM       | HUP         |

SHEET TITLE:  
**ELECTRICAL ONE-LINE DIAGRAM AND SCHEDULES**

SHEET NUMBER:  
**E4.1**