

Addendum 01

DOCUMENT 00 91 00

DATE: September 17, 2026

PROJECT: Shenandoah School Corporation New Transportation Center
5100 North Raider Road
Middletown, Indiana 47356

PROJECT #: 25107.00

OWNER: Shenandoah School Corporation
5100 North Raider Road
Middletown, Indiana 47356

ARCHITECT: Garmann Miller
38 South Lincoln Drive
P.O. Box 71
Minster, Ohio 45865

TO: Prospective Bidders

This addendum form is a part of the Contract Documents and modifies the Construction Documents dated September 2, 2026, with amendments and additions noted below.

Acknowledge receipt of this Addendum on the Bid Form. Failure to do so may disqualify the Bidder.

This addendum consists of 2 pages, 1 specification section, and 3 re-issued drawing sheets.

FOR INFORMATION ONLY

1. Pre-bid meeting minutes and the pre-bid meeting sign-in sheet are attached.

CHANGES TO THE PROJECT MANUAL

1. Section 00 73 00 AIA 201 Supplementary Conditions, Article 8 – Time: Remove article in its entirety.



CHANGES TO THE DRAWINGS

1. Drawing sheet A1.1
 - a. Revised concrete floor slopes to drain in the maintenance garage
2. Drawing Sheet P2.1
 - a. Revise depth of trench drains, to match slope in the maintenance garage.
3. Drawing Sheet S1.1
 - a. Revised the layout of the floor slopes in the maintenance bay.

ATTACHMENTS

The following attachments are included and are part of this addendum:

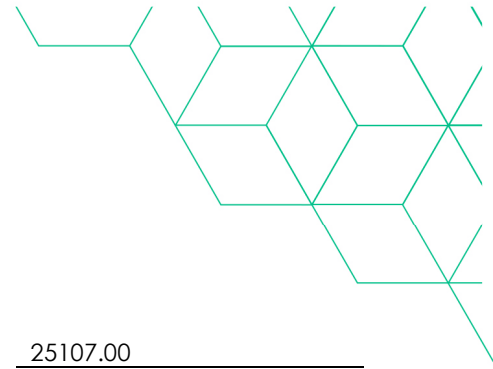
Pre-bid meeting minutes and the pre-bid meeting sign-in sheet.

Specification Sections: 00 73 00

Drawing Sheets: A1.1, P2.1, S1.1

END OF ADDENDUM





Pre-Bid meeting

Project name	Shenandoah School Corporation New Transportation Center	GM project no.	25107.00
Meeting date	September 16, 2026 – 11:00 AM	Meeting location	Shenandoah Admin Bldg.

Outline

1. Attendees: Sign in sheet
2. Introductions
3. Project overview
4. Bidding
 - a. Date: September 30, 2026
 - b. Location:
Attn. TONY BRANDON
Address: 5100 North Raider Road
Address: Middletown, Indiana 47356
 - a. Use the bid form provided
The bid opening will be at 11:00 AM on September 30, 2026 at Shenandoah School Corporation Administration Building.
-give sealed bids to Melonie Furnish at the front desk
 - b. Plans will be submitted to State of Indiana DHS for review and design release after the bid date, costs to be paid by owner.
5. Scope of Work
 - a. General Construction:
 - i. Provide a wood stud building for bus maintenance, with two bus bays and mezzanine on top of administration spaces. Project also includes four post framed canopy buildings for bus storage, to have standard metal siding and metal roof.
 - b. Site Work:
 - i. Provide asphalt pavement for bus and passenger vehicle circulation around new buildings. Provide concrete pavement for pedestrian circulation around new buildings. Provide fencing to enclose the new transportation center, as well as enclose the existing football field and track. Provide bollards at new building corners and around existing utility poles. Relocate existing discus cage posts and provide a new concrete pad, ring, and netting for discus field event.
 - c. Plumbing Work:
 - i. Includes the following: Installation of a reduced pressure backflow preventer on the incoming water main, piping to the water softener and domestic hot water heater, and routing of water and sanitary to all of the listed fixtures. Installation of trench drains, floor drains, cleanouts, and oil separator is also included.



Coordination with the general contractor is required. Refer to plans for additional information.

- d. HVAC Work:
 - i. Includes the following: Installation of an air source split system heat pump, controls, supply and return ductwork, grilles/diffusers, louvers, condensate piping, refrigerant piping and dampers. Installation of ceiling cabinet fans, electric unit heaters, sidewall exhaust fan, dampers, louvers and controls. Coordination with the general contractor is required. Refer to plans for additional information.
- e. Electrical Work:
 - i. Provide power to new site location. Provide site and building lighting and receptacles throughout new building and bus canopies. Install panels for new building and bus canopies. Disconnect power from existing bus canopy to be demolished and refeed power to existing to remain canopy. Utility company to replace utility pole, meter, and CT cabinet at the bus canopy being demolished. Relocate the disconnect and panelboard feeding the existing canopy.
- f. Technology Work:
 - i. Provide a fiber-optic connection to the new transportation building. Provide horizontal communications cabling to serve data outlet locations in the new building as well as the bus canopies. Provide a wall-mount technology enclosure, technology rack equipment, and bonding and grounding of technology equipment. Provide access control for new doors.

6. Alternates

- a. Alternate 01: Maintenance Slab Thickness
 - i. Description: Provide 8" thick slab in lieu of the base bid 6" slab as indicated on the drawings.
- b. Alternate 02: Heavy Duty Asphalt
 - i. Description: Provide heavy duty asphalt pavement in lieu of the base bid standard duty asphalt pavement as indicated on the drawings.
- c. Alternate 03: Sectional Door Glazing
 - i. Description: Provide glazing in sectional doors in lieu of the base bid full panels with no glazing as indicated on the drawings.
- d. Alternate 04: Fabricated Metal Logo Signage
 - i. Description: Provide fabricated metal logo signage as indicated on the drawings.

7. Contingency amounts to be included in bid

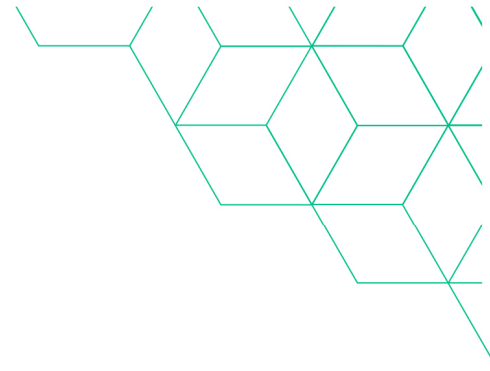
- a. Construction Contingency: \$160,000
- b. Aid to Construction Allowance: \$60,000

8. Garmann/Miller & Associates, Inc will help coordinate contracts

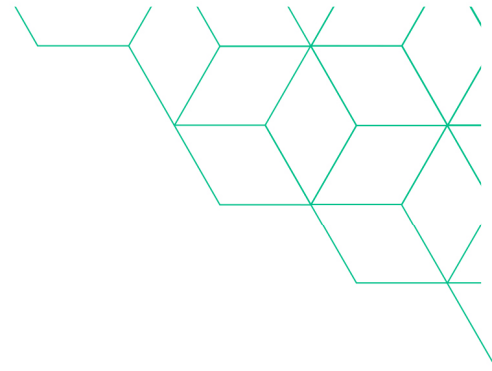
- a. AIA A101 – precon documents sent to us promptly to help issue contract
- b. All questions and correspondence to go through Garmann Miller
- c. All RFIs to go through Garmann Miller
- d. Pay applications to go to Garmann Miller
- e. Garmann Miller will schedule a preconstruction meeting with the contractor after



the notice of award



9. Schedule
 - a. Tentative award date – October 12, 2026 Board Meeting
 - b. Start of construction – March 1, 2027
 - i. Submittals and Procurement can begin anytime after awarded
 - c. Completion date – December 31, 2027
10. General conditions
 - a. Waste Removal: Each prime contractor
 - b. General Contractor
 - i. Responsible for construction schedule and general supervision
 - ii. Submit preliminary schedule 10 days after notice to proceed
 - iii. Responsible for scheduling and administering job meetings; prepare agenda, responsible for meeting minutes and distributing copies
 - c. Responsible for field office / storage trailer (if needed) – Discuss location at Pre-Bid Meeting
 - i. Responsible for telephone service/fax to field office.
 - d. Sanitary facilities – temporary facilities provided by contractor. Location TBD
 - e. Barriers & Fencing – to be provided by contractor.
 - f. Designated Contractor Parking – location TBD, will be near project site and out of the way of bus traffic.
 - g. Exterior and interior enclosures – n/a
 - h. Project sign – if desired
 - i. Background checks are required.
11. Temporary electricity
 - a. Contractor to pay to connect/disconnect, and service GC field office.
 - b. Cost of energy use by Owner.
12. Temporary water
 - a. The general contractor shall connect to water utility supply and pay for installation of temporary metered service including tap fees and extend temporary water service to location required.
 - b. Cost by Owner.
13. Substitution request by end of day, September 21, 2026
14. Site Visits
 - a. Directly following pre-bid meeting
 - b. By appointment – coordinate with Owner [Tony Brandon]
15. Tentative Addenda Dates
 - a. Addendum 01 – 9/17/26
 - b. Addendum 02 – 9/25/26



16. Correspondence

- a. Correspondence to run through the Garmann Miller
 - i. Taylor Luth, Project Manager
 - 1. tluth@creategm.com
 - 2. 419.305.7107

17. Potential Bidder Questions:

- a. **For the liquidated damages, should the completion date be a total number of days or calendar date?**
 - i. **Garmann Miller to look into this and re-issue specifications in addendum.**
- b. **Does the school have a specific vendor to complete background checks?**
 - i. **They utilize Safe Hiring Solutions.**
- c. **Will any school events be affected by the construction schedule?**
 - i. **Potentially some track meets and discus events. This schedule will be coordinated with the awarded bidder.**

SECTION 00 73 00 - SUPPLEMENTARY CONDITIONS

RE

MODIFICATIONS TO AIA

These Supplementary Conditions amend or supplement the General conditions of the Contract for Construction (AIA Document A201, 2017 edition) and other provisions of the Contract Documents as indicated below. All provisions which are not so amended or supplemental remain in full force and effect.

The terms used in these Supplementary Conditions which are defined in the General Conditions of the Contract of Construction (AIA Document A201, 2017 Edition) have the meanings assigned to them in the General Conditions.

ARTICLE 1 - GENERAL PROVISIONS

Paragraph 1.1 Basic Definitions: Add the following paragraphs

1.1.9 Furnish: The term 'furnish' shall mean to purchase and deliver product to the site ready for installation.

1.1.10 Install: The term 'install' shall mean to take furnished product and assemble, erect, secure in place, connect in operation as applicable.

1.1.11 Provide: The term 'provide' shall mean to furnish and install.

Paragraph 1.2 Correlation and Intent of the Contract Documents:

Add the following paragraph 1.2.1.1

1.2.1.1 In the event of inconsistencies within or between the Contract Documents, the Contractor shall provide the better quality or greater quantity of Work and shall comply with the stricter requirements.

ARTICLE 2 - OWNER

Paragraph 2.1.2.1; Add the following:

The Owner shall prepare a Notice of Commencement for the Project as required by the Indiana Revised Code and provide a copy to the Contractor.

Add paragraph 2.1.3

2.1.3 The Owner shall mean:

Shenandoah School Corporation
5100 North Raider Road
Middletown, Indiana 47356

Paragraph 2.3.4: Modify to read

2.3.4 The owner shall not be responsible for furnishing surveys or other information as to the physical characteristics, legal limitations, or utility locations for the Project site, except as included in the Contract Documents. The Contractor shall confirm the location of each utility.

ARTICLE 3 - CONTRACTOR

Article 3.2 Review of Contract Documents and Field Conditions by Contractor.

Add the following paragraph 3.2.2.1

3.2.2.1 If the contractor finds any perceived conflict, error, omission or discrepancy on, or between the drawings, specifications, or any of the contract documents, the contractors, before proceeding with the work, shall submit a request to the architect for an interpretation or clarification, the contractor shall be responsible for the prompt delivery of such request.

The architect shall respond to the requests for interpretation of the contract documents within three (3) business days.

3.2.2.2 Any interpretation of the Contract Documents made by any party other than the architect or in any manner other than writing, shall not be binding and the contractor shall not rely upon any such interpretation.

Article 3.4 Labor and Material

Paragraph 3.4.2 add the following at the end of the paragraph:

See Substitution Procedures in Section 01 60 00 - Product Requirements for additional requirements.

Article 3.5 Warranty

Add the following to paragraph 3.5.1

The contractor shall warranty and guarantee that all work is in conformity with the Contract Documents and free from defects in workmanship, materials and equipment for a period of one (1) year in addition to other warranties and guarantees specified in the Contract Documents. The performance bond will remain in effect during the warranty period

The warranty and guarantee time period shall commence on the date that the Certificate of Substantial Completion is issued by the architect unless otherwise provided in writing.

The warranty and guarantee provided in this article shall be in addition to and not limitation of any other warranty and guarantee or remedy provided by law or by the Contract Documents.

Should defects in the work become apparent within the warranty and guarantee period, the owner shall promptly notify the contractor in writing and provide a copy of the notice to the architect. Within ten (10) days of receipt of the notice, the contractor shall visit the project in the company of the owner to determine the extent of the defects and shall promptly repair or replace the defective work, including adjacent work damaged as a result of such defects and as a result of remedying the defects whether or not such adjacent work was originally provided by the contractor. The contractor shall be responsible for the cost of temporary materials or equipment required during the repair or replacement of the defective work.

If the defective work is considered by the Owner to be an emergency, the owner may require the contractor to visit the project within one (1) day of receipt of the notice.

Work which is repaired or replaced by the contractor shall be inspected and accepted by the Owner. The repaired and replaced work shall be guaranteed by the contractor for one (1) year from the date of acceptance by the owner.

Article 3.6 Taxes

Add the following:

The Contractor acknowledges that the Owner is a political subdivision of the State of Indiana or tax exempt organization and is exempt from state sales, use and commercial activity taxes. Upon written request, the Owner will provide the Contractor with an applicable certificate of exemption.

Article 3.7 Permits, Fees and Notices

Omit paragraph 3.7.1 and add the following:

3.7.1 The Owner shall secure and pay for the Certificate of Plan Approval and Plumbing Approval as required by the Indiana Building Code. The owner will pay for the sprinkler and fire alarm fees as required by the Indiana Building Code with the sprinkler contractor and the fire alarm contractor submitting drawings and calculations required (seven sets minimum) to the architect. The contractor shall secure and pay for all other building permits, tap fees, user fees, and governmental fees, licenses and inspections.

The contractor is to verify the exact cost of permits, fees, licenses and inspections. No

additional cost or change orders will be permitted because of causal or approximated fees or escalation of fees occurring after award of contract.

Article 3.11 Documents and Samples at the Site

Add the following paragraph 3.11.1

3.11.1 The Contractor shall maintain readily accessible to the authorities having jurisdiction, the Architect, and the Owner drawings, project manual and related documents approved by appropriate building departments and authorities having jurisdiction.

Article 3.12 Shop Drawings, Product Data and Samples

Add the following paragraph 3.12.11

3.12.11 Refer to Section 01 30 00 Administrative Requirements for additional requirements.

Article 3.13 Use of the Site

Add the following paragraphs

3.13.1 Damage to road, features, or the grounds, resulting from hauling, storage of materials, or other activities connected with the work shall be repaired by the contractor at his expense to the satisfaction of the Architect.

3.13.2 The contractor and any entity for whom the contractor is responsible shall not erect any sign at the project site without the consent of the owner.

Article 3.16 Access to Work

Add the following to paragraph 3.16

The contractor shall provide proper facilities for such access and observation.

Add the following paragraph 3.16.1

3.16.1 The Contractor shall provide access to the work in preparation and progress as required for special inspection required by the building department or authority having jurisdiction.

ARTICLE 4 - ARCHITECT

Article 4.1.1

Add the following paragraph 4.1.1.1

4.1.1.1 Architect shall mean: Garmann/Miller and Associates, Inc., 38 South Lincoln Drive, Minster, Ohio 45865

ARTICLE 9 PAYMENT AND COMPLETION

ARTICLE 9.3 - Applications for Payment

Add the following to Article 9.3.1

9.3.1.3 The form of Application for Payment will be a notarized AIA Document G702, Application and Certificate for Payment with AIA Document G703, Continuation Sheet. Applications for payment shall be made at approximately 30 day intervals. The contractor shall submit in triplicate the Application for Payment and Continuation Sheet. The Continuation Sheet (G703) shall be prepared the same as the Schedule of Values.

9.3.1.4 Contractor shall submit with each Application for Payment a notarized affidavit that payroll, bills for equipment, material and any other indebtedness connected with the work for which the previous Applications for Payment submitted and the owner might any way be responsible, have been paid. Also, submit release of liens arising out of the contract from each subcontractor, supplier, material person and laborer of the contract.

9.3.1.5 Schedule of Values (AIA Form G703 - Application and Certificate for Payment Continuation Sheet) shall utilize the table of contents of the Project Manual to identify

each line item with title and number of the specification Section. Each line item including subcontracted work shall be shown with separate amounts for labor and material.

9.3.1.5.1 Identify on separate line items; Bonds, Insurance, Permits, Allowances, Site Mobilization, and Project Closeout (punch list, attic stock, project record drawings, training, final cleaning).

9.3.1.5.2 If the project is of sufficient size or nature, the Schedule of Values various items shall be subdivided into areas or units when requested by the Architect.

9.3.1.5.3 The architect reserves the right to use the approved Schedule of Values to determine the cost or credit resulting from any changes to the Work.

9.3.1.6 Labor Payments - Partial payments for labor performed under lump sum contract shall be made at the rate of 96 percent of the amount invoiced through the Application for Payment which shows the total contract completion at 50 percent or greater. After the contract is 50 percent complete, as evidenced by payments in the amount at least 50 percent of the labor contract price to the contractor, no additional funds will be retained. Retained funds will be deposited accordance to Paragraph 9.3.1.8

9.3.1.7 Material Payments - Partial payments for materials delivered on the site, or other point in the vicinity of the Project, or otherwise stored, as approved by the Architect, under lump sum contract shall be made at the rate of 92 percent of the amount invoiced. Payment for material incorporated into the project shall be made at the rate of 100 percent of scheduled value. Retained funds will be deposited accordance to Paragraph 9.3.1.8. The balance such invoiced cost shall be paid when such material is incorporated into and becomes part of the Project.

9.3.1.8 All funds retained shall be deposited in an escrow account with a bank in the state in accordance with the term as, and conditions provided in an escrow agreement executed by the contractor, the Owner and the applicable bank.

9.3.1.9 When the project is complete and there exists no other reason to withhold retainage, the retained percentages held in connection with such portions shall, upon request of the contractor, be released from escrow and paid to the contractor, withholding that amount necessary to assure completion. The amount of fund retained to assure completion of the work shall not be less than two (2) times the value of the work as determined by the Architect and Owner.

Add the following to paragraph 9.3.2

9.3.2.1 Where it is to the owner's best interest, materials stored off site will receive payment provided the contractor furnished to the owner with the monthly application for payment the following:

A list of the materials consigned to the project giving the place of storage, together with copies of invoices and reasons why materials cannot be delivered to the site.

Certification that all items are tagged for delivery to the project and that they will not be used for any other purpose.

Evidence of adequate insurance covering the material stored naming the owner as additionally insured.

The owner and architect shall have the right to inspect all materials stored.

When payment is allowed on account of material delivered on the site of the work or in the vicinity thereof or under the possession and control of the contractor but not yet incorporated therein, such material shall become the property of the owner, but if such material is stolen, destroyed, or damaged by casualty before

being used, the contractor will be required to replace it at the contractor's expense

Add the following to paragraph 9.3.3

9.3.3.1 No materials or supplies for the work shall be purchased by the contractor or any subcontractor subject to any chattel mortgage, under conditional sale contract or other agreement by which an interest is retained by the seller.

ARTICLE 11 INSURANCE AND BONDS

11.1 - Contractor's Insurance and Bonds

Add the following to Article 11.1.1:

11.1.1.1 A commercial general liability policy and business automobile liability policy, separately or combined, shall be maintained to provide insurance as set forth in paragraph 11.1.1.

11.1.1.2 Such commercial general liability and business automobile liability insurance may be either combined single limits or split limits as provided below. An umbrella or excess liability policy may be used in combination with the commercial general liability and business automobile insurance to meet such limits:

Contracts in the maximum of \$100,000 or less shall require coverage in the amount of not less than \$1 million general aggregate and per occurrence.

Contracts in excess of \$100,000 but not more than \$5 million shall require coverage in the amount of not less than \$3 million general aggregate and per occurrence.

Such policies shall be endorsed to provide that the general aggregate limit applies separately to each of the insured contractor's projects.

11.1.1.3 If commercial general liability and business automobile liability insurance is written with split limits, the following minimum limits shall be provided:

Contracts in the amount of \$100,000 or less shall require coverage in the amount of not less than \$500,000 for injuries, including death, to one person, and \$1 million per occurrence and \$500,000 property damage.

Contracts in excess of \$100,000 but not more than \$5 million shall require coverage in the amount of not less than \$1 million for injuries, including death, to one person, and \$1 million per occurrence and \$1 million property damage, together with an umbrella or excess liability policy of not less than \$2 million per occurrence.

11.1.1.4 For any demolition, blasting, excavating, tunneling, shoring or similar operations, the contractor shall provide and maintain property damage liability insurance with a limit of liability equal to such limit as specified in the application sections of paragraphs 11.1.1.2 and 11.1.1.3.

11.1.1.5 Insurance policies shall be written on an occurrence basis only.

11.1.1.6 Products and completed operation coverage shall commence with the certification of final Certificate of Payment to the Contractor and extend for not less than two years beyond that date.

11.1.1.7 The Owner shall be provided a copy of the policy and named as a certificate holder on the policies of insurance which are maintained by the Contractor. The Owner shall be notified of any change in policy coverage.

Omit paragraph 11.1.2 and substitute the following:

11.1.2 The contractor shall furnish surety bonds covering faithful performance of the contract and payment of obligations arising there under. Cost of surety bonds shall be included in contract sum. The amount of each bond shall be equal to one hundred

percent (100%) of the contract sum. Bond shall be in a form in compliance with the Indiana Revised Code 153.57.

11.1.2.1 If at any time the owner for justifiable cause shall be dissatisfied with a surety, or sureties, the contractor shall within five (5) days after notice from the owner, substitute an acceptable bond (or bonds) in such form and sum by another surety or sureties as may be satisfactory to the owner. The premiums on such bond shall be paid by the contractor. No further payments shall be deemed due nor shall be made until the new surety or sureties shall have furnished a acceptable bond to the owner.

11.2 Owners Insurance

11.2.1.1 - Owners Property Insurance Policy (Builders Risk): The Owner shall provide and maintain, during the progress of the work and until the execution of the certificate of substantial completion by the architect, a Property (builder's risk) Insurance Policy to cover all work in the course of construction including falsework, temporary buildings and structures, and materials used in the construction process that are stored on site. Such insurance shall be on a "Risk of Direct Physical Loss" form policy and shall insure against the perils of fire and extended coverage and physical loss or damage including, but not limited to, theft, vandalism, malicious mischief, earthquake, tornado, lightning, explosion, breakage of glass, flood, collapse and water damage. It shall also include debris removal, demolition occasioned by enforcement of an applicable legal requirement, and shall cover reasonable compensation for the state's services and expenses required to limit further loss.

11.2.1.2 - Coverage must include provision to pay the reasonable extra costs of expediting temporary and/or permanent repairs to, or permanent replacement of damaged property. This shall include overtime wages and the extra cost of "express" or other means for rapidly transporting materials and supplies necessary to such repair or replacement.

11.2.1.4 - Coverage for other perils may be required if specified in the special conditions.

Unless otherwise specified in the contract documents, the builder's risk policy shall be written in the amount equal to 100 percent of the contract price, including landscaping, paving and other site work.

11.2.1.5 - The builder's risk policy shall specifically permit and allow for partial occupancy by the owner prior to acceptance of the project by the architect.

11.2.1.6 Property insurance provided by the Owner shall not cover any tools, apparatus machinery, scaffolding, hoist, forms, staging, shoring, and other similar items commonly referred to construction equipment that may be on site and the capital value of which is not included in the Work, nor shall such insurance cover any material or equipment before these materials and equipment are incorporated into the Work. The contractor shall make its own arrangements for any insurance it may require for such construction equipment, materials, and equipment.

ARTICLE 15 - ARBITRATION

15.4 Arbitration: Delete this article. Arbitration is not an acceptable form of binding disputeresolution for this project.

GENERAL NOTES

CONDITIONS PRECEDENT FOR EXECUTION OF AGREEMENT

THE FOLLOWING ITEMS SHALL BE FURNISHED ELECTRONICALLY:

Declaration of Insurance, including property insurance (builders risk)

Indiana Workers Compensation Certificate

A Contract Cost Breakdown Showing itemized Labor & Material amounts for the Total Contract Price

Performance and Payment Bond, Power of Attorney for the bonding agent.

A Certificate of Compliance issued by the Department of Insurance showing the Bonding Co. is licensed to do business in the State of Indiana.

Financial Statement of Bonding Co.

DOCUMENTS REQUIRED AFTER ISSUANCE OF NOTICE TO PROCEED

The architect shall issue a notice to proceed which shall establish the date for commencement of the project time. The contractor will, within 10 days of the date of the Notice to Proceed, furnish the architect ELECTRONICALLY:

A Schedule of Values (AIA Document G703, Continuation Sheet)

A Time Schedule of the Work.

A list of proposed Sub-contractors.

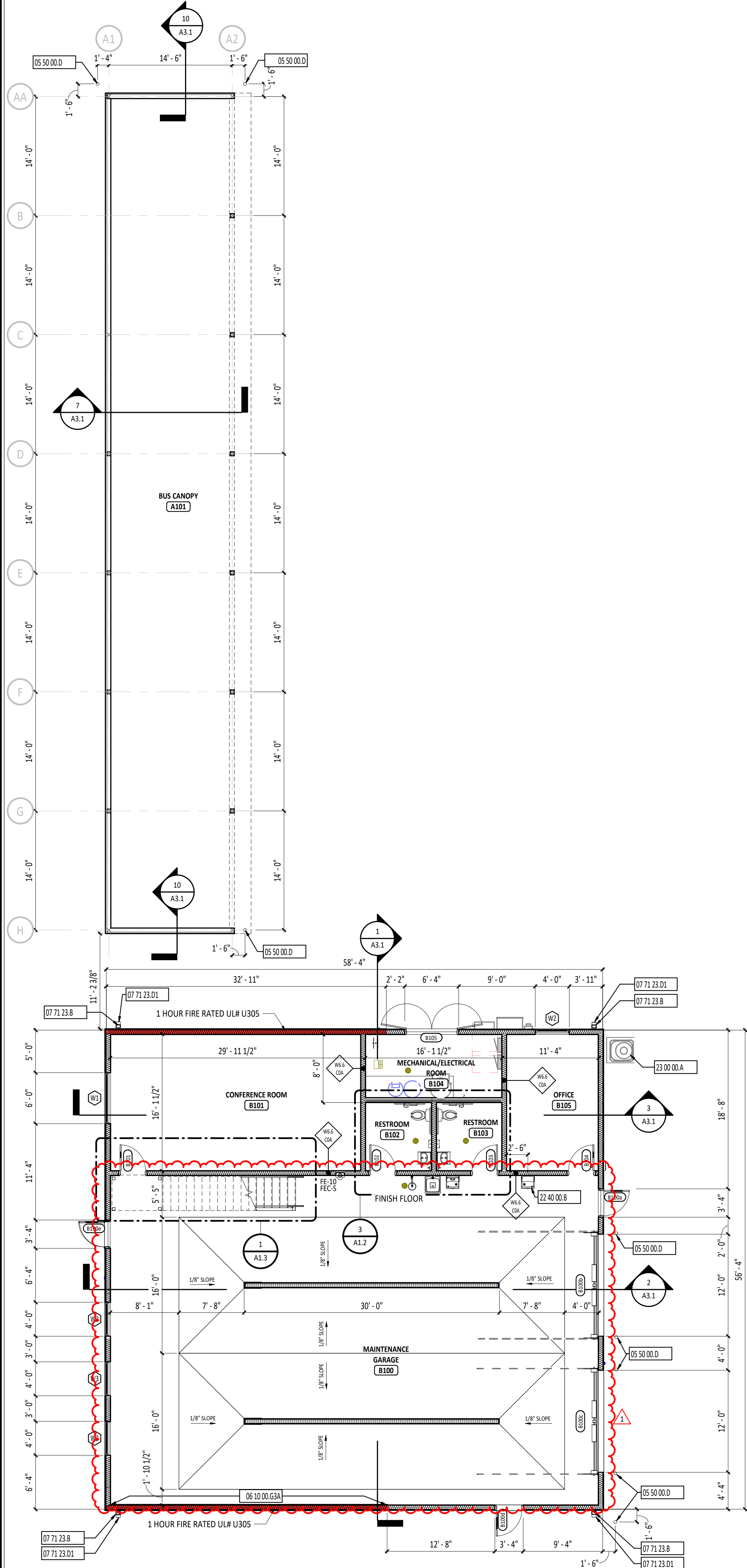
A list of Material Suppliers.

An estimated schedule of monthly payments.

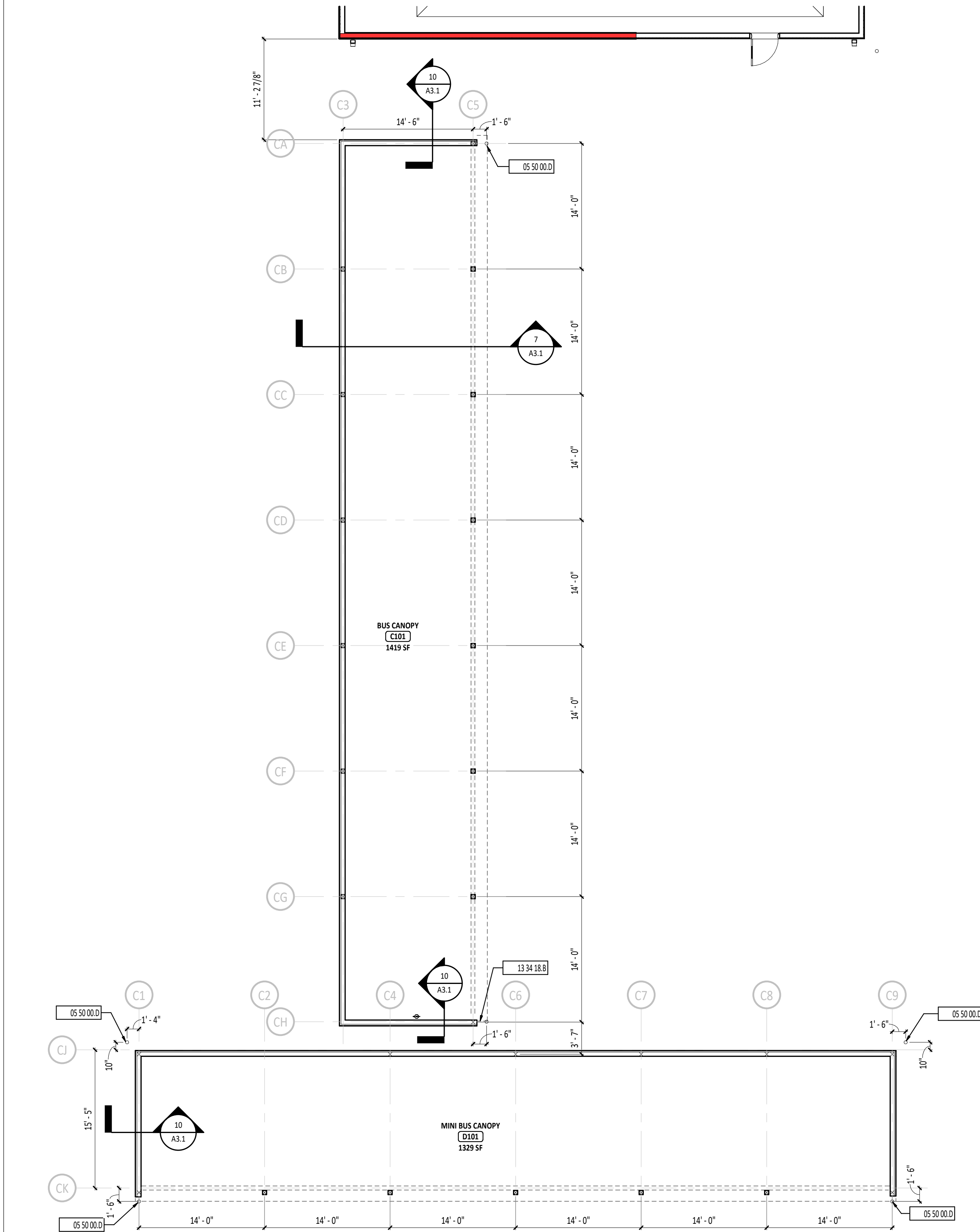
DISCRIMINATION AND INTIMIDATION

The prohibition against discrimination and intimidation on account of race, creed, or color, and the provisions as to forfeitures to be applied in the event of violation of contract regarding same, as contained in sections 153.59 and 153.60, and sections 4112.01 through 4112.99, inclusive, of the Revised Code of Indiana, shall apply to all contracts entered into in conjunction with the work.

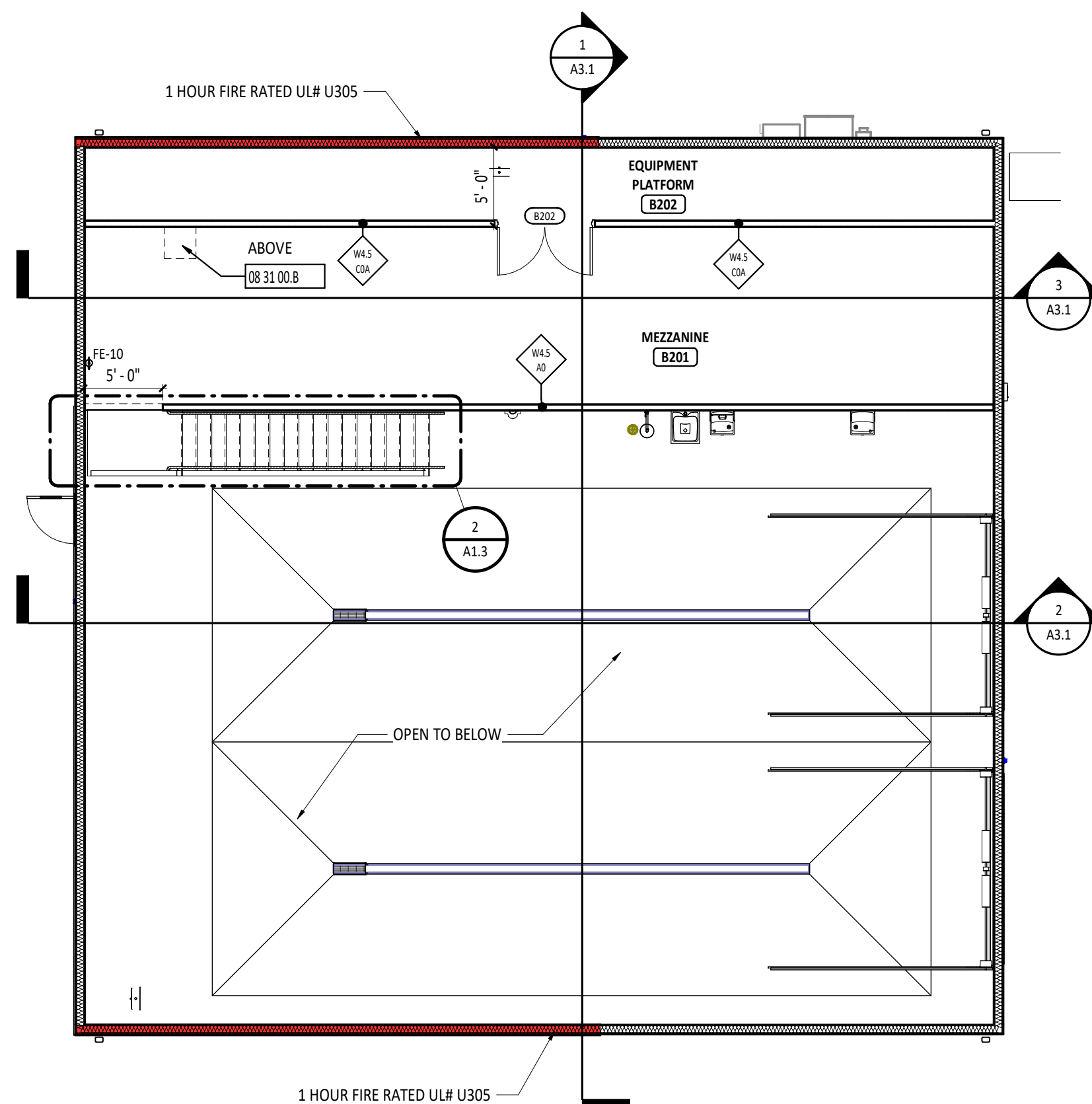
END OF SECTION



1 FIRST FLOOR PLAN - UNIT A & B
1/8" = 1'-0"



2 FIRST FLOOR PLAN - UNIT C
1/8" = 1'-0"



3 MEZZANINE FLOOR PLAN - UNIT B
1/8" = 1'-0"



4 FIRST FLOOR REFLECTED CEILING PLAN - UNIT B
1/8" = 1'-0"

FIRST FLOOR PLAN ROOM INDEX - OVERALL		
ROOM NUMBER	ROOM NAME	AREA
A101	BUS CANOPY	1,479 SF
B100	MAINTENANCE GARAGE	2,220 SF
B101	CONFERENCE ROOM	471 SF
B102	RESTROOM	62 SF
B103	RESTROOM	62 SF
B104	MECHANICAL/ELECTRICAL ROOM	119 SF
B105	OFFICE	173 SF
C101	BUS CANOPY	1,419 SF
D101	MINI BUS CANOPY	1,329 SF
E101	BUS CANOPY	3,849 SF

#	KEYNOTE DESCRIPTION
05 50 00.0	EXTERIOR GALVANIZED BOLLARD - PAINT - REFERENCE ARCHITECTURAL, SITE, AND STRUCTURAL DRAWINGS.
06 10 00.03A	ADD 1/2" PLYWOOD OVER GYPSUM WALLBOARD
07 61 00.0	STANDING SEAM METAL ROOFING SYSTEM WITH CODE COMPLIANT ANCHORAGES, TRIM AND FLASHING AS REQUIRED
07 62 00.0	VENTED METAL SOFFIT SYSTEM WITH SUPPORT STRUCTURE AS REQUIRED - PROVIDE VENTED PANEL EVERY 5'-0"
07 71 23.A	PREFINISHED METAL GUTTER WITH STRAP AND ANCHORAGES
07 71 23.B	PREFINISHED METAL DOWNSPOUT
07 71 23.D1	PVC DOWNSPOUT BOOT - COORDINATE WITH SITE CONTRACTOR
08 31 00.0	ATTIC ACCESS PANEL
08 31 00.0	ACCESS DOOR - CEILING MOUNTED
09 91 23.A2	PLYWOOD CEILING TO BE PAINTED, PT1 FINISH.
13 34 18.0	METAL SIDING PANEL SUPPLIED BY POST FRAME BUILDING SYSTEM MANUFACTURER.
22 40 00.0	DRINKING WATER COOLER - REFERENCE PLUMBING DRAWINGS - REFERENCE AD.2 FOR MOUNTING HEIGHTS.
23 00 00.0	MECHANICAL EQUIPMENT - REFERENCE MECHANICAL DRAWINGS.

FIRE EXTINGUISHER / CABINET SCHEDULE		
MARK	DESCRIPTION	NOTES
FE-10	FIRE EXTINGUISHER - 10.0LB - CLASS A:B:C	
FEC-5	SEMI-RECESSED FIRE EXTINGUISHER CABINET	1

NOTES:
1. FURNISHED AND INSTALLED BY GC - REFERENCE DETAIL 2/A0.1

CEILING SCHEDULE		
MARK	DESCRIPTION	NOTES
A	2' x 2' SUSPENDED ACOUSTICAL PANEL CEILING	REFER TO SPEC SECTION 09 5100 AND FINISH MATERIAL SCHEDULE
B	5/8" GYPSUM CEILING TO STRUCTURE ABOVE	REFER TO SPEC SECTION 09 2116
M	5/8" PLYWOOD TO STRUCTURE ABOVE	REFER TO SPEC SECTION 09 2116

FLOOR PLAN SYMBOLS LEGEND

ASB1 ROOM DESIGNATION - REFERENCE ROOM INDEX.

XX.X EXTERIOR ELEVATION
DETAIL NUMBER
SHEET NUMBER

SM SECTION
DETAIL NUMBER
SHEET NUMBER

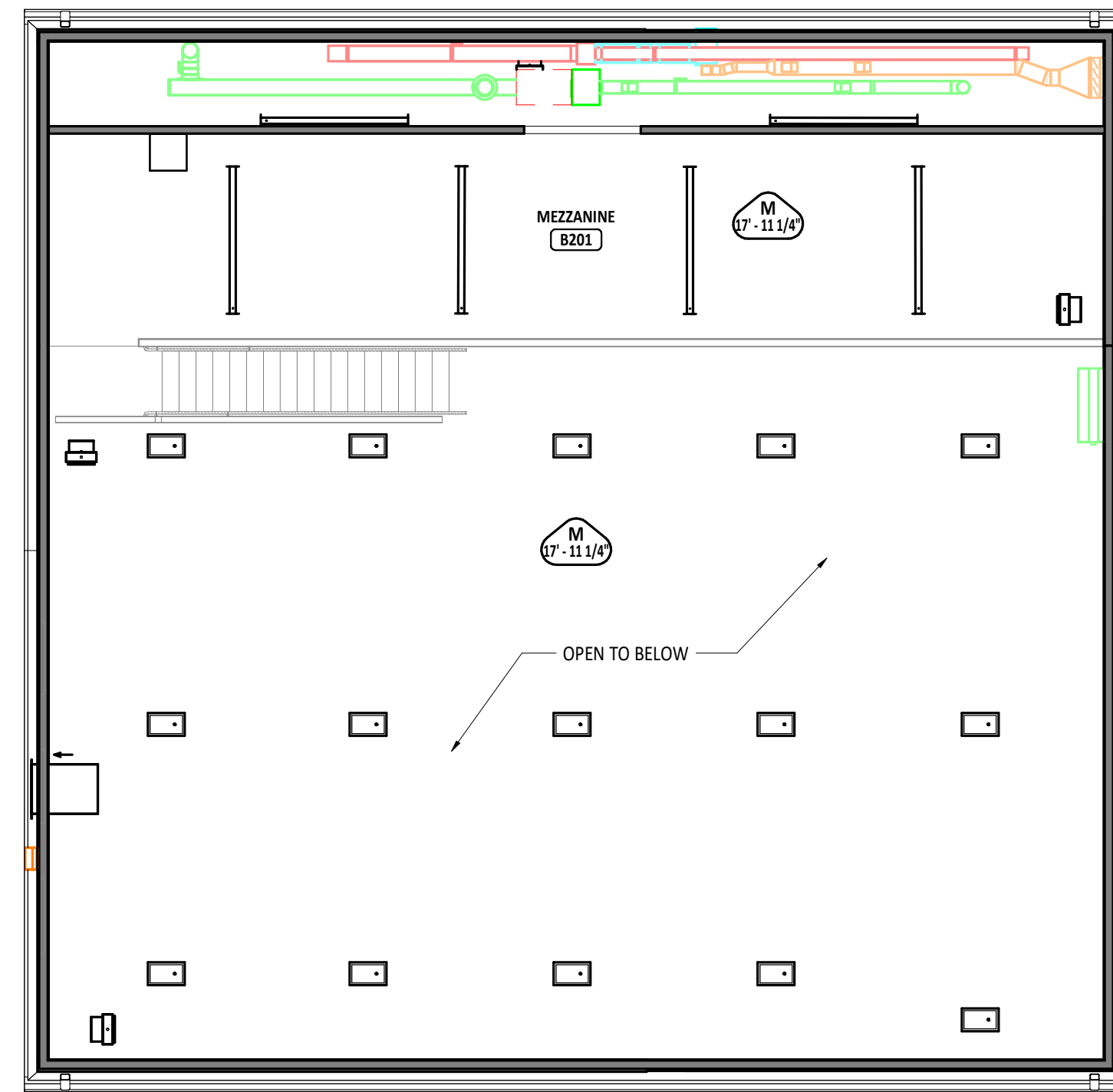
FLOOR PLAN GENERAL NOTES

A ALL DIMENSIONS ARE MEASURED TO THE FACE OF WOOD STUD UNLESS NOTED OTHERWISE.

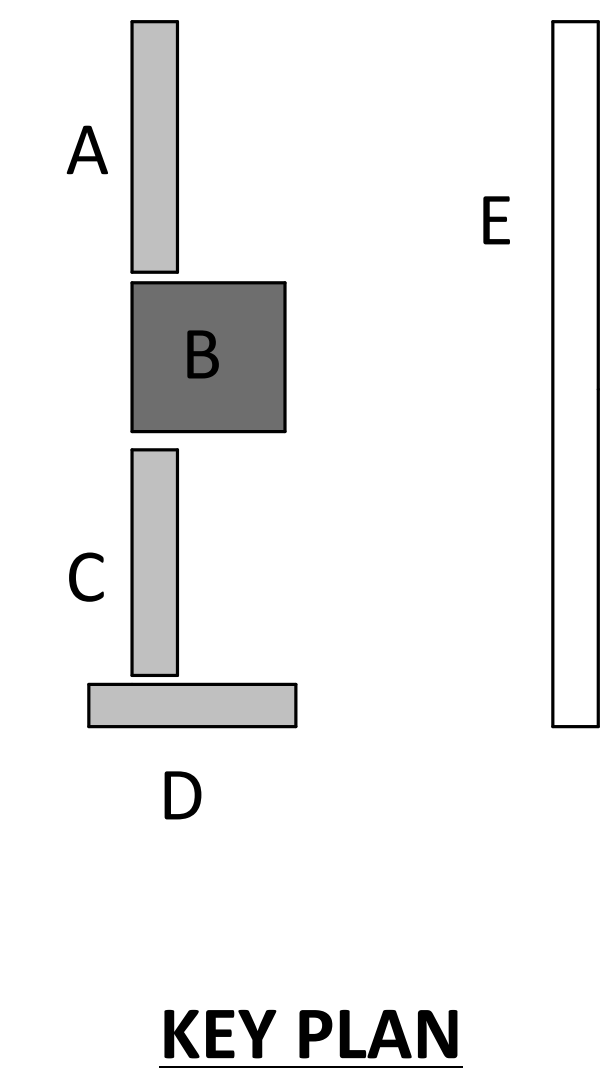
C INSTALL TREATED WOOD BLOCKING IN WALLS AS REQUIRED TO SECURE ALL EQUIPMENT, ACCESSORIES, HANDRAILS, CASEWORK, ETC. COORDINATE THIS WORK WITH ALL APPROPRIATE CONTRACTORS, SUPPLIERS AND MANUFACTURERS RECOMMENDATIONS.

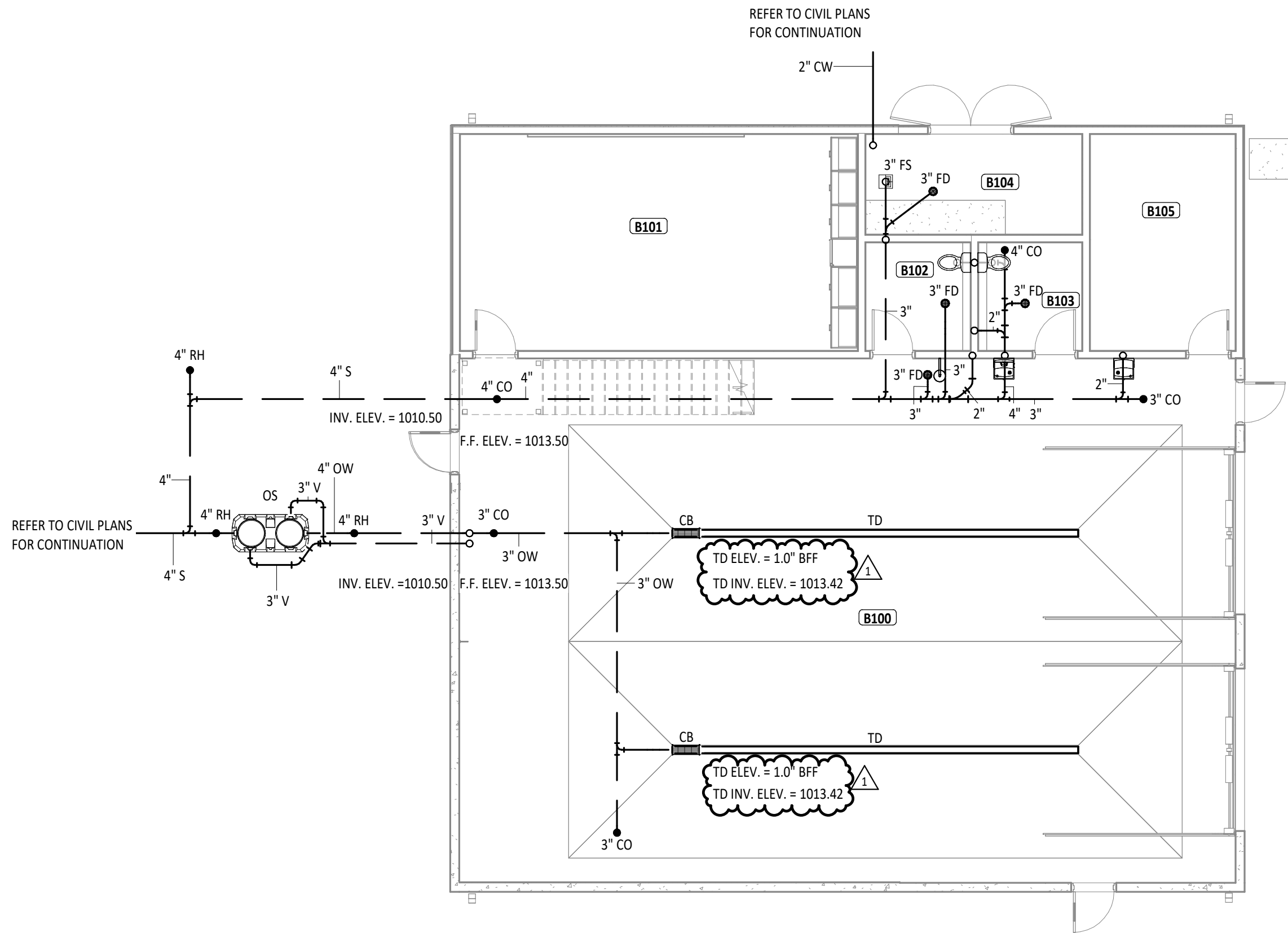
F HINGE SIDE OF DOOR JAMB AT INTERSECTING WALLS TO BE LOCATED 4" FROM ADJACENT WALL UNLESS NOTED OTHERWISE - REFERENCE FLOOR PLANS.

G IF WALL TYPE IS NOT IDENTIFIED, WALL IS TO RUN FULL HEIGHT TO DECK.



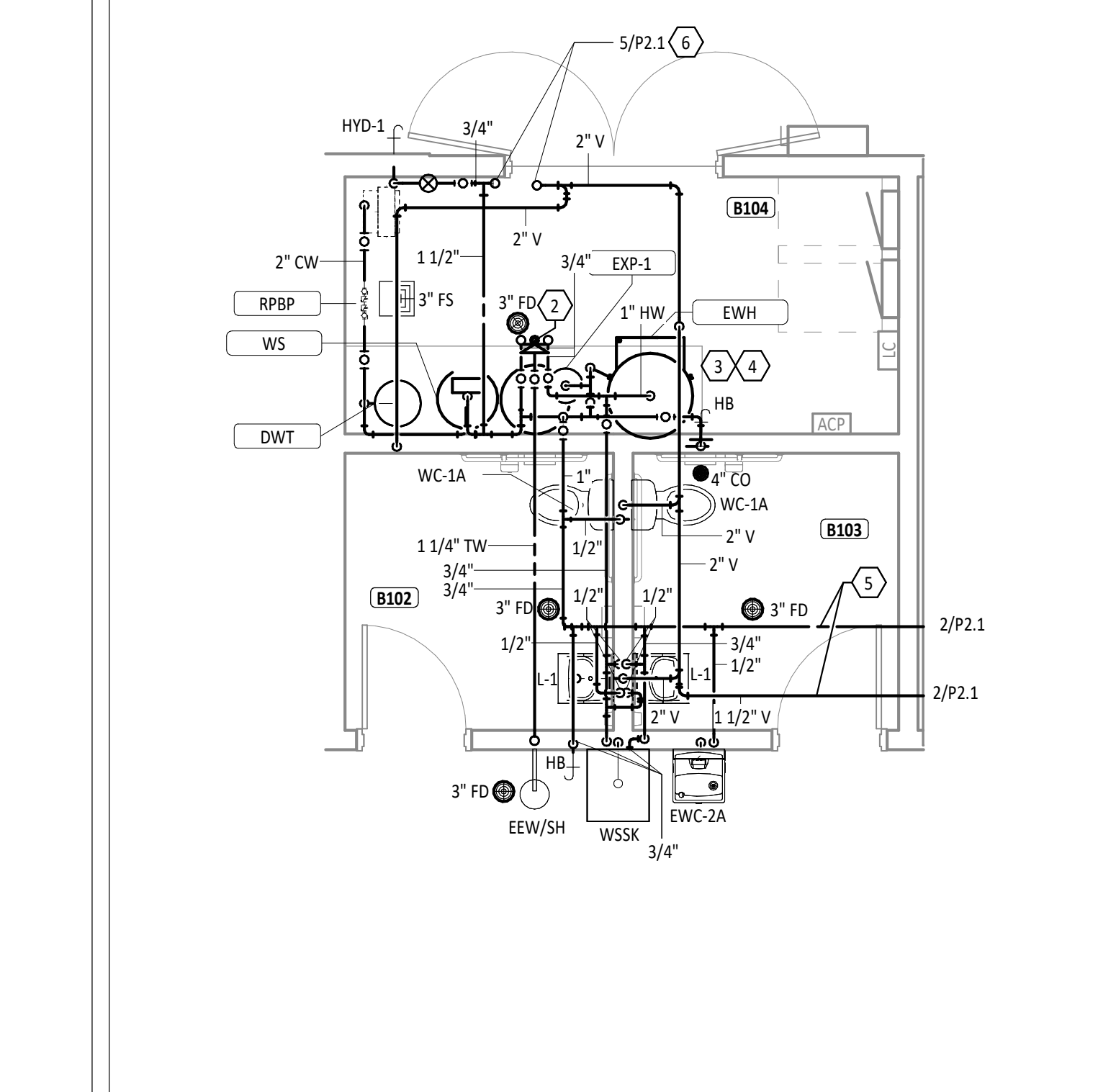
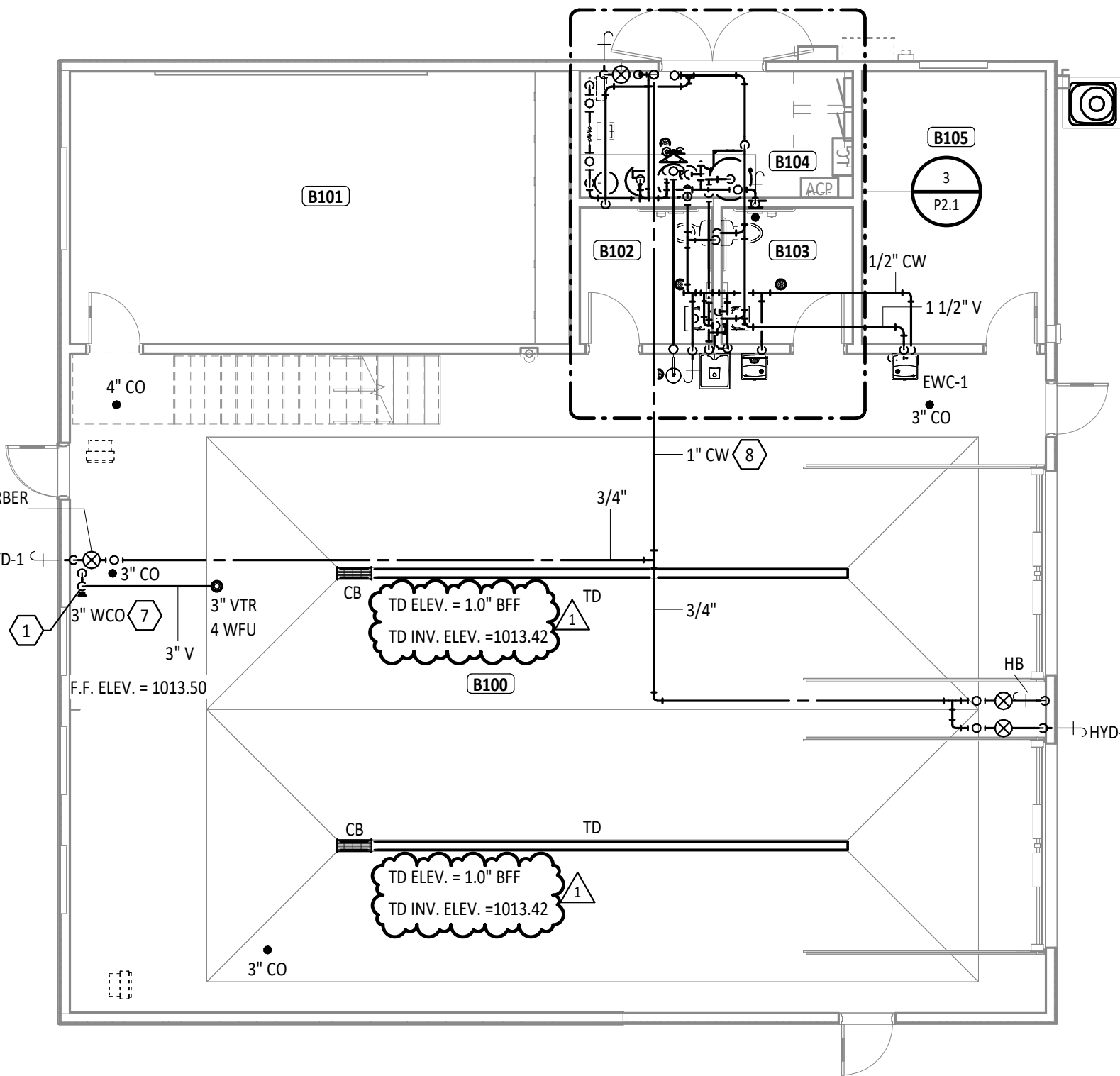
5 MEZZANINE FLOOR REFLECTED CEILING PLAN - UNIT B
1/8" = 1'-0"



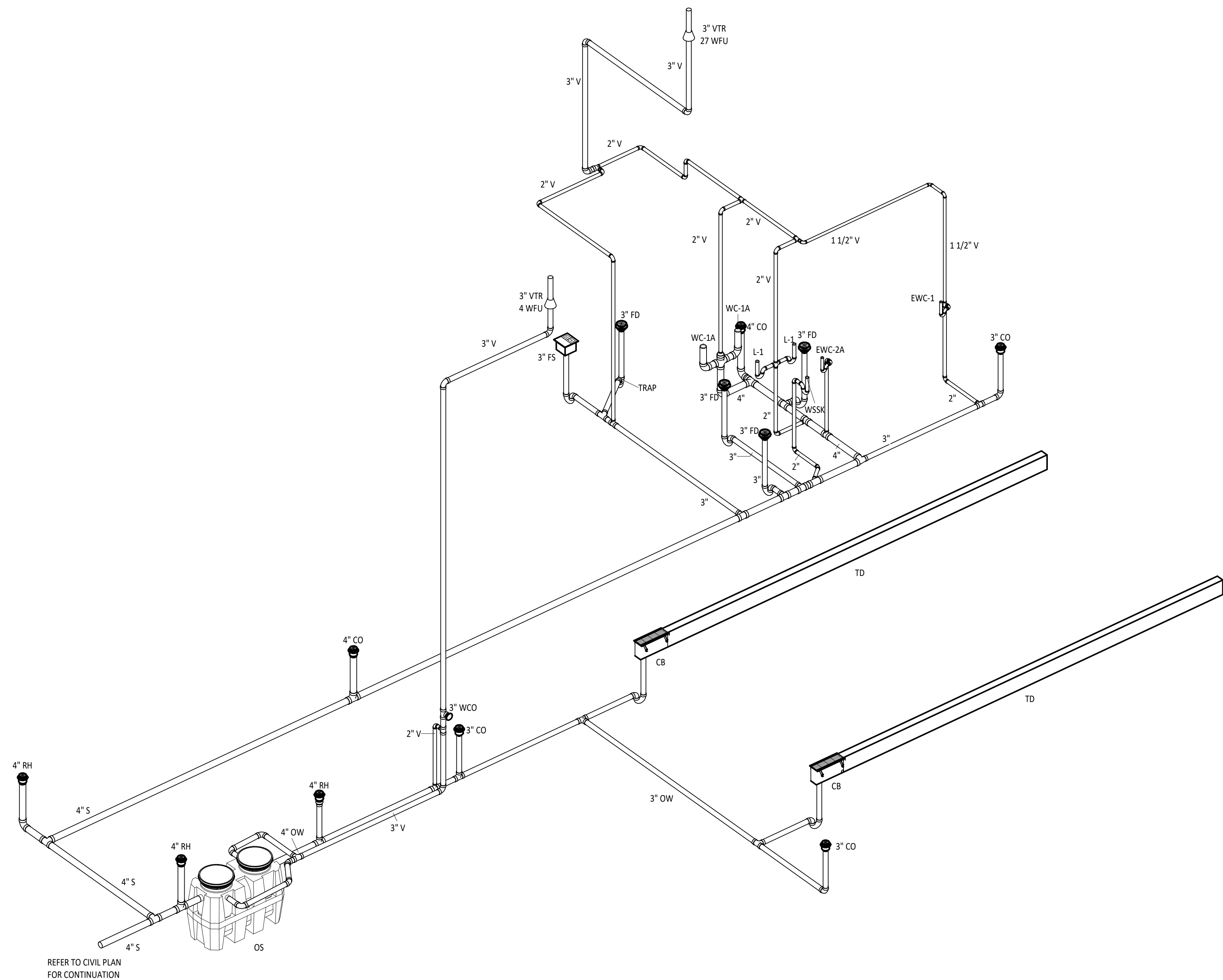


1 UNDER-SLAB PLUMBING PLAN - UNIT B
1/8" = 1'-0"

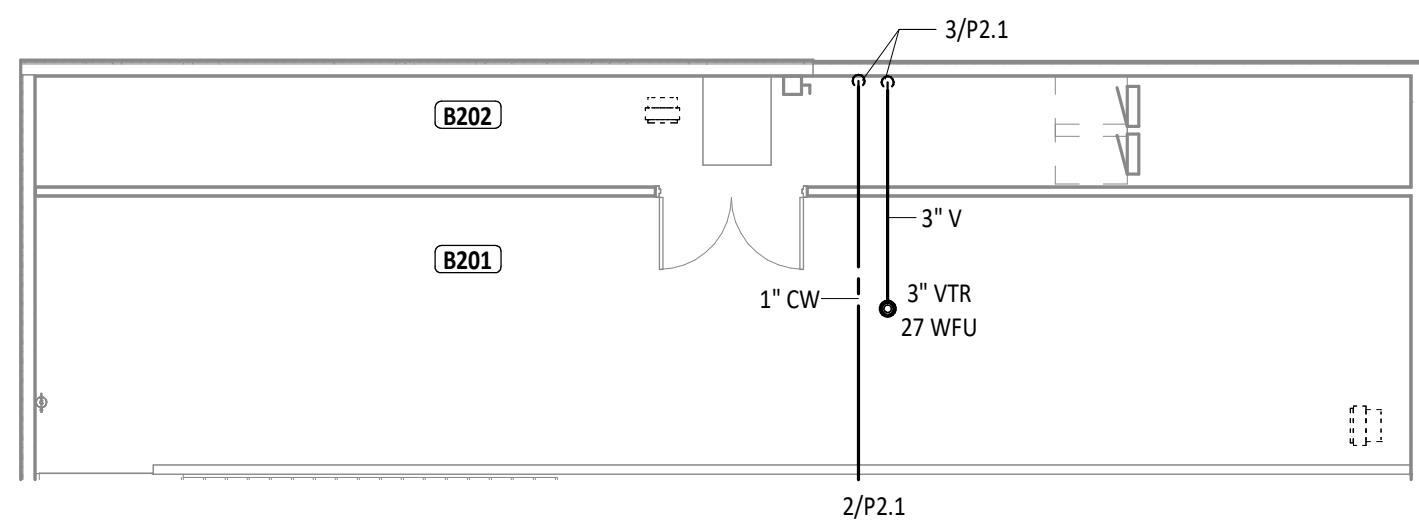
2 FIRST FLOOR PLUMBING PLAN - UNIT B
1/8" = 1'-0"



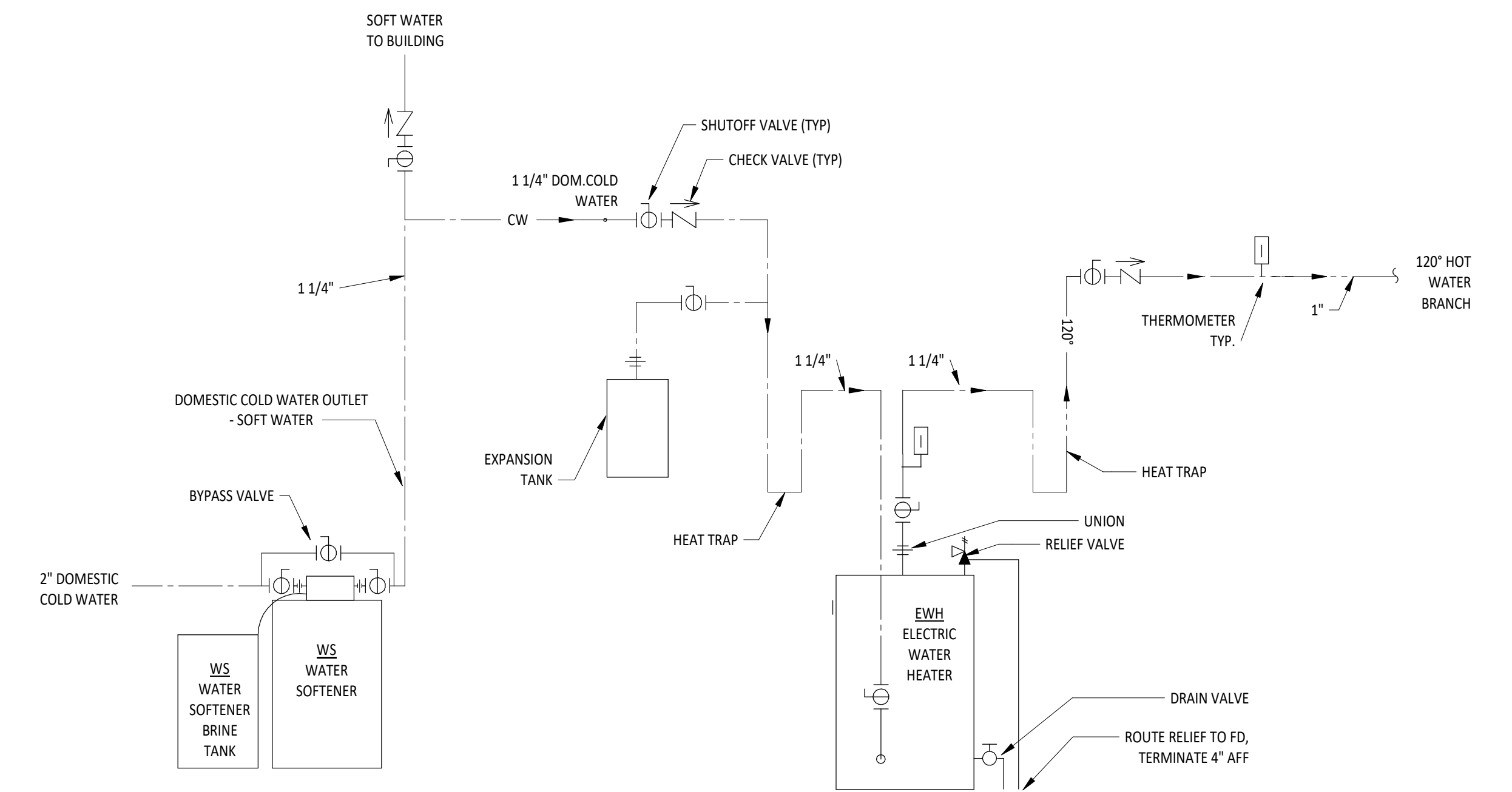
3 ENLARGED PLUMBING PLAN - B102, B103, B104
1/4" = 1'-0"



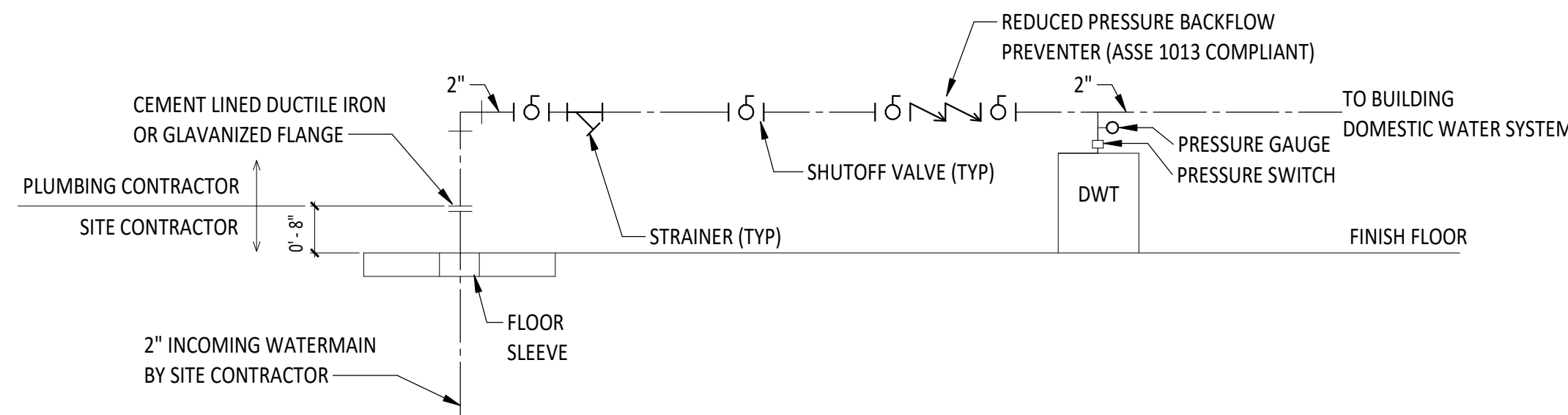
4 SANITARY ISOMETRIC - UNIT B
NTS



5 MEZZANINE PLUMBING PLAN
1/8" = 1'-0"



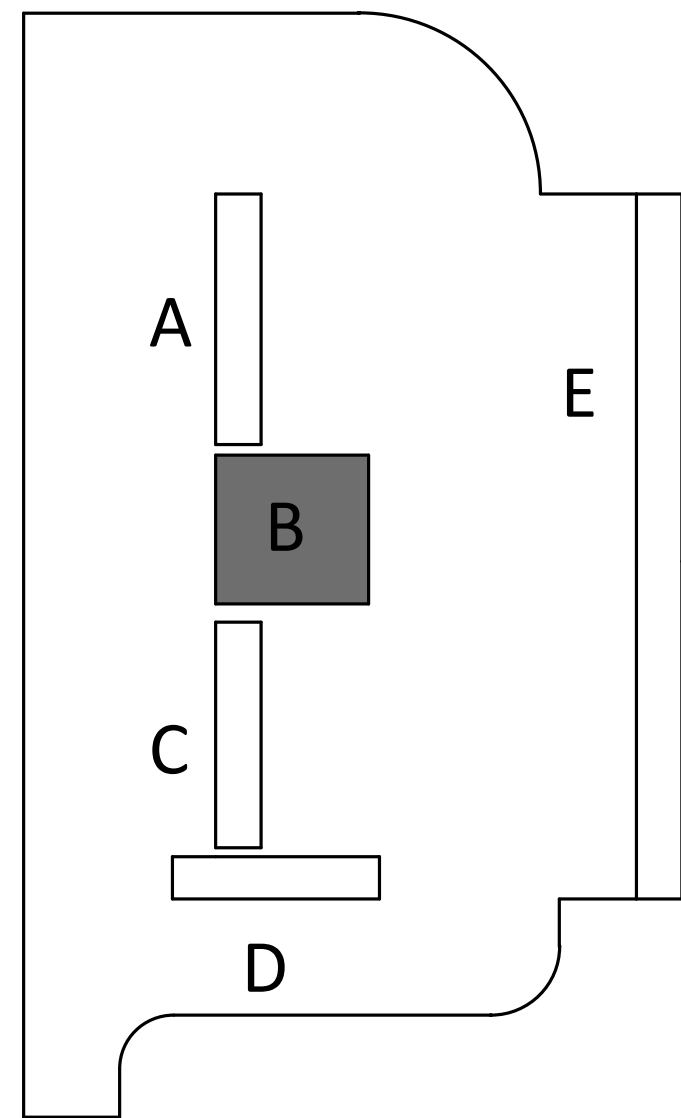
6 WATER HEATER PIPING DETAIL
NTS



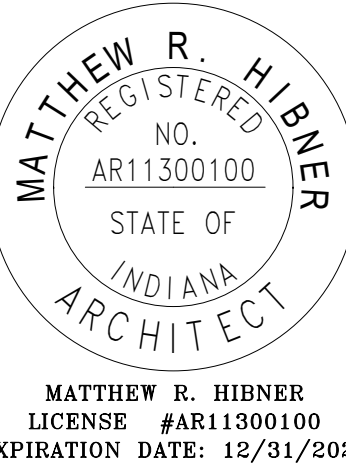
7 INCOMING WATER MAIN
NTS

ROOM INDEX - UNIT B		
ROOM NUMBER	ROOM NAME	AREA
B100	MAINTENANCE GARAGE	2,220 SF
B101	CONFERENCE ROOM	471 SF
B102	RESTROOM	62 SF
B103	RESTROOM	62 SF
B104	MECHANICAL/ELECTRICAL ROOM	119 SF
B105	OFFICE	173 SF
B201	MEZZANINE	643 SF
B202	EQUIPMENT PLATFORM	264 SF

- PLUMBING GENERAL NOTES**
- PROVIDE TRAP PRIMERS FOR FLOOR DRAINS SERVING MECHANICAL ROOMS, MECHANICAL DECKS, EMERGENCY SHOWERS, KITCHEN FLOOR DRAINS, AND AS REQUIRED BY CODE. SUPPLY NEAREST COLD WATER PIPING CONNECTED TO A FLUSH VALVE OR SOLENOID VALVE. SUPPLY PIPING SHALL BE 1/2" VALVED COLD WATER LINE. REFERENCE DETAIL FOR ADDITIONAL INFORMATION.
 - VERIFY INVERT ELEVATIONS ON UNDERGROUND SANITARY, STORM AND OTHER UTILITIES. COORDINATE DEPTHS WITH THE BUILDING CONSTRUCTION AND ALL OTHER UTILITIES INSIDE AND OUTSIDE OF THE BUILDING.
 - ALL STORM, SANITARY AND VENT PIPING IN CHASE EXPOSED TO THE PLENUM AND ABOVE CEILING WHERE PLENUM IS USED FOR RETURN AIR SHALL BE CAST IRON. REFERENCE SPECIFICATIONS FOR ADDITIONAL INFORMATION.
 - PITCH UNDERFLOOR SANITARY WASTE AND STORM PIPING 3" AND GREATER AT 1/8" PER FOOT, UNLESS NOTED OTHERWISE. PITCH ALL OTHER WASTE PIPING AT 1/4" PER FOOT UNLESS OTHERWISE NOTED.
 - WASTE AND VENT PIPING BELOW FLOOR AND THROUGH FLOOR SHALL BE 2" MINIMUM.
 - ROUTE DOMESTIC WATER, FIRE PROTECTION, SANITARY SEWER, AND STORM SEWER SERVICES TO SITE UTILITIES 5'-0" FROM BUILDING UNLESS NOTED OTHERWISE. REFERENCE CIVIL PLANS.
 - PROVIDE CLEANOUT IN ACCESSIBLE LOCATION AT THE BASE OF ALL PLUMBING SANITARY AND STORM RISERS.
 - WHERE FLOOR DRAINS OCCUR WITHIN THE LIMITS OF CONSTRUCTION, PREVENT CONSTRUCTION DEBRIS FROM ENTERING DRAIN BODY BY SEALING DRAIN OPENING PRIOR TO START OF WORK.
 - FIRE SEAL AROUND PIPING PENETRATIONS OF FIRE RATED WALLS. REFERENCE SPECIFICATION.
 - PROVIDE SLEEVES AND/OR OPENINGS TO RUN PIPES THROUGH FOUNDATIONS, FLOORS, WALLS, AND ROOF.
 - FIELD VERIFY ALL NEW WATER, WASTE, AND VENT PIPING CONNECTIONS AND PROVIDE NEW CONNECTIONS AS REQUIRED FOR PROPERLY OPERATING SYSTEMS.
- | # | KEYNOTE DESCRIPTION |
|---|--|
| 1 | ROUTE SANITARY VENT PIPING AS TIGHT AS POSSIBLE TO WALL. |
| 2 | LOCATE THERMOSTATIC MIXING VALVE FOR THE EEW/SH IN ACCESSIBLE LOCATION. |
| 3 | DIVISION 22 PLUMBING CONTRACTOR SHALL PROVIDE 3-1/2" CONCRETE HOUSEKEEPING PAD FOR PLACEMENT OF PLUMBING EQUIPMENT. COORDINATE WORK WITH GENERAL CONTRACTOR. |
| 4 | REFERENCE DETAIL 6/P2.1 FOR WATER SOFTENER AND WATER HEATER PIPING. |
| 5 | ROUTE PIPING THROUGH FLOOR JOIST. COORDINATE WITH STRUCTURAL REQUIREMENTS. |
| 6 | ROUTE SANITARY VENT AND DOMESTIC COLD WATER TIGHT TO WALL FROM FIRST FLOOR TO MEZZANINE ABOVE. |
| 7 | PROVIDE A WALL CLEAN OUT IN VENT PIPING FOR ACCESS TO UNDERGROUND VENT PIPING. |
| 8 | ROUTE DOMESTIC COLD WATER TIGHT TO CEILING. |



KEY PLAN



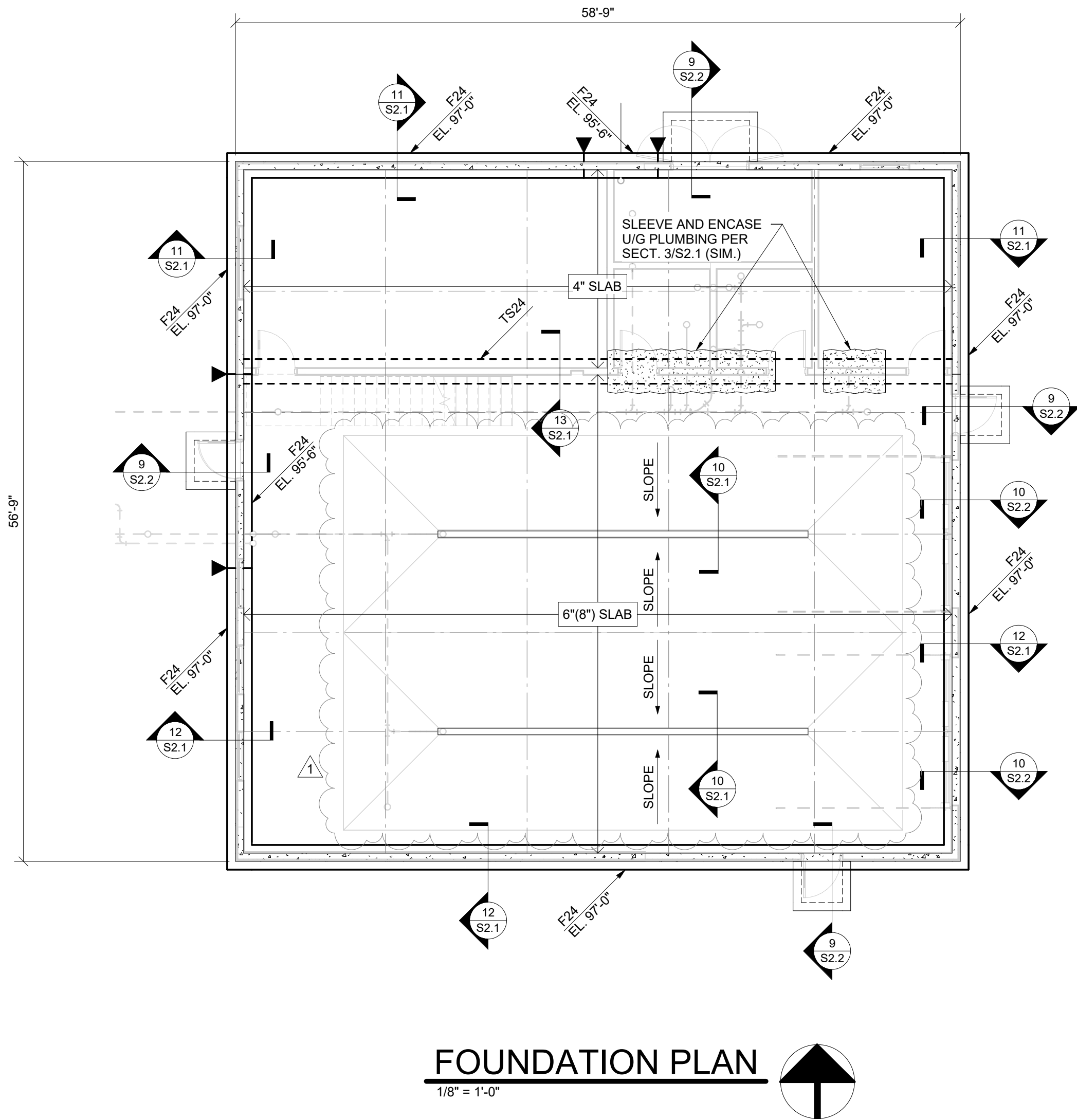
SHENANDOAH SCHOOL CORPORATION
NEW TRANSPORTATION CENTER

ISSUANCES/REVISIONS	
CONSTRUCTION DOCUMENTS	06/10/2006
1 ADDENDUM 03	05/17/2006

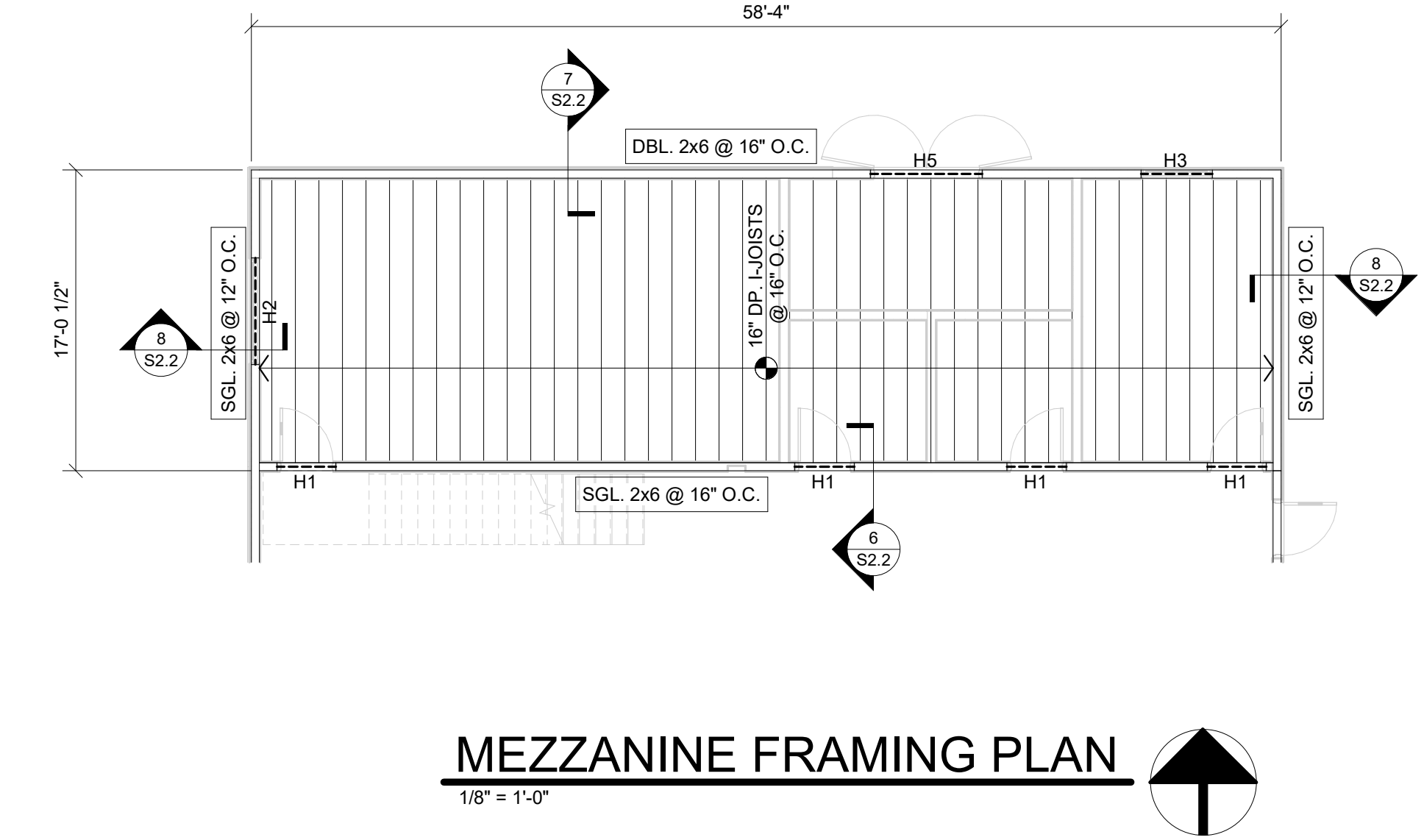
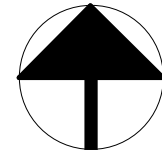
PROJECT NUMBER:	DRAWN BY:	CHECKED BY:
25107.00	AJB	LGW

SHEET TITLE:
UNDER-SLAB AND
FIRST FLOOR
PLUMBING PLAN -
UNIT B

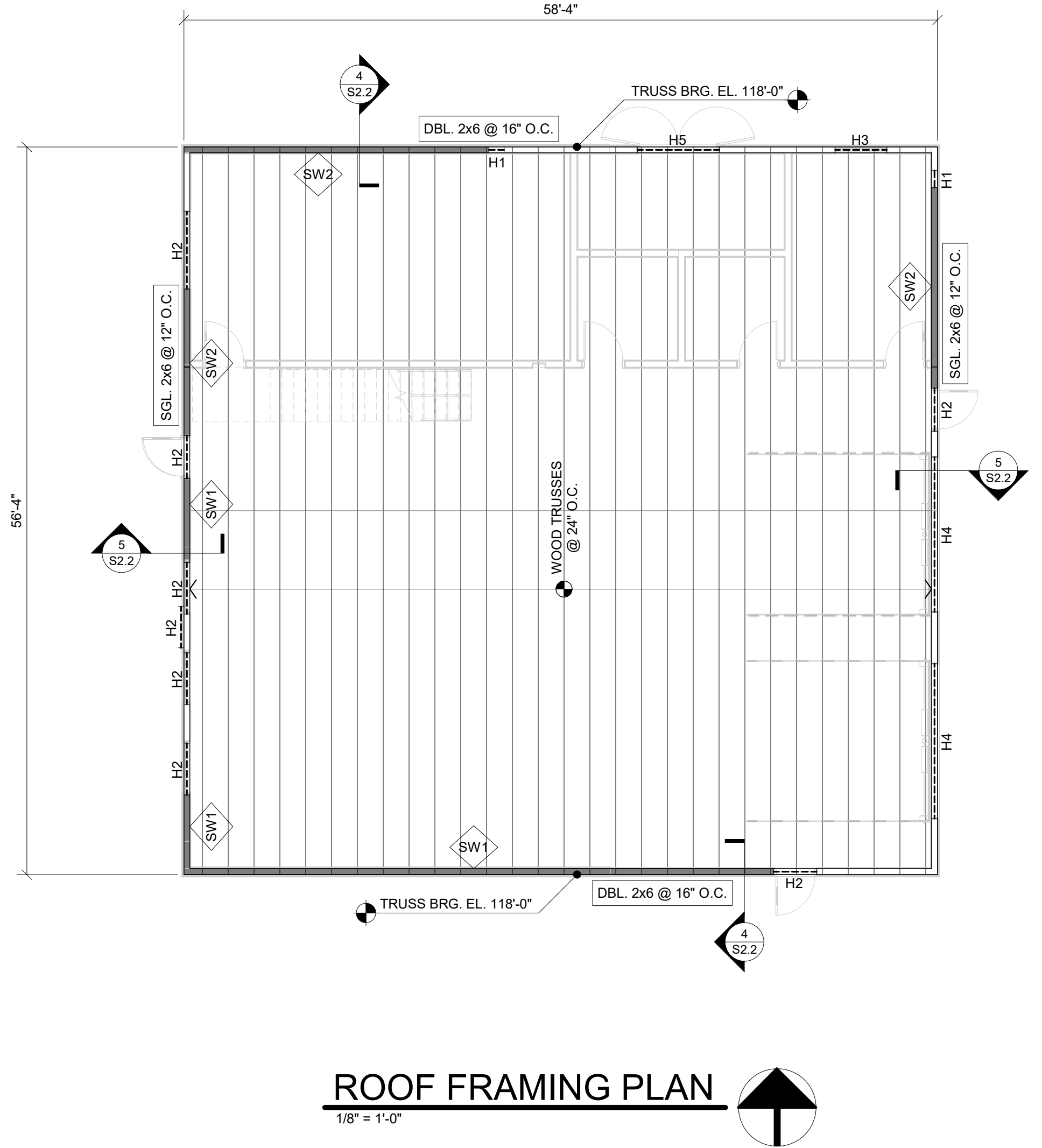
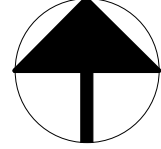
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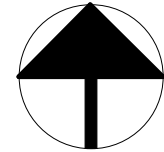
FOUNDATION PLAN
1/8" = 1'-0"



MEZZANINE FRAMING PLAN
1/8" = 1'-0"



ROOF FRAMING PLAN
1/8" = 1'-0"



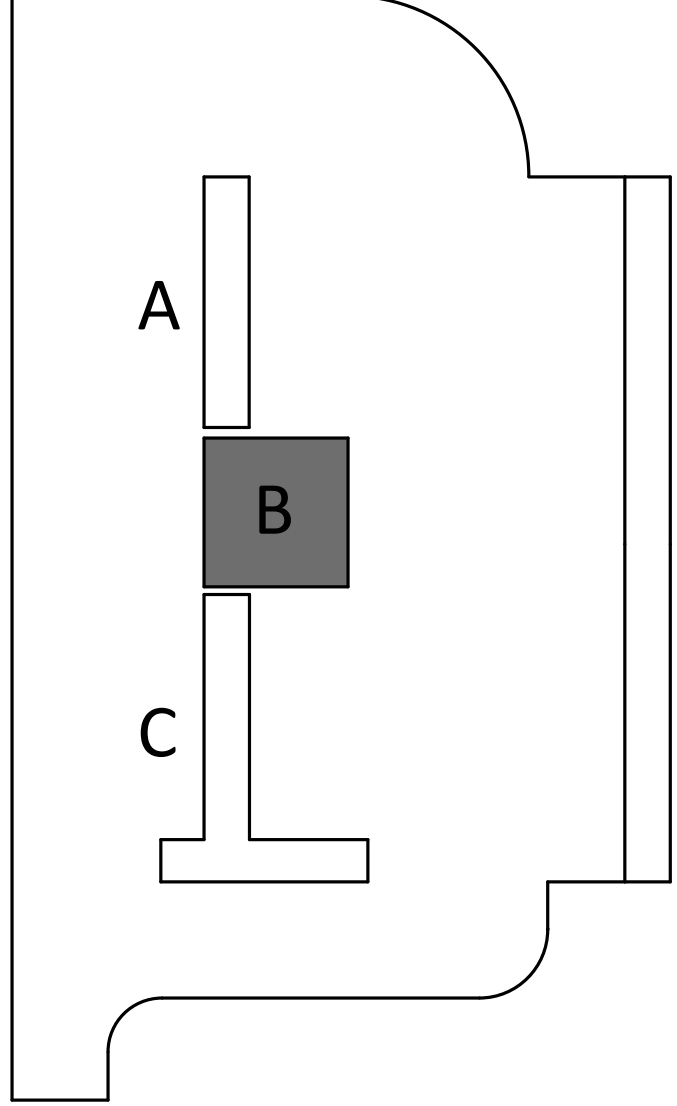
- FOUNDATION NOTES**
- INDICATES FOOTING STEP PER SECTION 182.1. STEP AT A RATIO NOT TO EXCEED ONE VERTICAL TO TWO HORIZONTAL.
 - INDICATES APPROXIMATE LOCATION AND INVERT ELEVATION OF UNDERGROUND UTILITIES. COORDINATE THE LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES. MECHANICAL, ELECTRICAL, PLUMBING, AND/OR CIVIL WORK WITH THE APPROPRIATE TRADE CONTRACTORS PRIOR TO CONSTRUCTION. NOT ALL UNDERGROUND UTILITIES ARE SHOWN ON THE STRUCTURAL DRAWING. FOUNDATIONS MUST BE PRIOR TO THE INSTALLATION OF UNDERGROUND UTILITIES ARE TO BE STEPPED OR DROPPED COMPLETELY BELOW THE UTILITY DEPTH PER SECTION 452.1 AND SLEEVED PER SECTION 252.1. WHERE UNDERGROUND UTILITIES ARE IN PLACE PRIOR TO FOUNDATION CONSTRUCTION, THEY ARE TO BE ENCASED PER SECTION 352.1. SEE SECTION 452.1 FOR TRENCH EXCAVATION AND UTILITY PLACEMENT REQUIREMENTS FOR WORK THAT IS ADJACENT TO FOOTINGS.
 - DESIGN SOL BEARING PRESSURE = 1,500 PSF BASED ON GEOTECHNICAL EXPLORATION REPORT BY ONE TESTUAL DATED MAY 11, 2024. REFERENCE THIS REPORT FOR ANY REQUIRED SOL REMEDIATION PRIOR TO FOUNDATION AND/OR SLAB-ON-GRADE CONSTRUCTION. FOOTING EXCAVATIONS MAY BE REQUIRED TO EXTEND THROUGH EXISTING SOFT SOIL REGIONS IN ORDER TO BEAR ON SUITABLE MATERIAL. OVER-EXCAVATIONS ARE TO BE FILLED WITH LEAN CONCRETE OR CONTROLLED-DENSITY FLOWABLE FILL UP TO THE PLANNED BOTTOM OF FOOTING ELEVATION. PLACE NO CONCRETE PRIOR TO INSPECTION AND APPROVAL OF BEARING SURFACES BY SOILS ENGINEER.
 - BOTTOM OF FOOTINGS ARE TO BE AT LEAST 42-INCHES BELOW THE ADJACENT EXTERIOR FINISHED GRADE FOR FROST PROTECTION.
 - KEEP FOUNDATIONS FREE OF WATER AT ALL TIMES. REPLACE WEAKENED SOIL WITH LEAN CONCRETE OR FLOWABLE FILL.
 - ELEVATIONS SHOWN ON FOOTINGS INDICATE ELEVATION AT TOP OF FOOTING. REFERENCE ELEVATION TOP OF CONCRETE SLAB ELEVATION AS NOTED ON PLANS. COORDINATE ABSOLUTE ELEVATION OF TOP OF SLAB WITH SITE DRAWINGS.
 - PROVIDE CORNER BARS AT ALL FOOTING AND CONCRETE WALL INTERSECTIONS PER DETAIL 652.1. PROVIDE CONTROL AND CONSTRUCTION JOINTS IN CAST-IN-PLACE CONCRETE WALLS PER DETAIL 652.1.
 - SEE FRAMING PLANS FOR LOCATIONS OF WOOD PANEL AND GYPSUM SHEATHED SHEARWALLS. SEE SHEARWALL SCHEDULE FOR END ANCHORAGE REQUIREMENTS AND SECTION 182.1 FOR ANCHOR BOLTS AND ADDITIONAL REINFORCING TO BE PLACED DURING FOUNDATION CONSTRUCTION.
 - SEE SECTION 752.1 FOR TYPICAL OUTDOOR MECHANICAL EQUIPMENT PADS.
 - SEE SHEET 50.1 FOR GENERAL STRUCTURAL INFORMATION.

- SLAB NOTES**
- SLAB CONSTRUCTION
4" CONCRETE SLAB ON GRADE W/ 6#6 W2.3/W2.9 WWF. OVER 15-ML VAPOR BARRIER, OVER 6" COMPACTED STONE SUBBASE.
BASE SD:
6" CONCRETE SLAB ON GRADE W/ 4#4 W4.0/W4.0 WWF OR #5 REINFORCING BARS AT 12" O.C. EACH WAY. OVER 15-ML VAPOR BARRIER, OVER 6" COMPACTED STONE SUBBASE.
ALTERNATE SD:
6" CONCRETE SLAB ON GRADE W/ #3 REINFORCING BARS AT 9" O.C. EACH WAY. OVER 6" COMPACTED STONE SUBBASE.
INDICATES SLAB CONTROL CONSTRUCTION JOINT PER SECTIONS 452.1 AND 452.1. CONTROL JOINTS ARE TO BE LOCATED IN AREAS SHOWN AT A SPACING NOT TO EXCEED 12'-0" O.C. UNLESS DIMENSIONED OTHERWISE.
 - REFER TO DIVISION 31 SPECIFICATIONS FOR DEPTH AND PLACEMENT OF DRAINAGE FILL AND DIVISION 3 FOR VAPOR BARRIER OR RETARDER BELOW SLABS ON GRADE.
 - WIRE MESH AND/OR STEEL REINFORCING IS TO BE SUPPORTED DURING CONCRETE PLACEMENT ON CHAIRS OR JOUSTIES AT MID-DEPTH OF SLAB. MESH AND/OR STEEL REINFORCING IS NOT TO BE PULLED INTO PLACE DURING CONCRETE PLACEMENT.
 - SEE ARCHITECTURAL AND/OR STRUCTURAL PLANS FOR FINISHED FLOOR ELEVATIONS. COORDINATE TOP OF SLAB ELEVATION WITH THICKNESS OF ARCHITECTURAL FINISHED FLOOR PRODUCTS.
 - SEE SHEET 50.1 FOR GENERAL STRUCTURAL INFORMATION.

CONT. WALL FOOTING SCHEDULE			
MARK	SIZE	REINFORCING	
F24	2'-0" x 1'-0" DP.	(2) #5 CONT. BOT.	
TS24	2'-0" x 1'-0" DP.	(2) #5 CONT. BOT.	

- FLOOR FRAMING NOTES**
- DESIGN LIVE LOADS:
STORAGE 125 PSF
STAIRS AND EXITS 100 PSF
 - FLOOR CONSTRUCTION:
3/4" NOMINAL TONGUE-AND-GROOVE, APA RATED STURD-FLOOR, EXPOSURE 1, WITH A MINIMUM SPAN RATING. GUE AND NAIL WITH ADHESIVES MEETING APA SPECIFICATIONS AND APPLIED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. PROVIDE 100 COMMON NAILS AT 6" O.C. AT ALL PANEL EDGES AND 12" O.C. AT ALL INTERMEDIATE SUPPORTS UNLESS NOTED OTHERWISE. PANEL EDGES NEED NOT BE BLOCKED UNLESS NOTED OR DETAILED OTHERWISE.
 - SEE ARCHITECTURAL DRAWINGS FOR ANY DIMENSIONS NOT INDICATED HEREIN.
 - SEE SHEET 50.1 FOR GENERAL STRUCTURAL INFORMATION.
- ROOF FRAMING NOTES**
- DESIGN LIVE/SNOW LOADS:
ROOF LIVE/SNOW 20 PSF
 - ROOF CONSTRUCTION:
SIP NOMINAL APA RATED SHEATHING, EXPOSURE 1, WITH A MINIMUM SPAN RATING. PROVIDE 100 COMMON NAILS AT 6" O.C. AT ALL PANEL EDGES AND 12" O.C. AT ALL INTERMEDIATE SUPPORTS UNLESS NOTED OTHERWISE. PANEL EDGES NEED NOT BE BLOCKED UNLESS NOTED OR DETAILED OTHERWISE.
 - INDICATES ROOF OPENING. COORDINATE EXACT SIZE AND LOCATION WITH THE APPROPRIATE TRADE CONTRACTORS. NOT ALL OPENINGS ARE SHOWN ON THE STRUCTURAL DRAWINGS. SEE SECTION 352.2 FOR FRAMING OF ALL OPENINGS EQUAL TO OR GREATER THAN 12" SQUARE. ON DIAMETER. ADDITIONAL FRAMING IS NOT REQUIRED FOR OPENINGS LESS THAN 12" SQUARE. SIZE OF OPENING IS NOT TO EXCEED THE TYPICAL CLEAR DISTANCE BETWEEN FRAMING MEMBERS OR TRUSSES. NOTIFY THE ARCHITECT IMMEDIATELY IF THE CONTRACTORS SOLELY PROCEEDING IF OPENINGS CANNOT BE FIT BETWEEN FRAMING MEMBERS.
 - TRUSS BEARING ELEVATION NOTED ON PLAN. REFERENCE ELEVATION 100'-0" = TOP OF FIRST FLOOR SLAB ON GRADE.
 - SEE ARCHITECTURAL DRAWINGS FOR ANY DIMENSIONS NOT INDICATED HEREIN.
 - TRUSSES ARE TO BE DESIGNED FOR A 250 POUND CONCENTRATED LOAD SHOWN APPLIED ANYWHERE ALONG THE BOTTOM CHORD OF THE SPAN. IT IS THE CONTRACTORS SOLE RESPONSIBILITY TO LIMIT THE TOTAL LOAD HANGING FROM THE TRUSSES TO THIS AMOUNT.
 - SEE SHEET 50.1 FOR GENERAL STRUCTURAL INFORMATION.

- WOOD STUD WALL NOTES**
- TYPICAL EXTERIOR WALL SHEATHING:
1/2" NOMINAL APA RATED SHEATHING, EXPOSURE 1, WITH A WALL-24 MINIMUM SPAN RATING. PROVIDE 60 COMMON NAILS AT 6" O.C. AT ALL PANEL EDGES AND 12" O.C. AT ALL INTERMEDIATE SUPPORTS UNLESS NOTED OTHERWISE. ALL PANEL EDGES ARE TO BE FULLY BLOCKED AND NAILED AT SHEAR WALL LOCATIONS UNLESS NOTED OTHERWISE.
 - TYPICAL INTERIOR WALL SHEATHING:
5/8" GYPSUM WALLBOARD. PROVIDE 60 COOLER NAILS AT 7" O.C. AROUND ALL PANEL EDGES AND AT 7" O.C. FOR ALL INTERMEDIATE SUPPORTS OR PROVIDE No. 4 1/4" TYPE S-39 W SCREWS AT 6" O.C. AROUND ALL PANEL EDGES AND AT 12" O.C. FOR ALL INTERMEDIATE SUPPORTS UNLESS NOTED OR SCHEDULED OTHERWISE. ALL PANEL EDGES ARE TO BE FULLY BLOCKED AT SHEAR WALL LOCATIONS UNLESS NOTED OTHERWISE.
 - H(V)
INDICATES OPENING HEADER PER SECTION 182.2. SEE ARCHITECTURAL DRAWINGS FOR LOCATION, EXTENT, AND ELEVATION OF ALL OPENINGS. SEE HEADER SCHEDULE FOR SIZES AND SUPPORT REQUIREMENTS.
 - SW8
INDICATES WOOD PANEL OR GYPSUM BOARD SHEARWALL. SEE SHEARWALL SCHEDULE FOR SHEAR PANEL TYPE, FASTENING, BLOCKING, AND ANCHORAGE REQUIREMENTS.
 - WALL STUDS ARE TO EXTEND CONTINUOUS FOR FULL HEIGHT OF WALL UNLESS NOTED OTHERWISE. WHERE STUDS ARE INTERRUPTED BY OPENING IN WALL (WOOD, COVER, ETC.) PROVIDE ONE FULL-HEIGHT KING STUD AT EACH JAMB FOR EACH 2'-0" OF OPENING WIDTH.
 - PROVIDE MID-HEIGHT STUD WALL BLOCKING FOR ALL EXTERIOR WALLS, INTERIOR BEARING WALLS, AND ALL WALL FRAMING WHICH IS NOT SHEATHED ON EACH SIDE OF THE WALL.
 - LAP STUD WALL TOP PLATE PER SECTION 252.2.
 - ALL WALL DIMENSIONS SHOWN ARE TO FACE OF STUD.
 - SEE SHEET 50.1 FOR GENERAL STRUCTURAL INFORMATION.



KEY PLAN

GARMANN MILLER
MINNESOTA, OHIO, ILLINOIS, INDIANA, KANSAS, MISSOURI, NEBRASKA, NORTH CAROLINA, NORTH DAKOTA, SOUTH DAKOTA, WISCONSIN
garmannmiller.com

NEW BUILDING FOR
**SHENANDOAH SCHOOL CORPORATION
NEW TRANSPORTATION CENTER**
5309 NORTH LAUREL ROAD, MIDDLETOWN, INDIANA 46156

ISSUANCES/REVISIONS		
CONSTRUCTION DOCUMENTS	06/02/2026	
1. REVISION	09/17/2026	

PROJECT NUMBER:	DRAWN BY:	CHECKED BY:
25031.00	JKP (R25)	SNF

SHEET TITLE:
STRUCTURAL PLANS

SHEET NUMBER:
S1.1